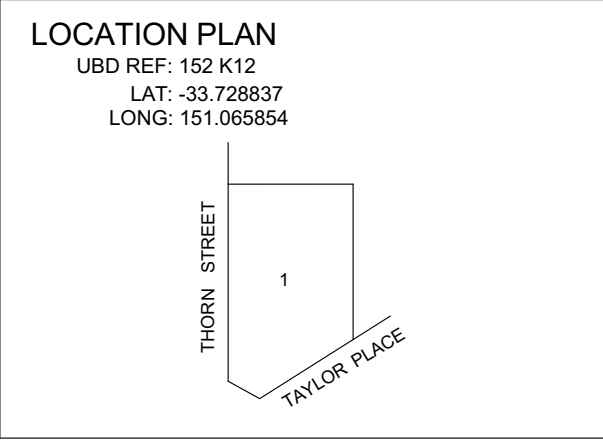


Proposed Demolition Plan

Scale 1:200



CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
DIMENSIONS AND AREAS HAVE BEEN DETERMINED FROM PLANS MADE AVAILABLE AT LRS, NSW AND ARE SUBJECT TO FINAL SURVEY.
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DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE

LEGEND

- HOT WATER TANK
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- SEWER TERMINAL MAINTENANCE SHAFT
- SEWER MAINTENANCE SHAFT
- VEHICLE CROSSING
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- KERB OUTLET
- SERVICE CONDUIT
- TREE (DIA/HEIGHT)
- GARDEN BED
- SHRUB
- DENOTES PHOTO POINT
- DENOTES TELEPHONE BOOTH

ALL KERB LEVELS REPRESENT TOP OF KERB.



DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: W/O 47616 RL 170.47

SOURCE OF LEVELS: SYDNEY WATER



BEARINGS SHOWN HAVE BEEN DEDUCED FROM LAND REGISTRY SERVICES PLANS AND ARE RELATED TO MAGNETIC NORTH.
TRUE NORTH IS APPROXIMATE ONLY.
FURTHER INVESTIGATION WILL BE REQUIRED TO DETERMINE ACCURATE TRUE NORTH.



LOT 1 SEC: 10

DP: 758836
990.3m²

LOT 28
D.P.758836

LOT 2
D.P.758836

TREES TO BE RETAINED

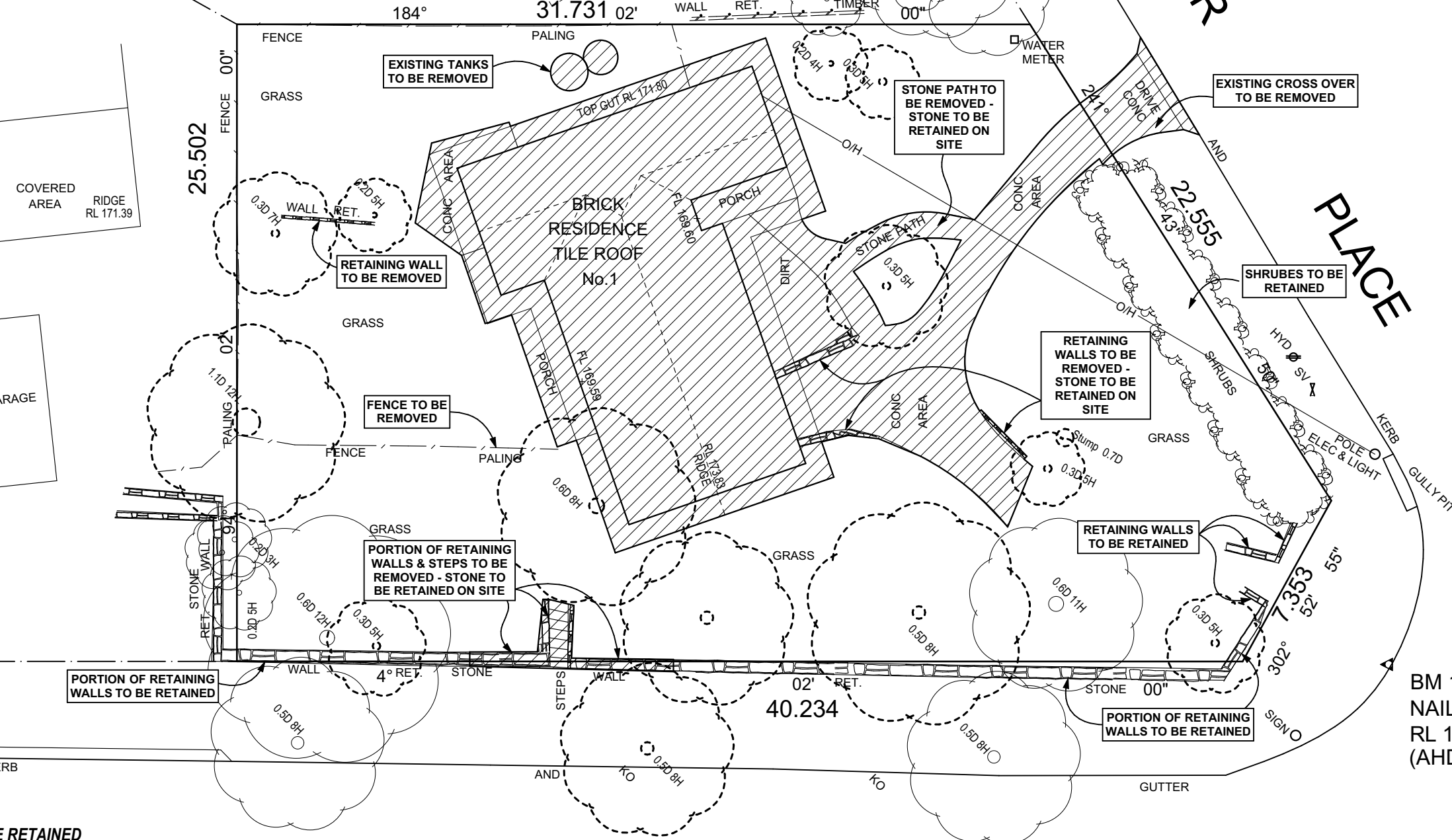
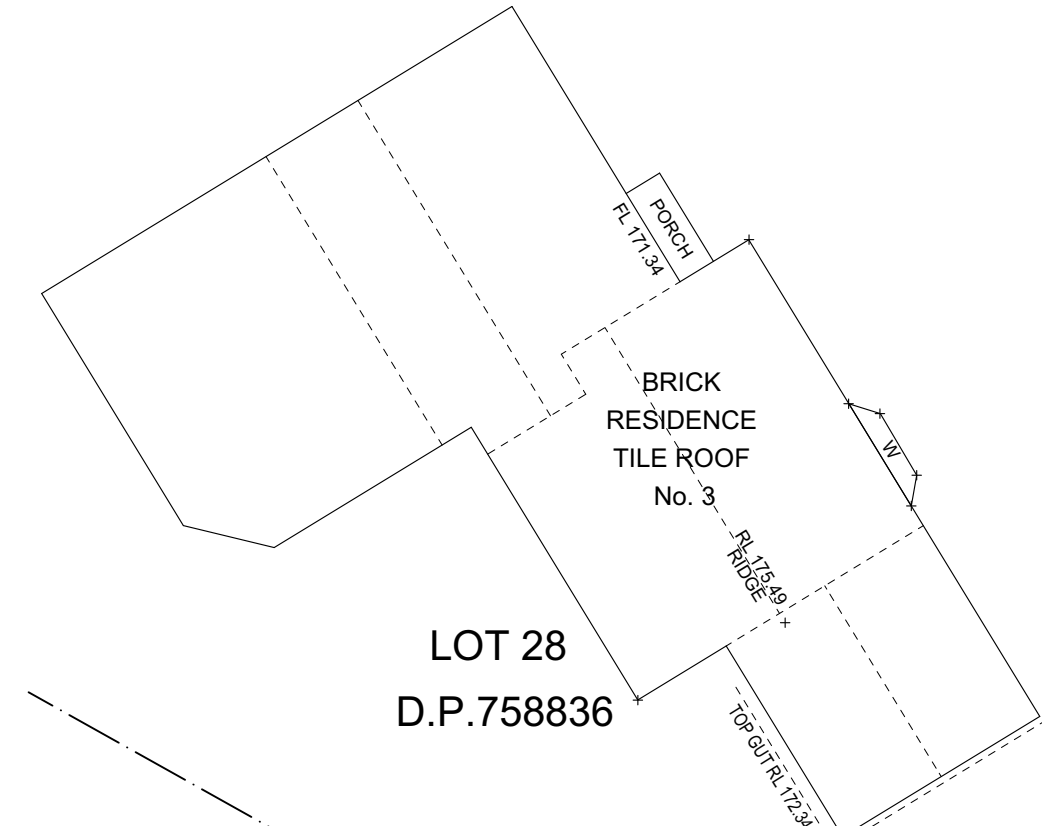
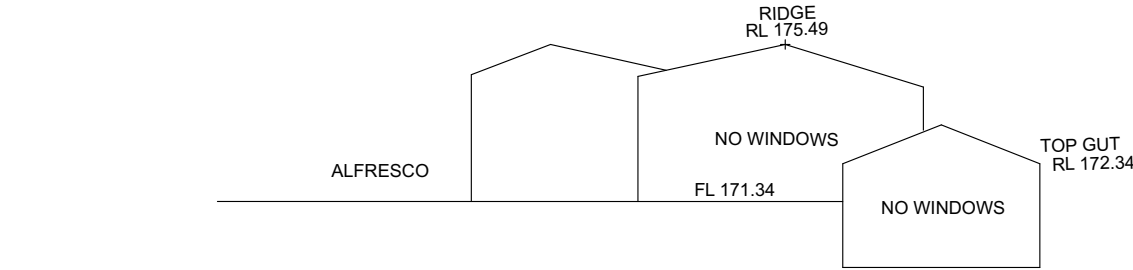
TREES TO BE REMOVED

THORN

STREET

TAYLOR

PLACE

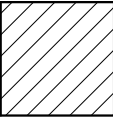


BM 17
NAIL IN KERB
RL 166.92
(AHD)

0005516026 16 Dec 2020
Assessor: Thomas Ruck
Accreditation No.: DMN12/1456
Address: Unit Dwelling 1, 1 Taylor Place, Pennant Hills, NSW, 2120
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DEMOLITION NOTES:



HATCHING REPRESENTS DWELLING, PORCH, CONCRETE DRIVE/PATH, AND CROSSOVER/LAYBACK TO BE DEMOLISHED AND REMOVED FROM SITE

DEMOLITION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001, The Demolition of Structures Part 7.2(1)(a)
ALL SERVICES ARE TO BE DISCONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITIES

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

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Soil Classification: TBC
Slab Classification: TBC
Wind Speed Class: TBC

Rev	Date	Amendment
G	26.02.21	LOT 1 REDESIGN - MT
F	11.01.21	BASIX INFO ADDED & DA PLANS - AW
E	14.12.20	HYDRAULICS AMENDMENTS - SI
D	09.12.20	ARBORIST AMENDMENTS - BT
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A	06.10.20	CONTRACT DRAWINGS - AW

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Proposed: Land Subdivision & 2x Two Storey Dwellings

LOT:1 SEC: 10 DP:758836
No.1 Taylor Place
Pennant Hills, NSW 2120

Client : Andrew Lewis		
LGA:	Hornsby Shire Council	Date: 06.10.20
Design : Custom Design		
Job No:	4326N	Sheet Size: A2
		Sheet No: 1 of 15

Plot Date: Friday, 26 February 2021

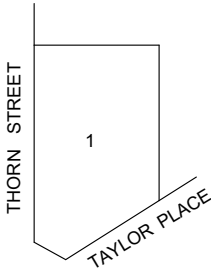
NOTE:
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FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

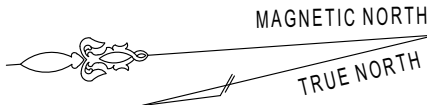
WHERE RETAINING WALLS ARE REQUIRED TO CONTAIN FILL, THE BUILDER MAY USE DEEPENED EDGE BEAMS TO SLABS INSTEAD.

