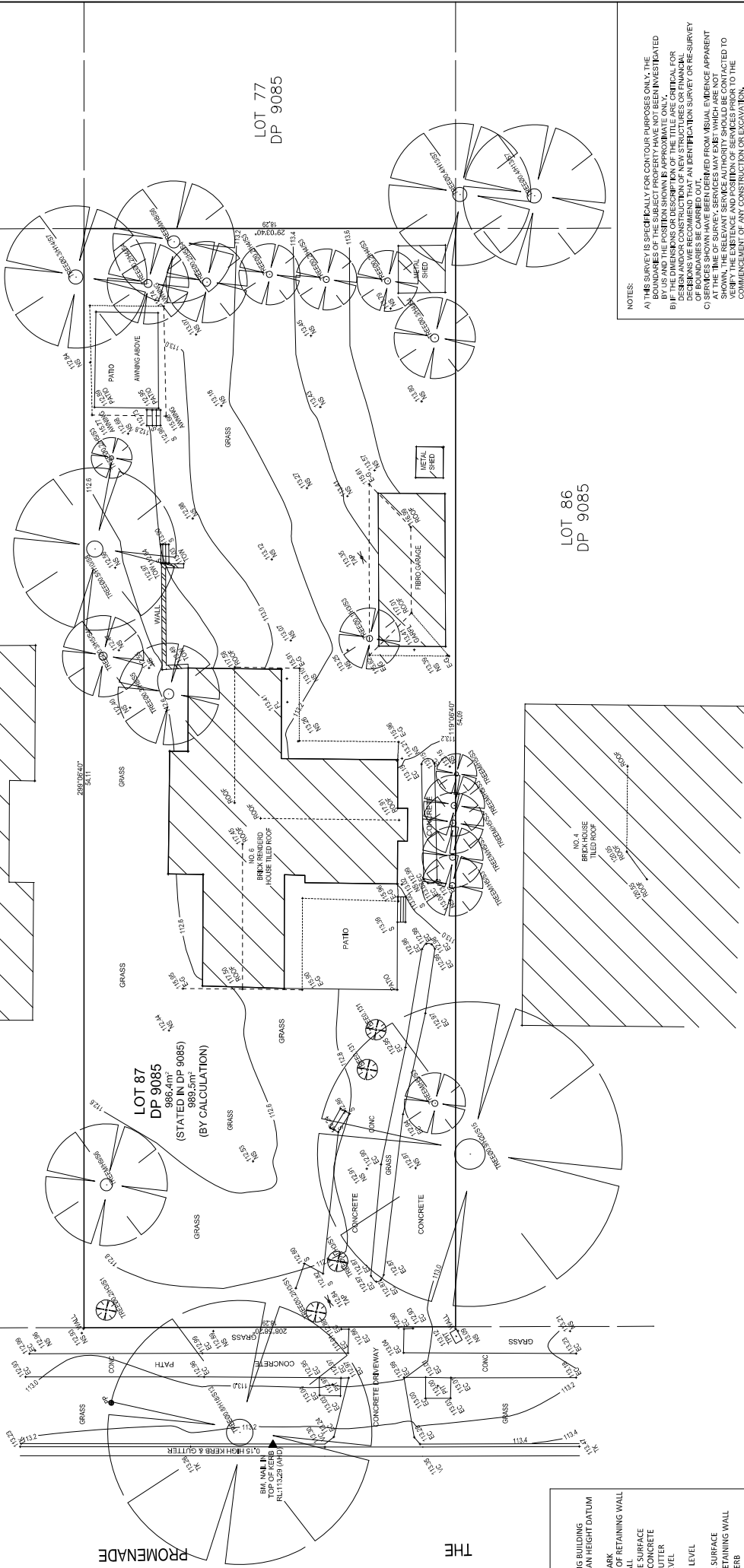




LEGEND:
ADJ ADJOINING BUILDING
AMW AUSTRALIAN HEIGHT DATUM
ANW ANCHOR NAIL
BM BENCH MARK
BRW BOTTOM OF RETAINING WALL
BW BRICK WALL
CS CONCRETE SURFACE
EC EDGE OF CONCRETE
FG FLOOR GUTTER
FG FLOOR LEVEL
GB GARDEN
RL REDUCED LEVEL
S STAIRS
NS NATURAL SURFACE
TRW TOP OF RETAINING WALL
TK TOP OF KERB
TOP TOP OF WINDOW
TW TOP OF WALL
PP POWER POLE
VC VEHICLE CROSSING
WM WATER METER

NOTES:

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED BY US AND THE POSITION SHOWN IS APPROXIMATE ONLY.

B) THIS SURVEY IS NOT A DESIGN SURVEY. IT IS NOT INTENDED FOR DESIGN AND/OR CONSTRUCTION OF NEW STRUCTURES OR FINANCIAL DECISIONS. WE RECOMMEND THAT AN IDENTIFICATION SURVEY OR RE-SURVEY BE COMPLETED PRIOR TO ANY CONSTRUCTION WORK.