LOCATION PLAN

UBD REF: 152 K12
LAT: -33.728837
LONG: 151.065854



BEARINGS SHOWN HAVE BEEN DEDUCED FROM LAND REGISTRY SERVICES PLANS AND ARE RELATED TO MAGNETIC NORTH.
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LOT 1 SEC: 10
DP: 758836
990.3m²

LEGEND

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- WATER METER
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- MANHOLE (SEWER/STORMWATER)
- SEWER TERMINAL MAINTENANCE SHAFT
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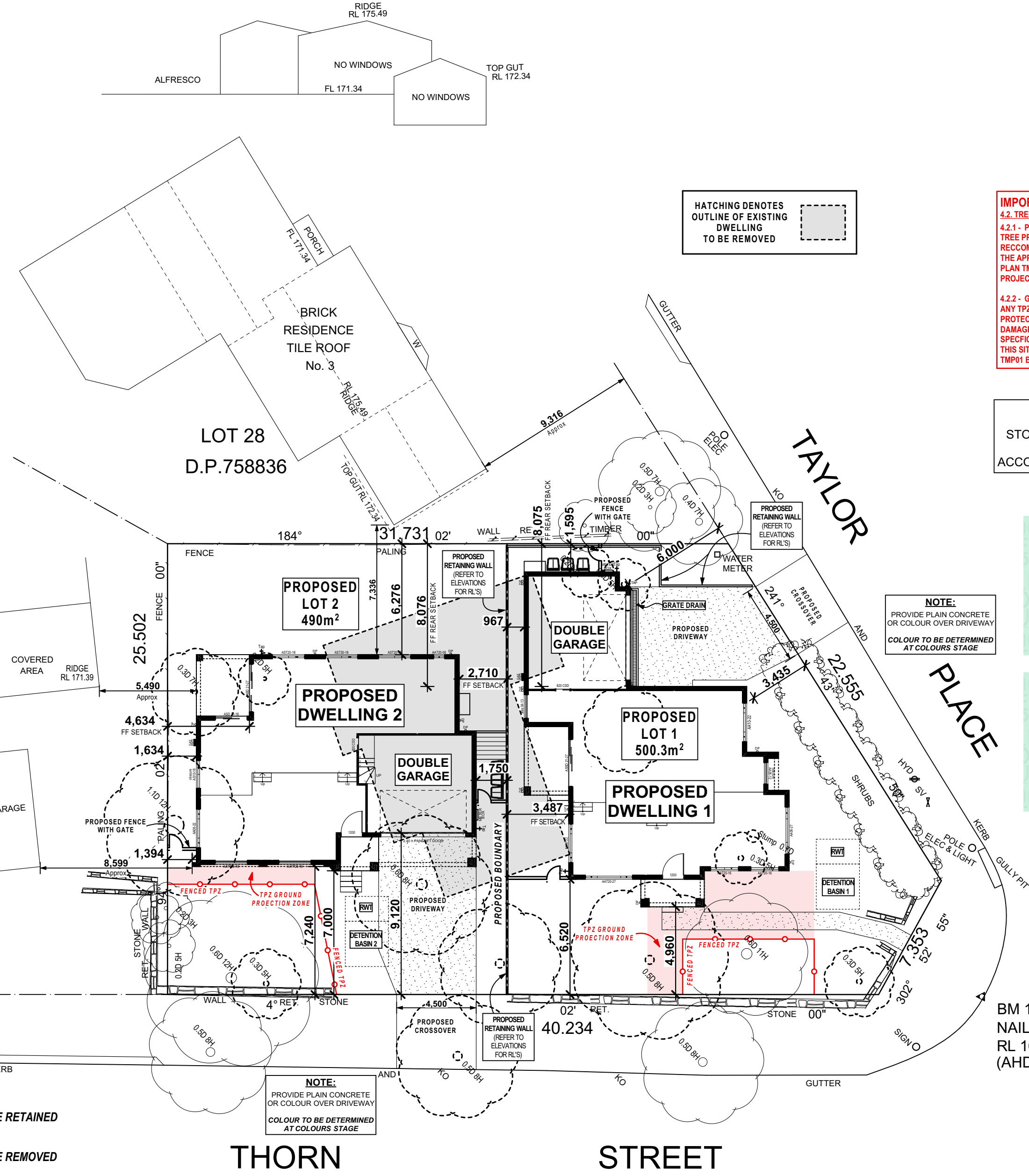


DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

ORIGIN OF LEVELS: W/O 47616 RL 170.47

SOURCE OF LEVELS: SYDNEY WATER

SCALE BAR 1:200



IMPORTANT NOTE: ARBORIST
4.2. TREE PROTECTION WITH FENCING AND GROUND PROTECTION
4.2.1 - PROTECTION FENCING
TREE PROTECTION FENCING MUST COMPLY WITH AS4970 (SECTION 4.3) RECOMMENDATIONS. AN ILLUSTRATIVE GUIDE IS INCLUDED AS APPENDIX 4. THE APPROXIMATE LOCATION OF THE BARRIERS AND THE TPZs IS ILLUSTRATED ON PLAN TMP01. THE PRECISE LOCATION OF FENCING MUST BE AGREED WITH THE PROJECT ARBORIST BEFORE ANY DEVELOPMENT ACTIVITY STARTS.

4.2.2 - GROUND PROTECTION
ANY TPZs OUTSIDE THE PROTECTIVE FENCING MUST BE COVERED IN GROUND PROTECTION BASED ON AS4970 RECOMMENDATIONS UNTIL THERE IS NO RISK OF DAMAGE FROM THE DEMOLITION AND CONSTRUCTION ACTIVITY. AN ILLUSTRATIVE SPECIFICATION FOR THIS GROUND PROTECTION IS INCLUDED AS APPENDIX 5. ON THIS SITE, IT MUST BE INSTALLED NEAR TREES 10 & 18 AS ILLUSTRATED ON PLAN TMP01 BEFORE ANY DEMOLITION AND CONSTRUCTION STARTS.

STORMWATER NOTE:

STORMWATER AS PER HYDRAULICS ENGINEER'S PLANS AND BASIX REQUIREMENTS ALL IN ACCORDANCE WITH AUSTRALIAN STANDARD 3500.3

NOTE:
PROVIDE PLAIN CONCRETE OR COLOUR OVER DRIVEWAY
COLOUR TO BE DETERMINED AT COLOURS STAGE

5.2
NATIONWIDE HOUSE
NATURAL BUILDING SYSTEM
63.2
Mum
www.nathers.gov.au

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Assessor: Thomas Ruck
Accreditation No.: DMV12/1456
Address: Unit Dwelling 1, 1 Taylor Place, Pennant Hills, NSW, 2120
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6.2
NATIONWIDE HOUSE
NATURAL BUILDING SYSTEM
48.7
Mum
www.nathers.gov.au

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Assessor: Thomas Ruck
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BM 17
NAIL IN KERB
RL 166.92
(AHD)

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 CHAMPION HOMES Suite 1, Level 1 600 Hoxton Park Road, Hoxton Park NSW 2171 Telephone: (02) 9825 8000 Fax: (02) 9825 8110 www.championhomes.com.au Builders Licence No.92732C	NOT FOR CONSTRUCTION	Soil Classification: TBC	G26.02.21LOT 1 REDESIGN - MT F11.01.21BASIX INFO ADDED & DA PLANS - AW E14.12.20HYDRAULICS AMENDMENTS - SI D09.12.20ARBORIST AMENDMENTS - BT C26.10.20CLIENT AMENDMENTS - MA B23.10.20CLIENT AMENDMENTS - AW A06.10.20CONTRACT DRAWINGS - AW RevDateAmendment	Copyright. © This plan is the property of Champion Homes and may not be used in whole or part. Legal action will be taken against any person who infringes the copyright.	Proposed: Land Subdivision & 2x Two Storey Dwellings LOT:1 SEC: 10 DP:758836 No.1 Taylor Place Pennant Hills, NSW 2120	Client : Andrew Lewis		
		LGA: Hornsby Shire Council	Date: 06.10.20					
		Design : Custom Design						
		Job No: 4326N	Sheet Size: A2	Sheet No: 2 of 15				

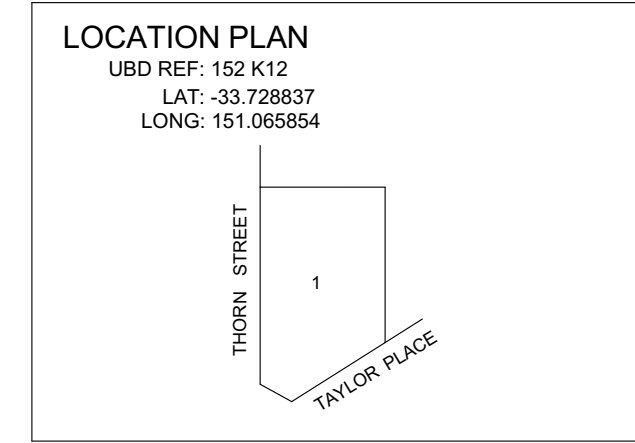
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Proposed Site Analysis Plan

Scale 1:200



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DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM

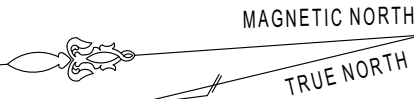
ORIGIN OF LEVELS: W/O 47616 RL 170.47

SOURCE OF LEVELS: SYDNEY WATER

SCALE BAR 1:200



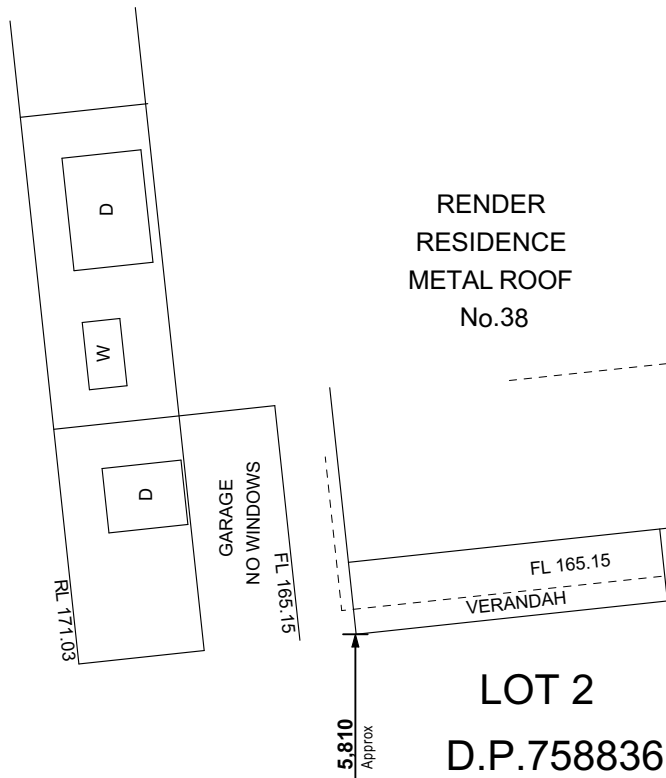
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LOT 1 SEC: 10

DP: 758836

990.3m²



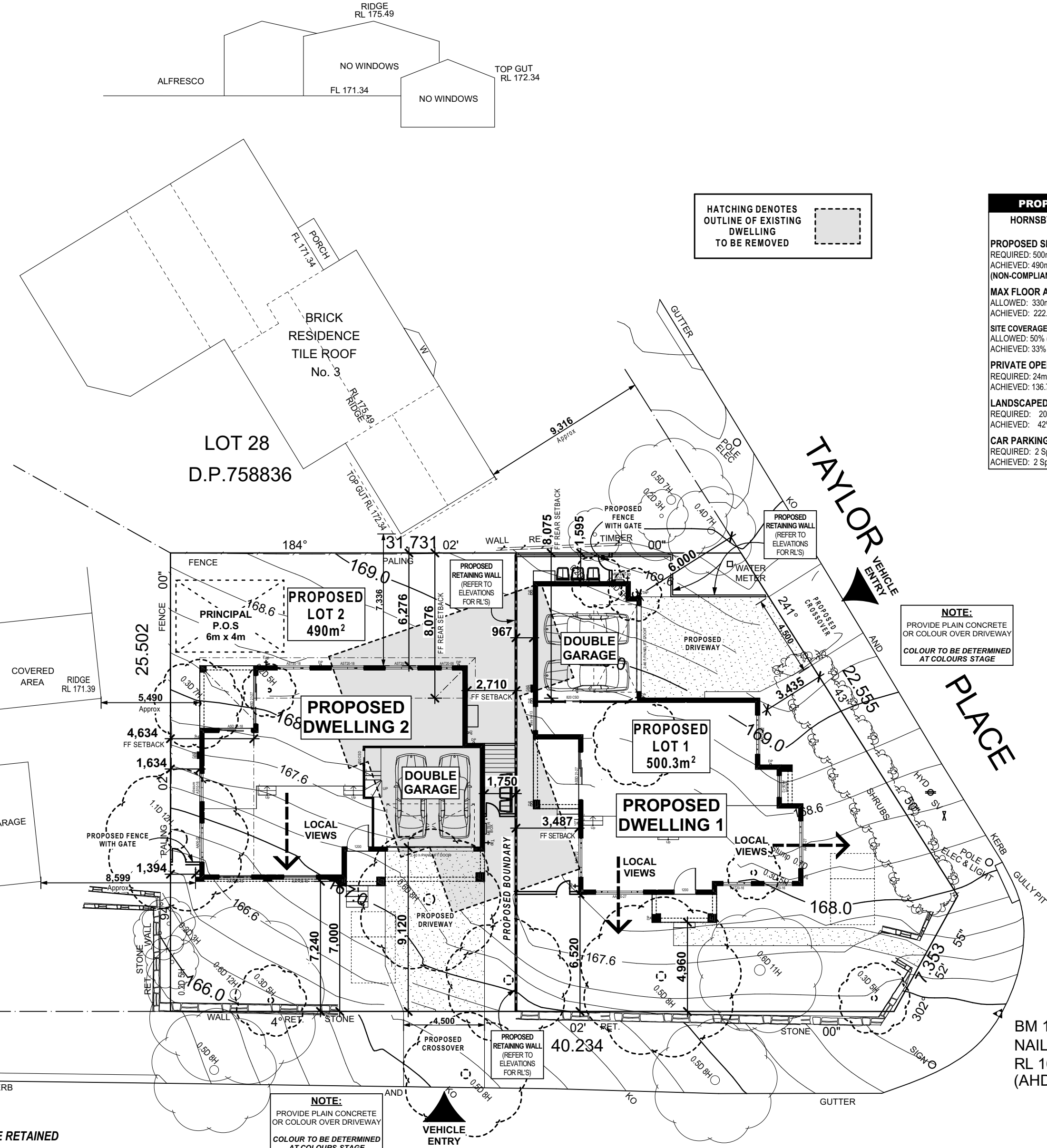
TREES TO BE RETAINED

TREES TO BE REMOVED

THORN STREET

STREET

BM 17
NAIL IN KERB
RL 166.92
(AHD)



NOTE:
PROVIDE PLAIN CONCRETE
OR COLOUR OVER DRIVEWAY
COLOUR TO BE DETERMINED
AT COLOURS STAGE

NOTE:
PROVIDE PLAIN CONCRETE
OR COLOUR OVER DRIVEWAY
COLOUR TO BE DETERMINED
AT COLOURS STAGE

HATCHING DENOTES
OUTLINE OF EXISTING
DWELLING
TO BE REMOVED

PROPOSED LOT 2
HORNSBY REQUIREMENTS:

PROPOSED SITE AREAS:

REQUIRED: 500m²
ACHIEVED: 490m²
(NON-COMPLIANCE)

MAX FLOOR AREA:

ALLOWED: 330m²
ACHIEVED: 222.76m²

SITE COVERAGE:

ALLOWED: 50% (245m²)
ACHIEVED: 33% (161.70m²)

PRIVATE OPEN SPACE:(MIN 3m WIDE)

REQUIRED: 24m²
ACHIEVED: 136.71m²

LANDSCAPED AREA:(MIN 1.5m WIDE)

REQUIRED: 20% (98m²)
ACHIEVED: 42% (204.78m²)

CAR PARKING:

REQUIRED: 2 Space per Dwelling
ACHIEVED: 2 Space per Dwelling

PROPOSED LOT 1
HORNSBY REQUIREMENTS:

PROPOSED SITE AREAS:

REQUIRED: 500m²
ACHIEVED: 500.3m²

MAX FLOOR AREA:

ALLOWED: 330m²
ACHIEVED: 226.57m²

SITE COVERAGE:

ALLOWED: 50% (250.15m²)
ACHIEVED: 33% (166.26m²)

PRIVATE OPEN SPACE:(MIN 3m WIDE)

REQUIRED: 24m²
ACHIEVED: 26.64m²

LANDSCAPED AREA:(MIN 1.5m WIDE)

REQUIRED: 20% (100.06m²)
ACHIEVED: 46% (229.43m²)

CAR PARKING:

REQUIRED: 2 Space per Dwelling
ACHIEVED: 2 Space per Dwelling

0005516026 16 Dec 2020
Assessor Thomas Ruck
Accreditation No. DMN/12/1456
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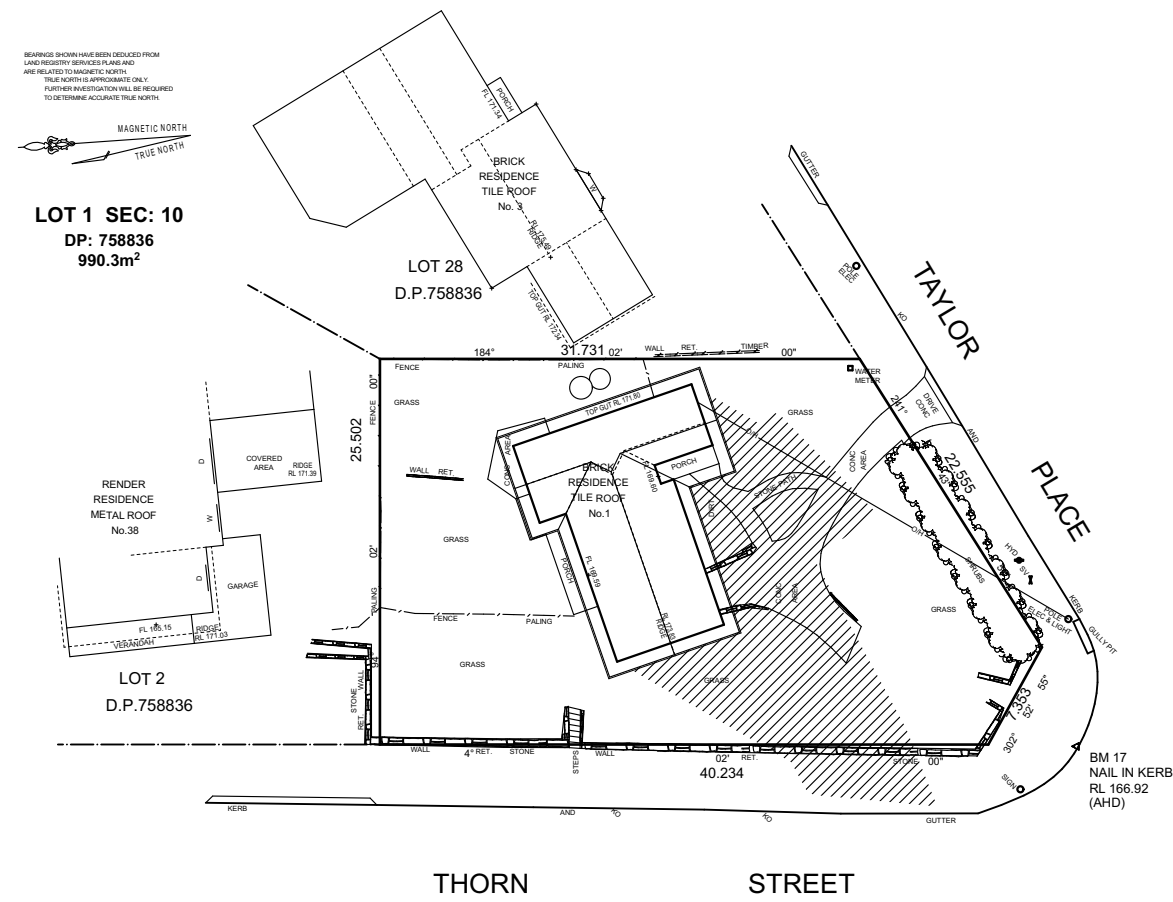
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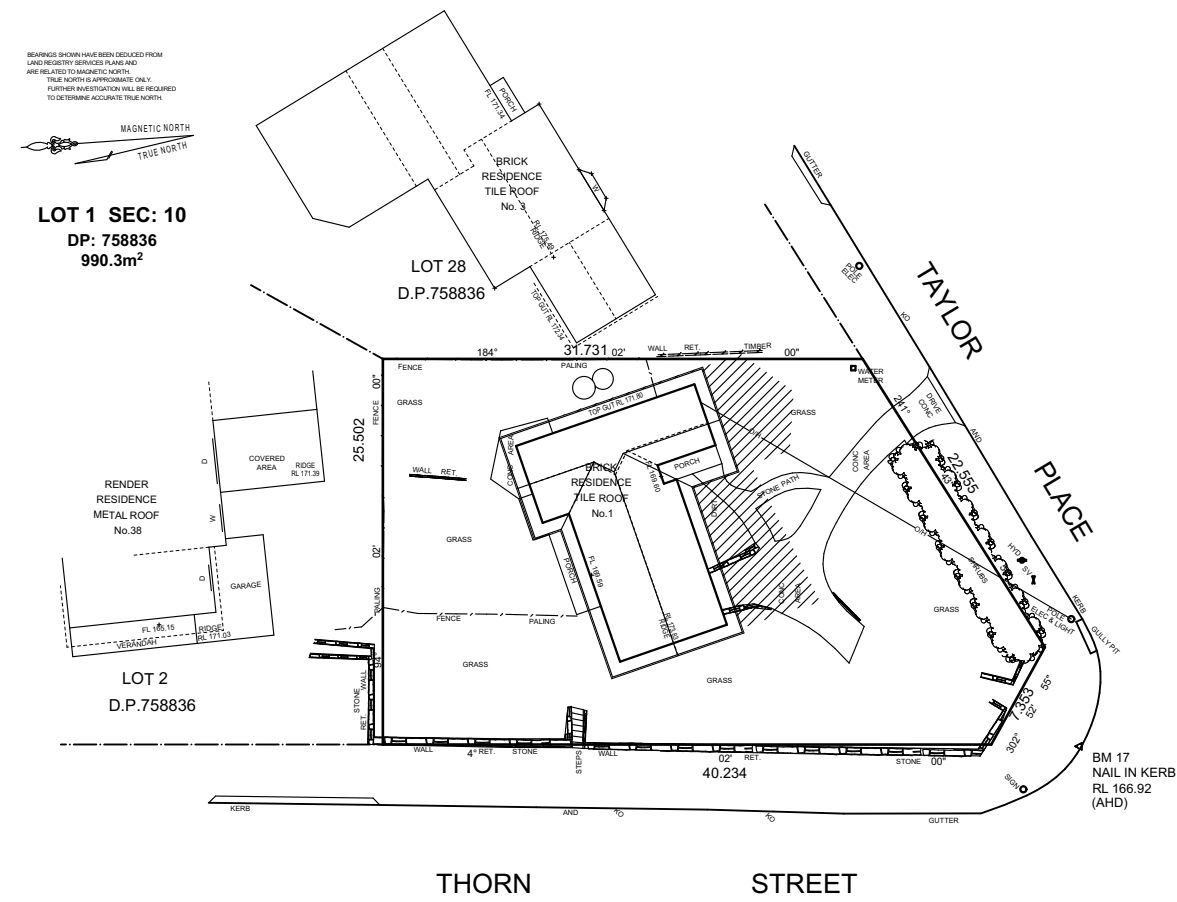
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		TBC						LGA: Hornsby Shire Council	Date: 06.10.20	
		Slab Classification:						Design : Custom Design		
		TBC						Job No: 4326N	Sheet Size: A2	Sheet No: 3 of 15
		Wind Speed Class:								
		TBC								