C) SERVICES SHOWN HAVE BEEN OBTAINED FROM VISUAL EVIDENCE APPARENT TO THE SURVEYOR. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO OBTAIN THE LOCATION AND DEPTH OF ANY SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

D) DETAIL ON THIS PLAN HAS BEEN LOCATED FOR PLOTTING PURPOSES ONLY. IT IS NOT INTENDED FOR CONSTRUCTION OR EXCAVATION.

E) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.

F) USE STATED DIMENSIONS DO NOT SCALE.

G) USE STATED DIMENSIONS DO NOT SCALE.

H) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

C & A SURVEYORS NSW P/L Ph: 9638 4136 Fax: 9638 1199 Suite 3, Level 4, 460 CHURCH STREET, NORTH PARRAMATTA NSW 2151 P.O. Box 5203 GREYSTANES NSW 2145 info@candasurveyors.com.au www.candasurveyors.com.au		DETAIL SURVEY OF LOT 87 IN DP 9085, LOCATED AT No. 6 THE PROMENADE, CHELTENHAM		INSTRUCTING PARTY: AS PER REQUEST		DATE: 10-08-2016 DRAWN BY: AZ SCALE: 1:100 SHEET: 1 OF 1		SURVEYED BY: JM DRAWN BY: AZ SCALE: 1:100 SHEET: 1 OF 1	
© THIS PLAN AND THE INFORMATION CONTAINED HEREIN REMAINS THE PROPERTY OF C & A SURVEYORS NSW PTY LTD. IT MUST NOT BE COPIED IN WHOLE OR PART, AND BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF C & A SURVEYORS NSW PTY LTD. THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY.									