Shadow Diagrams

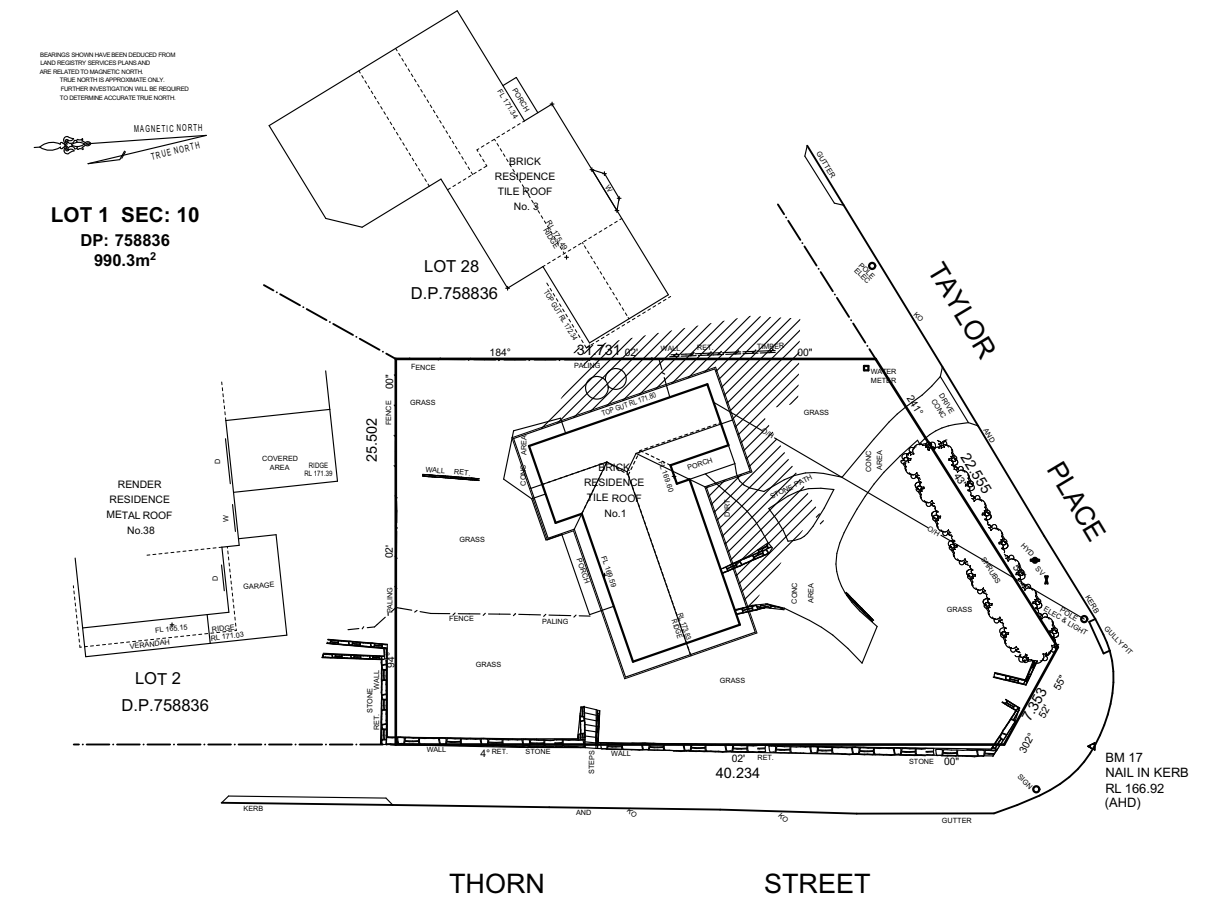
Existing Shadows



June 22nd - 9am
Scale 1:500

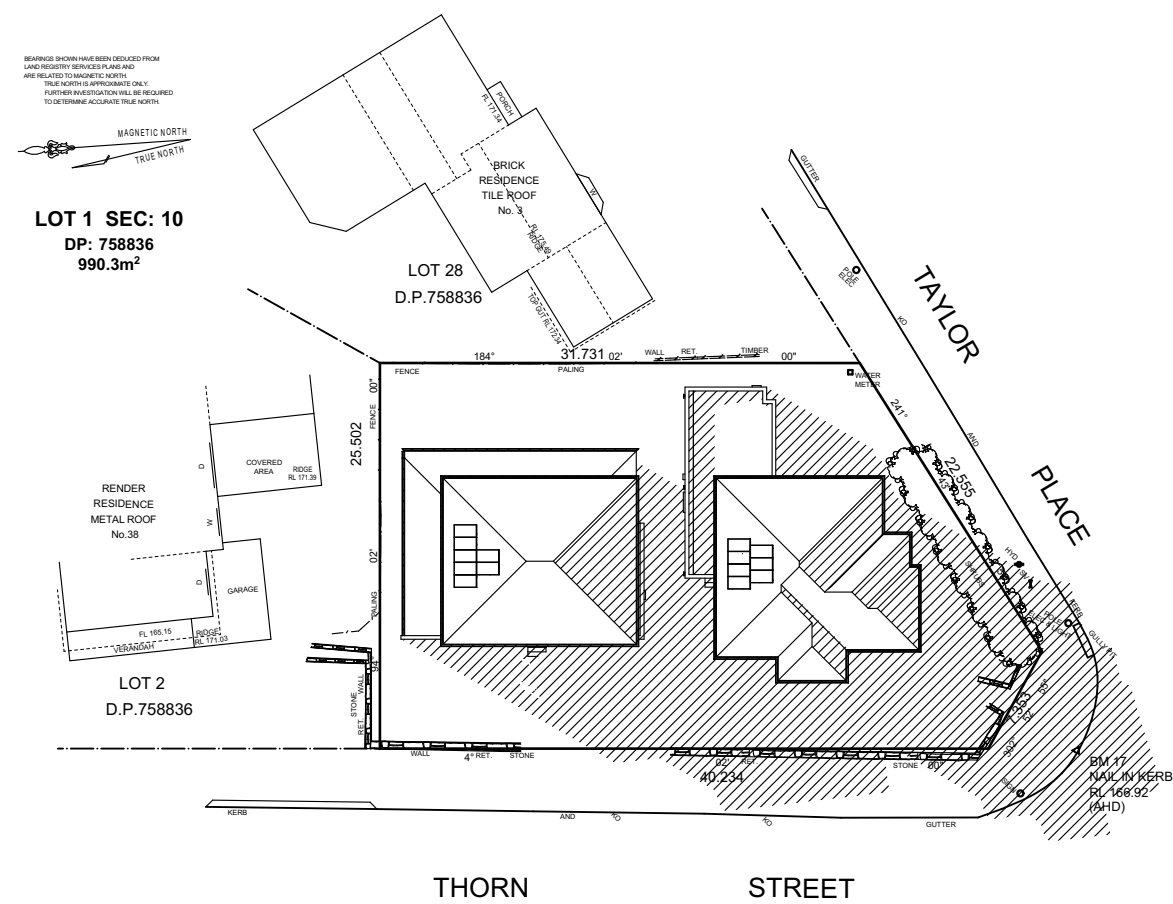


June 22nd - 12noon
Scale 1:500

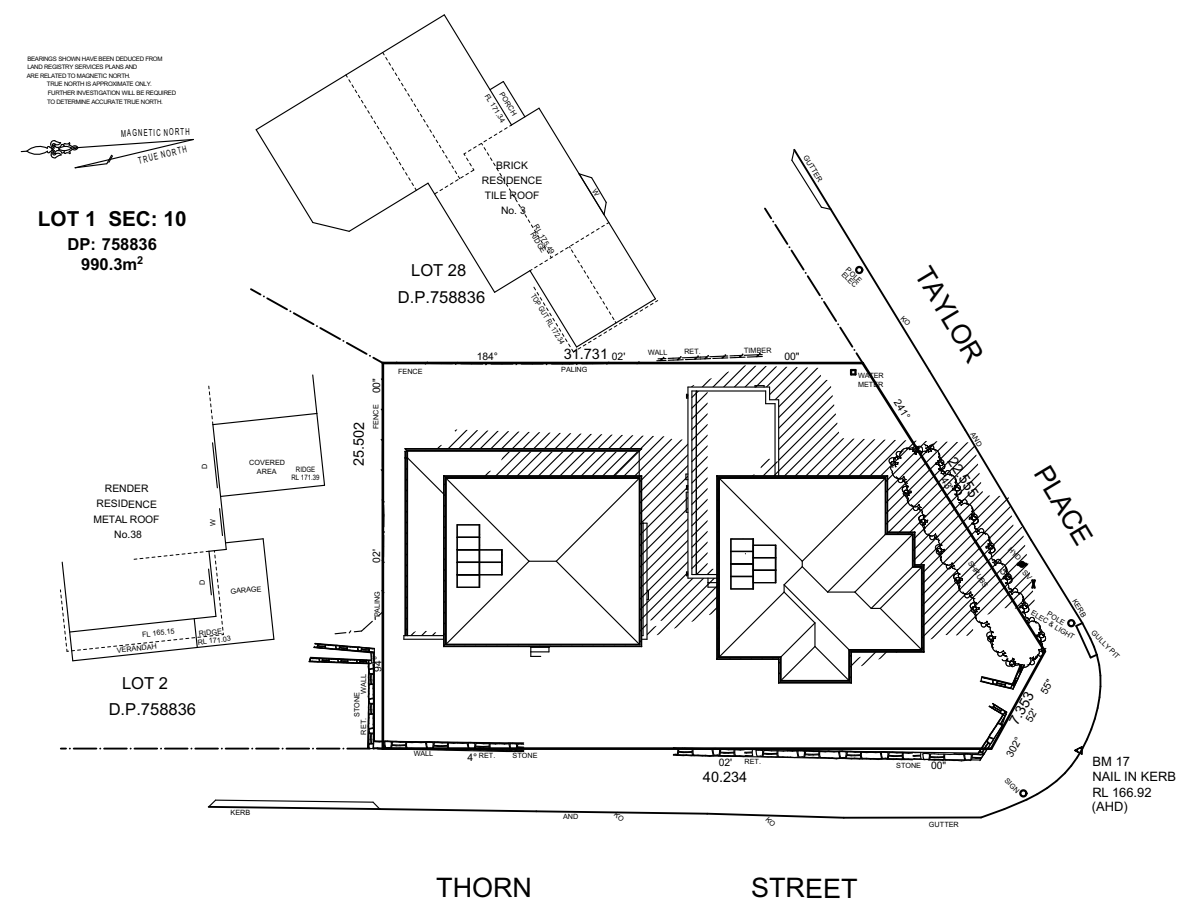


June 22nd - 3pm
Scale 1:500

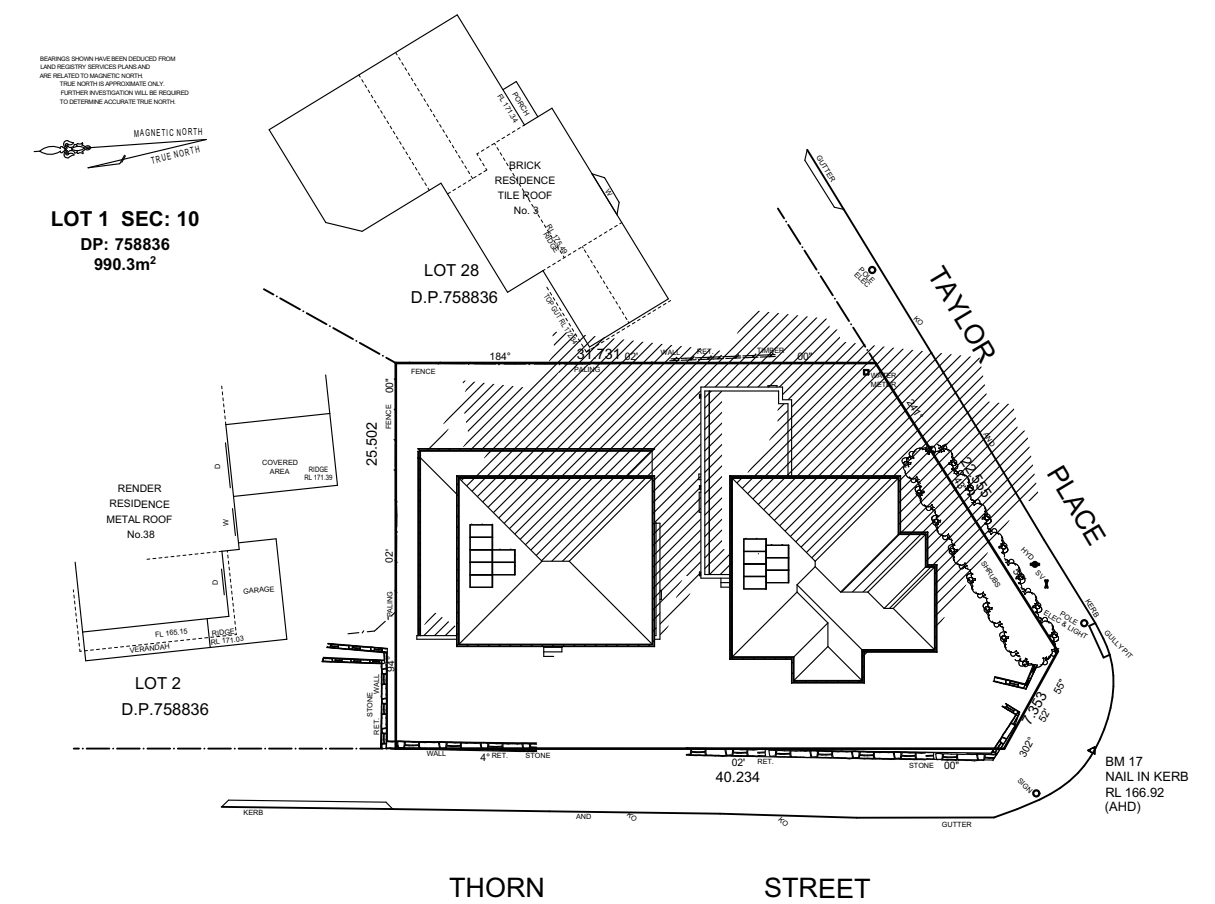
Proposed Shadows



June 22nd - 9am
Scale 1:500



June 22nd - 12noon
Scale 1:500



June 22nd - 3pm
Scale 1:500



0005516026 16 Dec 2020

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Accreditation No. DMN/12/1456

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LOT:1 SEC: 10 DP:758836 No.1 Taylor Place Pennant Hills, NSW 2120

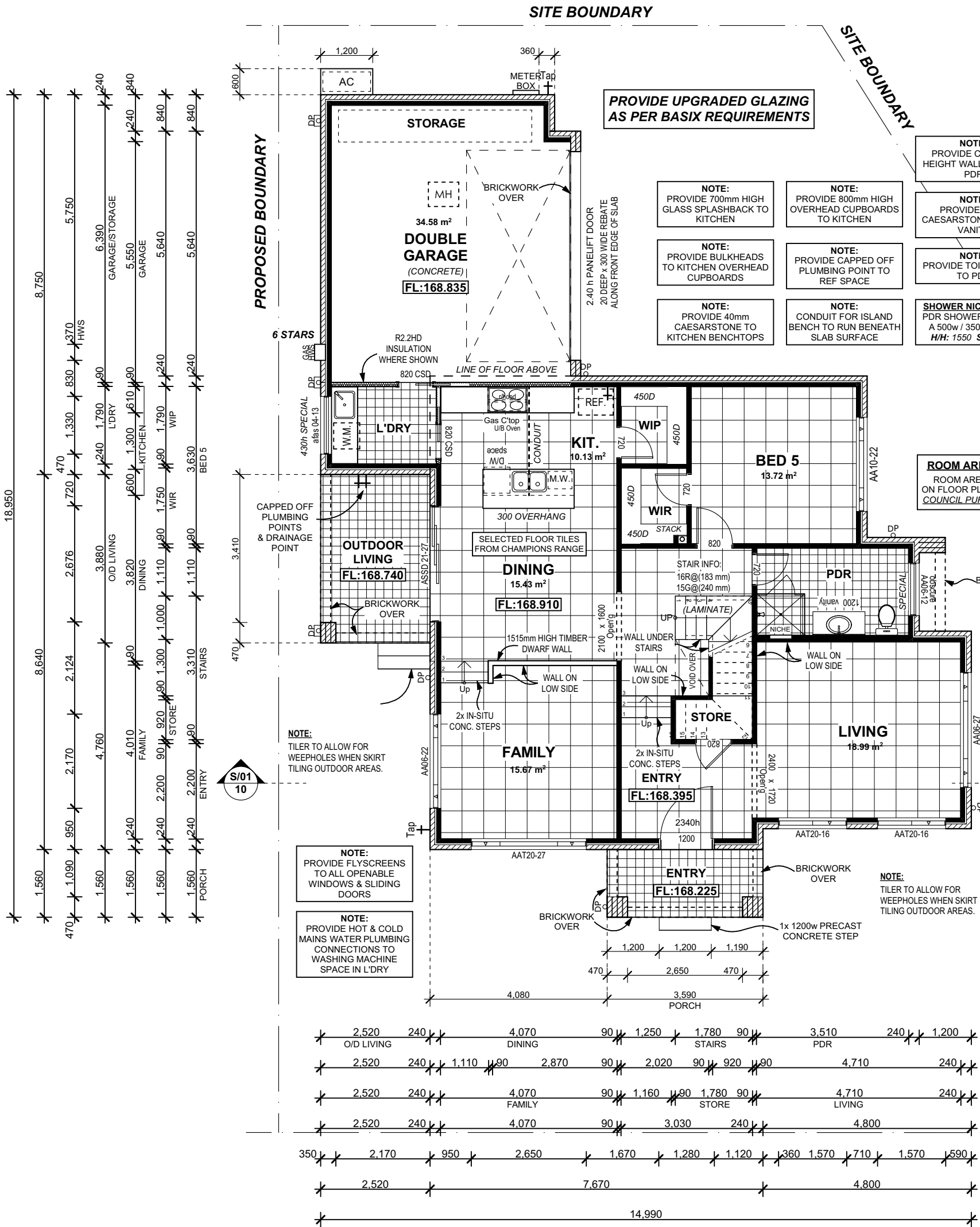
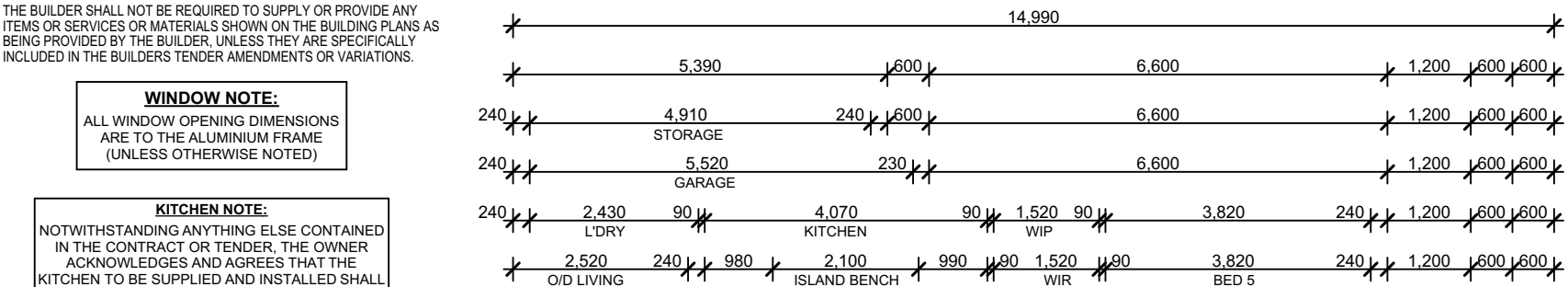
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Job No: 4326N	Sheet Size: A2	Sheet No: 7 of 15

Plot Date: Friday, 26 February 2021

NOTE:
THE BUILDER RESERVES THE RIGHT TO CONSTRUCT OR INSTALL A/C DUCTS
AND/OR BULKHEADS ARISING OUT OF ANY DESIGN ISSUES ENCOUNTERED DURING
CONSTRUCTION OR AS A RESULT OF THE BUILDERS WORK METHODS.
THE BUILDER SHALL NOT BE REQUIRED TO SUPPLY OR PROVIDE ANY
ITEMS OR SERVICES OR MATERIALS SHOWN ON THE BUILDING PLANS AS
BEING PROVIDED BY THE BUILDER, UNLESS THEY ARE SPECIFICALLY
INCLUDED IN THE BUILDERS TENDER AMENDMENTS OR VARIATIONS.