CONSTRUCTION OF A NEW RESIDENCE

FOR

AT

6 THE PROMENADE, CHELTENHAM NSW 2119

PROJECT NO.16006



balle
DAVID BAILLIE ARCHITECT
ENERGY EFFICIENT BUILDING DESIGN

ABN: 13311448107

Registration No: 6492

SUITE 7, 181 HIGH STREET, WILLOUGHBY N.S.W. 2068

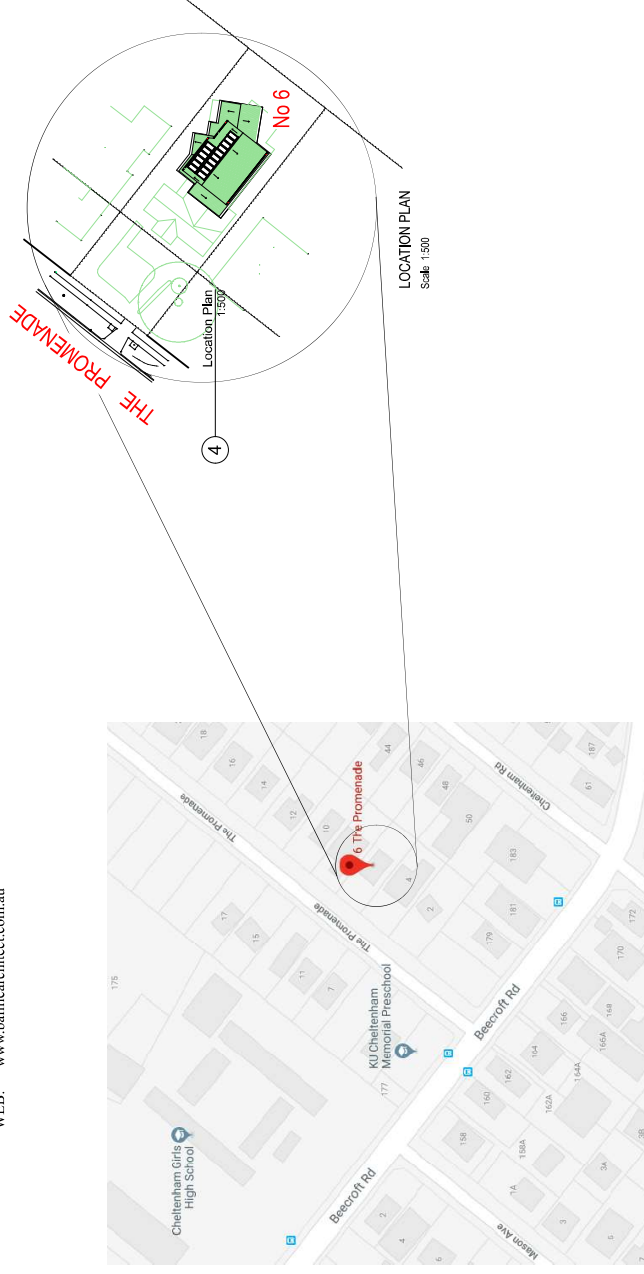
TEL: (02) 9958-6139

EMAIL: david@bailiearchitect.com.au

WEB: www.bailiearchitect.com.au

ARCHITECTURAL DRAWINGS

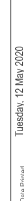
DA 0000 COVER
DA 2001 SITE PLAN/SITE ANALYSIS PLAN
DA 2002 SEDIMENT CONTROL PLAN
DA 3001 GROUND FLOOR PLAN
DA 3002 FIRST FLOOR PLAN
DA 3003 ROOF PLAN
DA 4001 ELEVATIONS 1
DA 4002 ELEVATIONS 2
DA 5001 SECTIONS 1
DA 8001 SUN STUDIES
DA 9001 PERSPECTIVE VIEWS 1
DA 9002 PERSPECTIVE VIEWS 2
DA 9003 PERSPECTIVE VIEWS 3



THE CONTRACTOR IS TO CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING WORK. THE SCALED FROM DRAWINGS NOT DETERMINED ON SITE. USE OF ALL MATERIALS, JOINTS AND SPECIFIED ARE TO BE USED AND TIED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

Construction of New Residence

Client



Country	DB
Germany	DB

Checked

Approved

Scale 1:100

Project Number 16006

Drawing Number
DA3001
Rev
E

DEVELOPMENT APPLICATION

1000

ITEM	DESCRIPTION	UNIT	QTY	PRICE	TOTAL
1	CERAMIC FLOOR TILES	SQ. FT.	100	1.50	150.00
2	COLORADO ROOF SHEETING	SQ. FT.	200	2.00	400.00
3	FINISHED FLOOR LEVEL	SQ. FT.	100	1.00	100.00
4	FINISHED GROUND LEVEL	SQ. FT.	100	1.00	100.00
5	FINISHED PAINTING LEVEL	SQ. FT.	100	1.00	100.00
6	RELATIVE LEVEL	SQ. FT.	100	1.00	100.00
7	S.L.I.N.G.	EA.	10	10.00	100.00
8	STEEL TROWELLED CONCRETE	SQ. FT.	100	1.00	100.00
9	EXISTING RUBBER FLOOR BOARD	SQ. FT.	100	1.00	100.00
10	EXISTING FLOOR TILES	SQ. FT.	100	1.00	100.00
11	EXISTING FLOOR BOARDS	SQ. FT.	100	1.00	100.00

NEW TIMBER DECK

NEW FRAMED WALLS

NEW BRICK WALLS

EXISTING SIGNIFICANT TREE

NEW SIGNIFICANT TREE

EXISTING TREE PROPOSED
TO BE REMOVED

1 Ground Floor Plan 1:100

THE CONTRACTOR IS TO CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING WORK. ALL DIMENSIONS ARE TO BE SCALED FROM DRAWINGS BUT DETERMINED ON SITE USE OF ALL MATERIALS NOTED AND SPECIFIED ARE TO BE USED AND TYPED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

Project
Construction of New
Residence
6 The Promenade



DA3002

Division Number

EXISTING TREE PROPOSED

1

THE PROMENADE

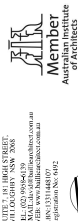
THE CONTRACTOR IS TO CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING WORK. ALL DIMENSIONS SHALL BE SCALED FROM THE FINISHED GRADE. ALL DIMENSIONS SHALL BE DETERMINED ON SITE USE OF ALL MATERIALS DRAWINGS BUT SPECIFIED ARE TO BE USED AND PAID IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

	Amendment	Date
D	Roof alignment amended	28/06/2020
C	Issued for DA	12/05/2020
B	First floor roof updated	24/04/2020
A	Issued for DA	30/11/2016

Construction of New Residence

Roof Plan

Client



Friday, 26 June 2020

1553

Accepted

Scale 1:100

Project Number
16006Drawing Number
DA3003
Rev
D

DEVELOPMENT APPLICATION

CEMENT FLOOR TILES	CEMENT FLOOR TILES
COLORBOND ROOF SHEETING	COLORBOND ROOF SHEETING
FINISHED FLOOR LEVEL	FINISHED FLOOR LEVEL
FINISHED GROUND LEVEL	FINISHED GROUND LEVEL
FINISHED PAVING LEVEL	FINISHED PAVING LEVEL
RELATIVE LEVEL	RELATIVE LEVEL
SIDING	SIDING
STEEL TRAVELLED CONCRETE	STEEL TRAVELLED CONCRETE
EXISTING TIMBER FLOOR BOARDS	EXISTING TIMBER FLOOR BOARDS
EXISTING FLOOR TILES	EXISTING FLOOR TILES
TIMBER FLOOR BOARDS	TIMBER FLOOR BOARDS
NEW TIMBER DECK	NEW TIMBER DECK