WINDOW NOTE:
ALL WINDOW OPENING DIMENSIONS
ARE TO THE ALUMINIUM FRAME
(UNLESS OTHERWISE NOTED)

KITCHEN NOTE:
NOTWITHSTANDING ANYTHING ELSE CONTAINED
IN THE CONTRACT OR TENDER, THE OWNER
ACKNOWLEDGES AND AGREES THAT THE
KITCHEN TO BE SUPPLIED AND INSTALLED SHALL
BE IN ACCORDANCE WITH THE KITCHEN
MANUFACTURERS DETAIL



Ground Floor Plan - LOT 1
Scale 1:100

SCALE BAR 1:100
0 1,000 2,000 3,000 4,000mm

Lot 1 Areas	
Area Name	Area m2
BALCONY	5.60
FIRST FLOOR	123.52
GARAGE	39.21
GROUND FLOOR	127.05
OUTDOOR LIVING	9.78
PORCH	5.60
	310.76 m²

ROOF AREA (m2) - LOT 1	
Pitch	Horizontal Area
5.00°	43.60
22.50°	152.38

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NOT FOR CONSTRUCTION

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Slab Classification:
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Wind Speed Class:
TBC

Rev	Date	Amendment
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5.2

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

63.2

Mains

www.nathers.gov.au

0005516026 16 Dec 2020

Assessor Thomas Ruck

Accreditation No. DMN12/1456

Address Unit Dwelling 1, 1 Taylor Place, Pennant Hills, NSW, 2120

hstar.com.au

**NOTE: CARPENTER TO REFER TO
WET AREAS LAYOUT
PAGE FOR FLOOR DRAINAGE
POSITIONS WHEN
POSITIONING FLOOR JOISTS**

NOTE:
ALL WINDOW OPENING DIMENSIONS
ARE TO THE ALUMINIUM FRAME
(UNLESS OTHERWISE NOTED)

ROOF AREA (m2) - LOT 1	
Pitch	Horizontal Area
5.00°	43.60
22.50°	152.38

Lot 1 Areas	
Area Name	Area m2
BALCONY	5.60
FIRST FLOOR	123.52
GARAGE	39.21
GROUND FLOOR	127.05
OUTDOOR LIVING	9.78
PORCH	5.60
	310.76 m²

First Floor Plan - LOT 1
Scale 1:100

ROOM AREAS NOTE:
ROOM AREAS SHOWN
ON FLOOR PLANS ARE FOR
COUNCIL PURPOSES ONLY

PROPOSED BOUNDARY

SITE BOUNDARY

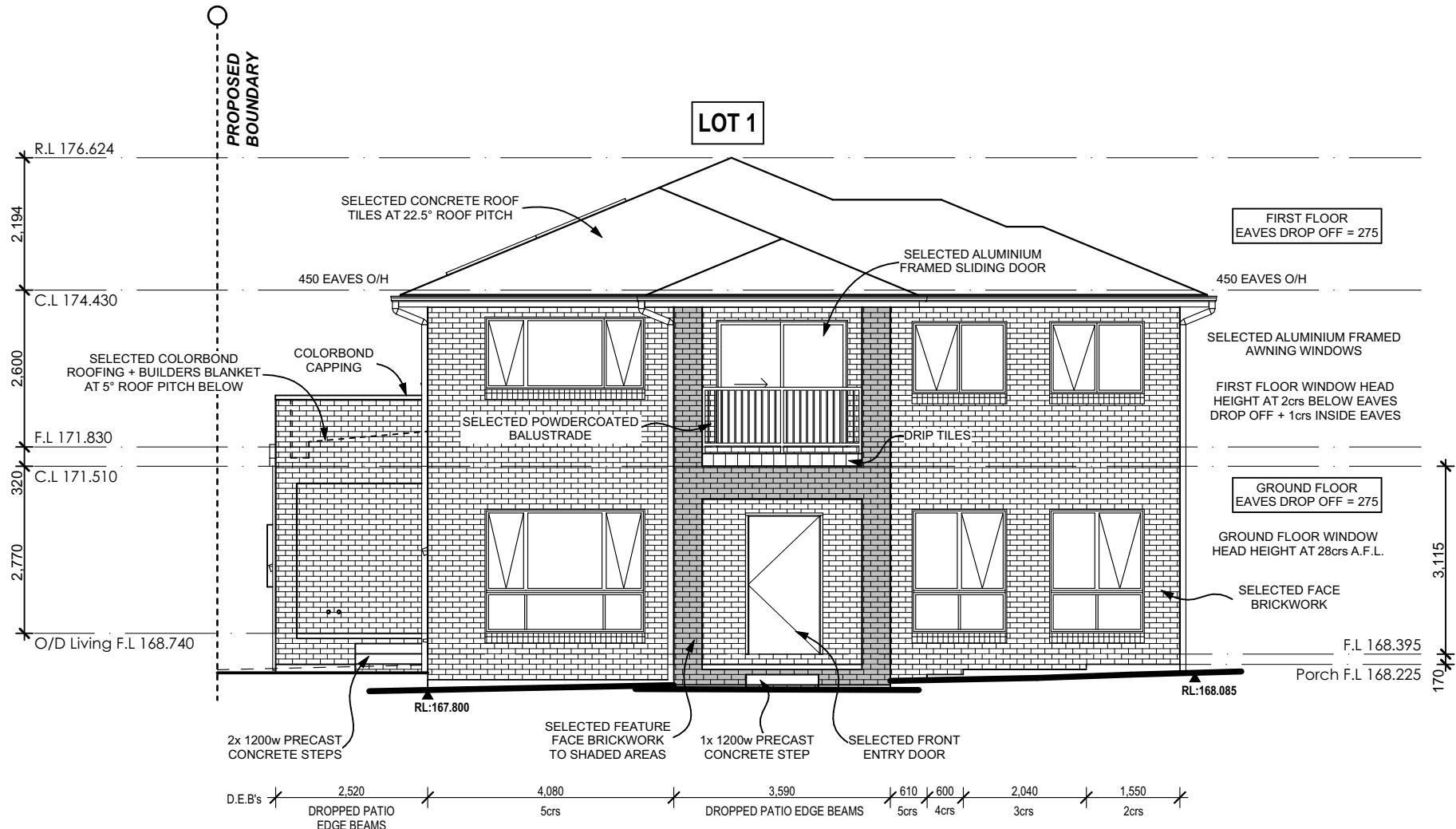
SITE BOUNDARY

NORTH

SITE BOUNDARY

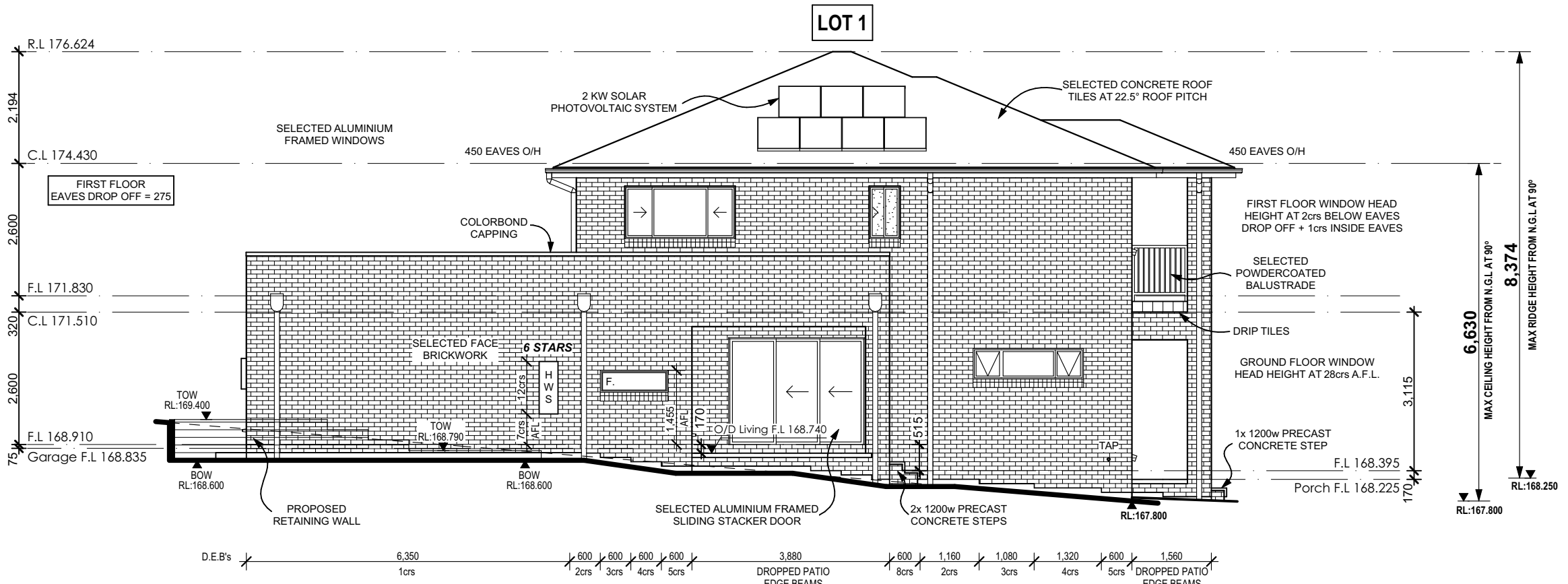
PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

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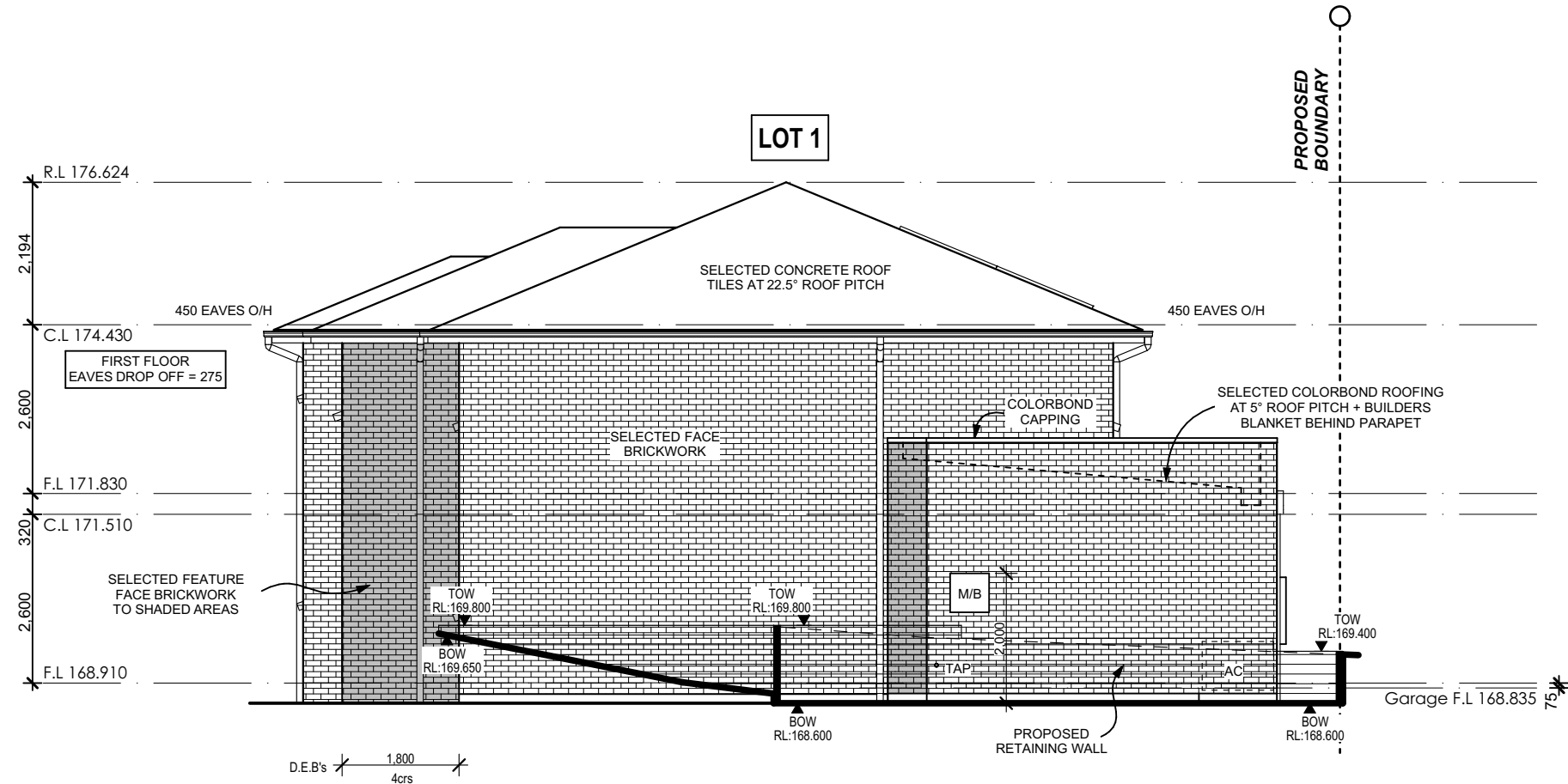
Western Elevation

Scale 1:100



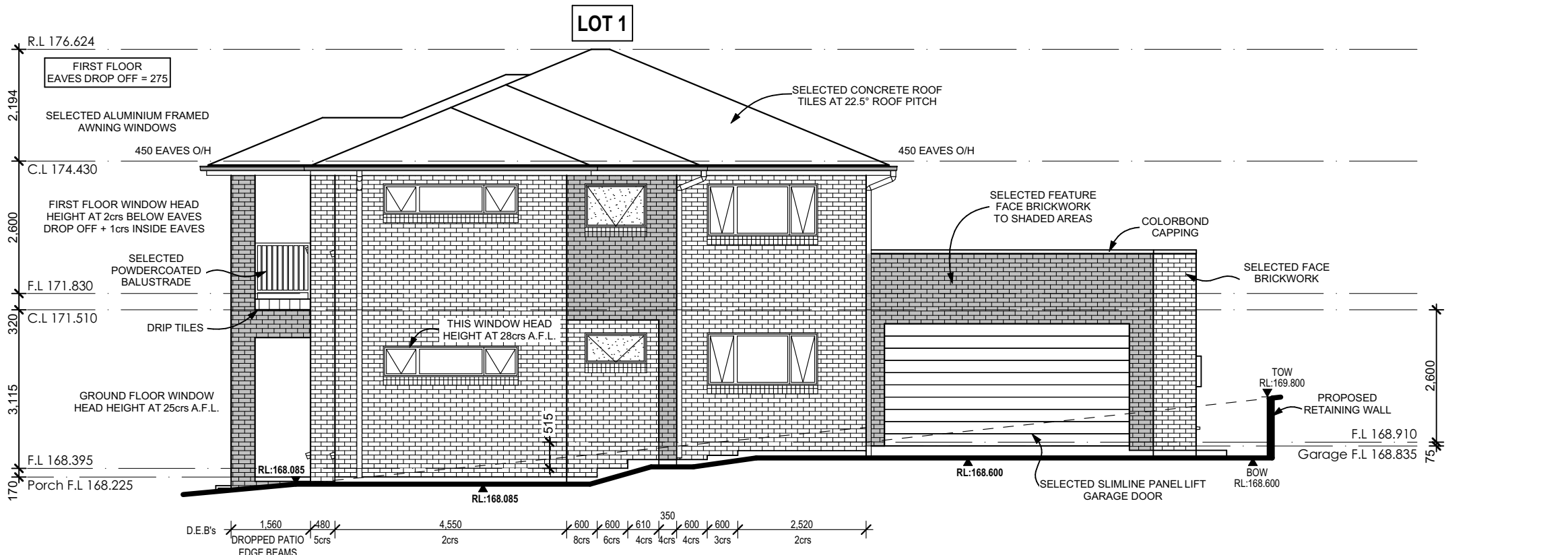
Northern Elevation

Scale 1:100



Eastern Elevation

Scale 1:100



Southern Elevation

Scale 1:100



Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

CHAMPION HOMES
Suite 1, Level 1 600 Hoxton Park Road, Hoxton Park NSW 2171
Telephone: (02) 9825 8000 Fax: (02) 9825 8110
www.championhomes.com.au
Builders Licence No.92732C

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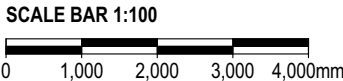
Soil Classification:	TBC
Slab Classification:	TBC
Wind Speed Class:	TBC

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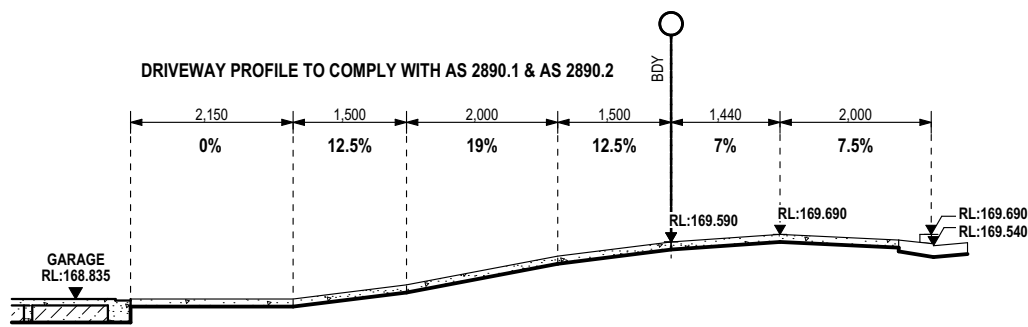
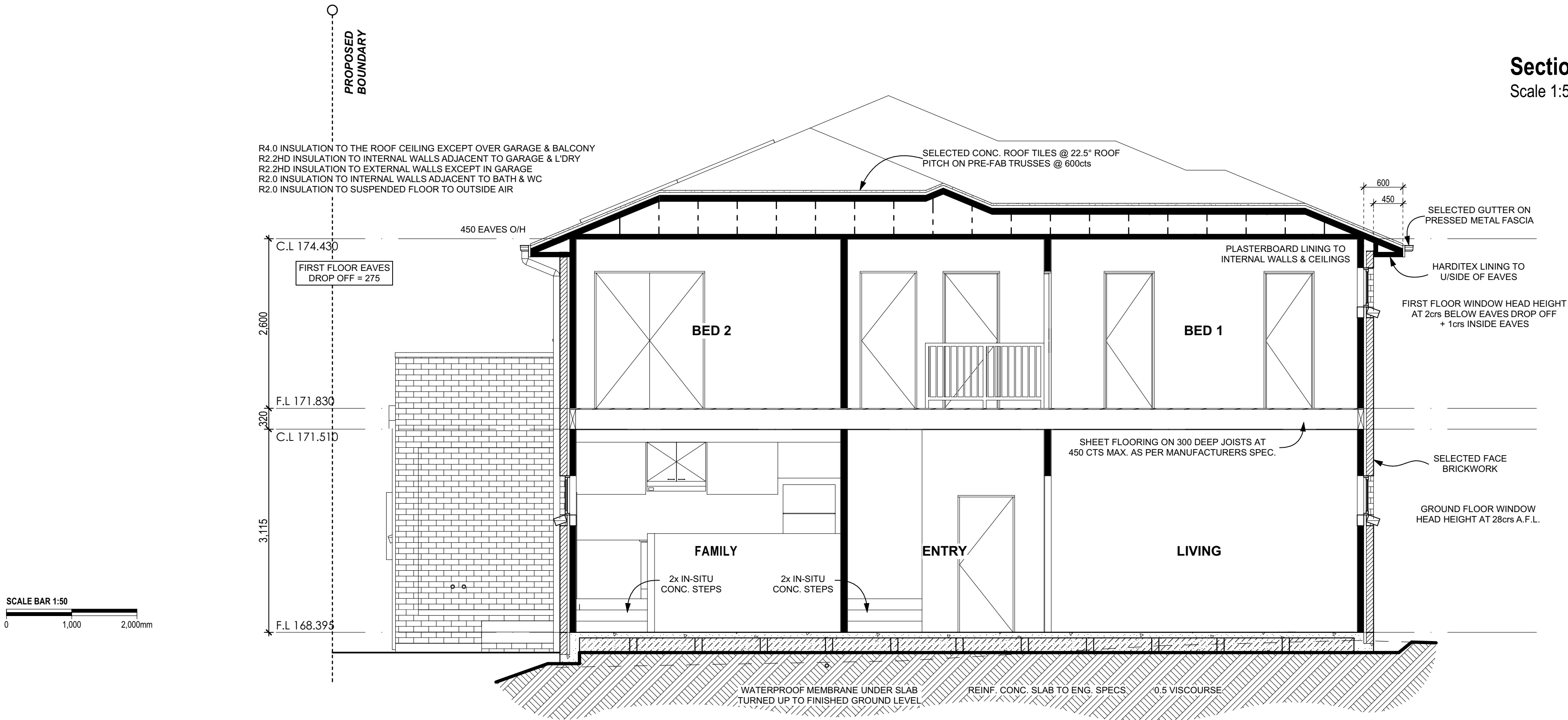
Proposed: Land Subdivision & 2x Two Storey Dwellings
LOT:1 SEC: 10 DP:758836
No.1 Taylor Place
Pennant Hills, NSW 2120

Client : Andrew Lewis			
LGA: Hornsby Shire Council		Date: 06.10.20	
Design : Custom Design			
Job No: 4326N	Sheet Size: A2	Sheet No: 9 of 15	

Plot Date: Friday, 26 February 2021

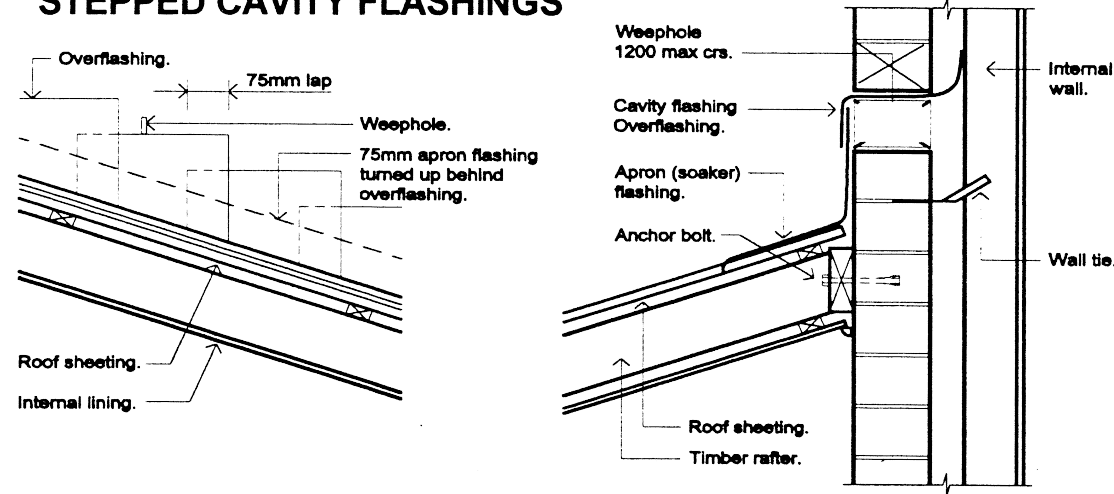


Section 01
Scale 1:50



Driveway Profile - LOT 1
Scale 1:100

STEPPED CAVITY FLASHINGS



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Rev	Date	Amendment
G	26.02.21	LOT 1 REDESIGN - MT
F	11.01.21	BASIX INFO ADDED & DA PLANS - AW
E	14.12.20	HYDRAULICS AMENDMENTS - SI
D	09.12.20	ARBORIST AMENDMENTS - BT
C	26.10.20	CLIENT AMENDMENTS - MA
B	23.10.20	CLIENT AMENDMENTS - AW
A	06.10.20	CONTRACT DRAWINGS - AW