EXISTING SIGNIFICANT TREE

NEW SIGNIFICANT TREE

EXISTING TREE PROPOSED

THE CONTRACTOR IS TO CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING WORK. ALL DIMENSIONS ARE TO BE SCALED FROM THE DRAWINGS AND NOT DETERMINED ON SITE. USE OF ALL MATERIALS NOT LISTED AND SPECIFIED ARE TO BE USED AND HAND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

Construction of New Residence

Test


Member
 Australian Institute
 of Architects

Tuesday, 12 May 2020

RENDERED FIBRE CEMENT PAINTED
RENDERED CLADDING PAINTED

DEVELOPMENT APPLICATION



NOTES

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1 Perspective 1



2 Perspective 2



3 Perspective 3



4 Perspective 4

D	External Calcutt method	28/06/2020
C	Internal Calcutt method	12/05/2020
B	Internal Calcutt method	12/05/2020
A	Internal Calcutt method	20/11/2019

Construction of New
Residence
6 The Promenade

Perspectives 1

Client

bofe
DAVID BAILLIE ARCHITECT
ENERGY EFFICIENT BUILDING DESIGN

SUITE 2, 101 BRIDGE STREET,
WILL COOLIDGE NSW 2066
WWW.DAVIDBAILLIEARCHITECT.COM.AU
ABN: 53151445192
Registration No. 1472



Date Printed	Friday, 28 June 2020
Drawn	DB
Checked	
Approved	
Scale	1:100
Project Number	16006
Drawing Number	DA9001
Rev	D

DEVELOPMENT APPLICATION

NOTES

THE CONTINGENCY FOR CHANGING AND
UPDATING THE DRAWINGS IS THE RESPONSIBILITY
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NOTES ARE TO BE USED TO THE LATEST AND LATEST
EDITION OF THE ARCHITECT'S PRACTICE.
THE ARCHITECT'S PRACTICE IS NOT RESPONSIBLE
FOR THE COST OF THE DRAWINGS. THE ARCHITECT
IS NOT RESPONSIBLE FOR THE COST OF THE
DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE
FOR THE COST OF THE DRAWINGS.



Perspective 1



Perspective 2



Perspective 3



Perspective 4

D	External Calcutt removed	28/06/2020
C	External Calcutt removed	12/05/2020
B	External Calcutt removed	12/05/2020
A	External Calcutt removed	20/10/2019

Construction of New
Residence
6 The Promenade

Perspectives 2

Client

bofe
DAVID BAILLIE ARCHITECT
ENERGY EFFICIENT BUILDING DESIGN

SUITE 2, 10, 1000 STREET
WILLIAMS ROAD, WILLOWBUSH, NSW 2060
WWW.DAVIDBAILLIEARCHITECT.COM.AU
ABN: 53151445102
Registration No. 1972



Date Printed	Friday, 28 June 2020
Drawn	DB
Checked	
Approved	
Scale	1:100
Project Number	160016
Drawing Number	DA9002
Rev	D

DEVELOPMENT APPLICATION

SCHEDULE OF MATERIALS AND COLOURS

EXTERIOR ELEMENT	MATERIAL	FINISH	COLOUR
Wall	Rendered Masonry	Painted Render	Similar to DULUX Fog Bistle Quarter
	Rendered Masonry	Painted Render	Similar to DULUX Dane
Brick Bats and Faced Bricks	Timber Boards	Painted	Similar to Classic Cream
	Colorbond	Paint	Similar to DULUX Dane
Gutter	Timber	Paint	Similar to DULUX Fog Bistle Quarter
Veranda Posts	Aluminium	Powdercoat	Similar to DULUX Fog Bistle Quarter
	Timber & glass	Paint	Similar to DULUX Black
External Doors	Aluminium & glass	Powdercoat	Similar to DULUX Black
Garage Door Windows	Timber & glass	Powdercoat	Similar to DULUX Black
Garage Door	Panel Lift Door	Paint	Similar to DULUX Fog Bistle Quarter
Windows	Timber & glass	Paint	Similar to DULUX Black
Windows	Aluminium & glass	Powdercoat	Similar to DULUX Black
Roofing	Colorbond Spanlock	Powdercoat	Similar to Colorbond Windspire
Roofing	Terra Cotta Tile	Natural	Natural
Balustrade	Glass	Natural	Clear
Deck and front steps	Tile	Honed finish	Similar to Dulux Tiles Nature Series 600x600 Product 7512

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Construction of New
Residence
6 The Promenade

Client

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WILLOUGHBY NSW 2068

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EMAIL: info@hailsearchitect.com.au
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AHN: 13311448107
Registration No: 6492

 Member

Not Printed

Friday, 26 June 2020

Checked

Scale 1:100, 1:1

Drawing Number DA9003 Rev C

DEVELOPMENT APPLICATION