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Job No:	4326N	Sheet Size: A2
		Sheet No: 10 of 15

Plot Date: Friday, 26 February 2021

Scale 1:100

WINDOW NOTE:

KITCHEN NOTE:

NOTE:

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ENERGY RATING SCHEME

www.hawaii.gov.au

INDIAN

MINI

A - LOT 2

Lot 2 Areas

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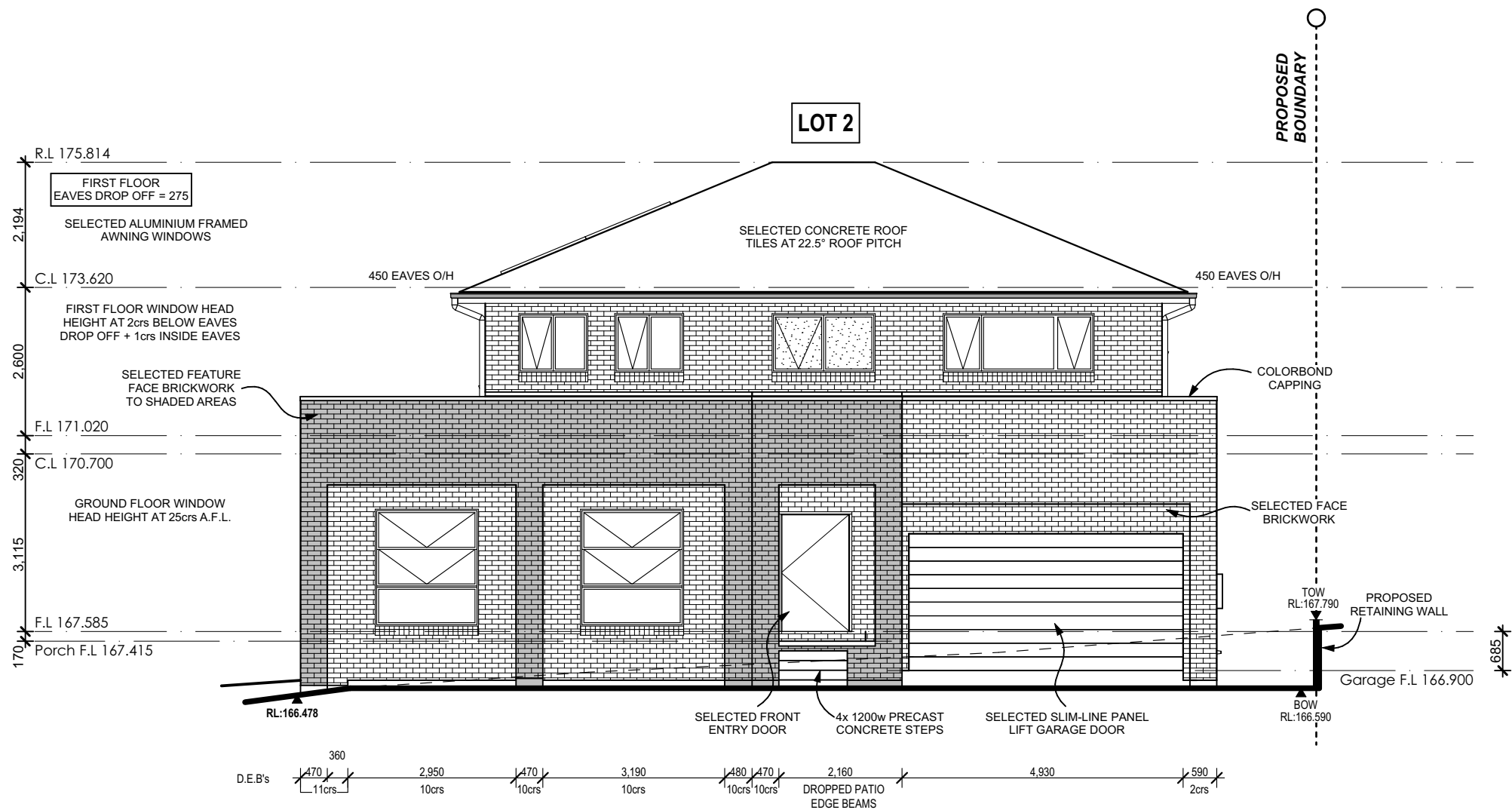
Client:

-GA: Horns:

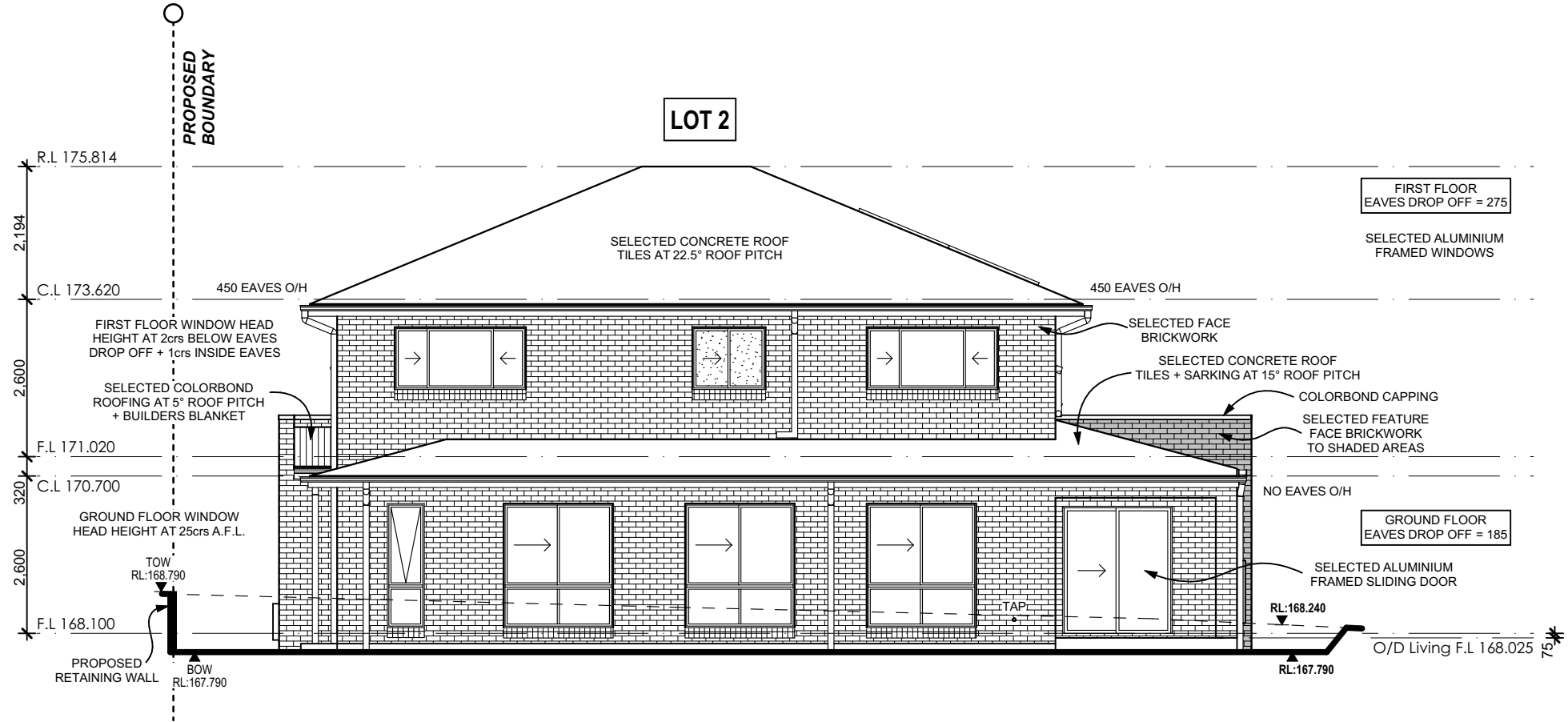


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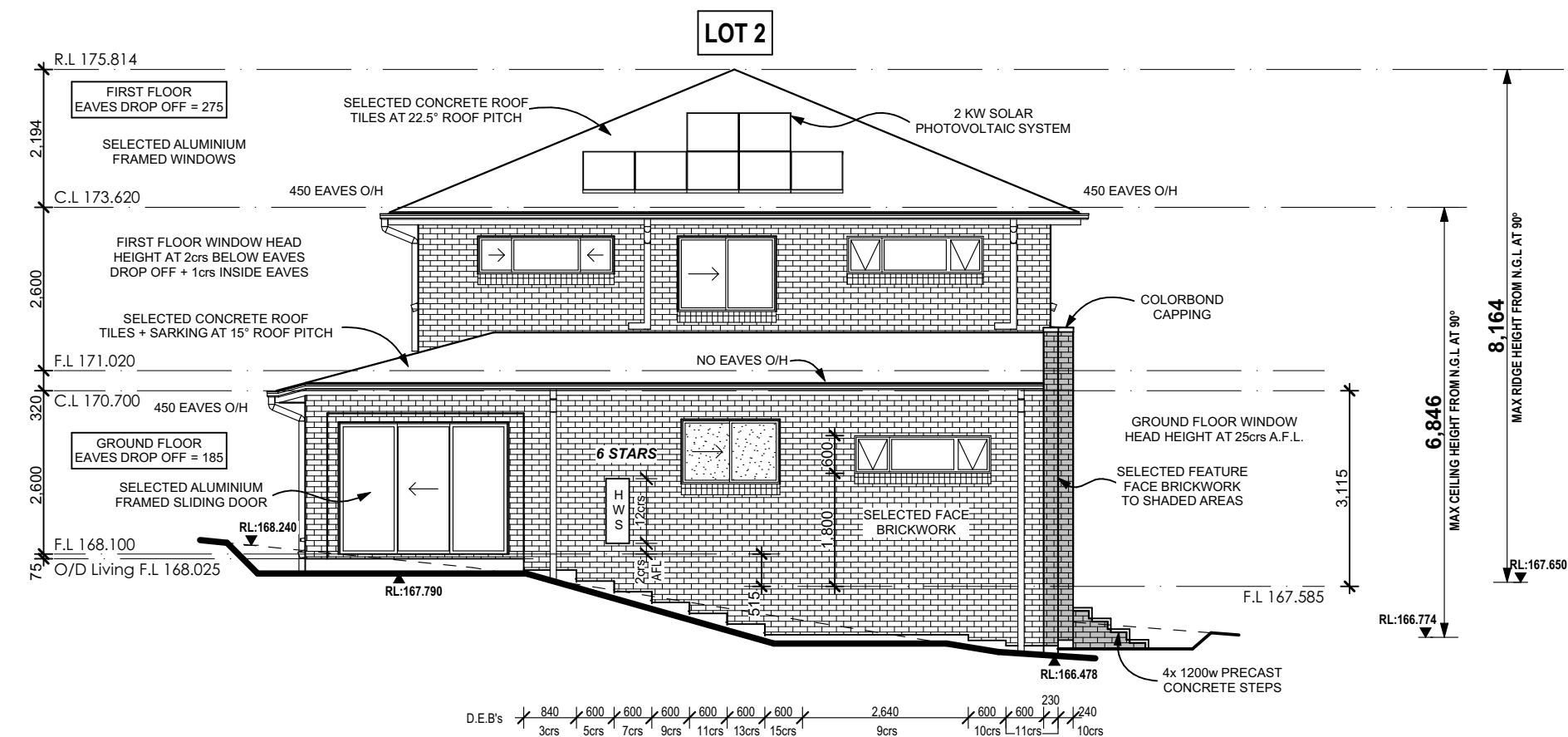
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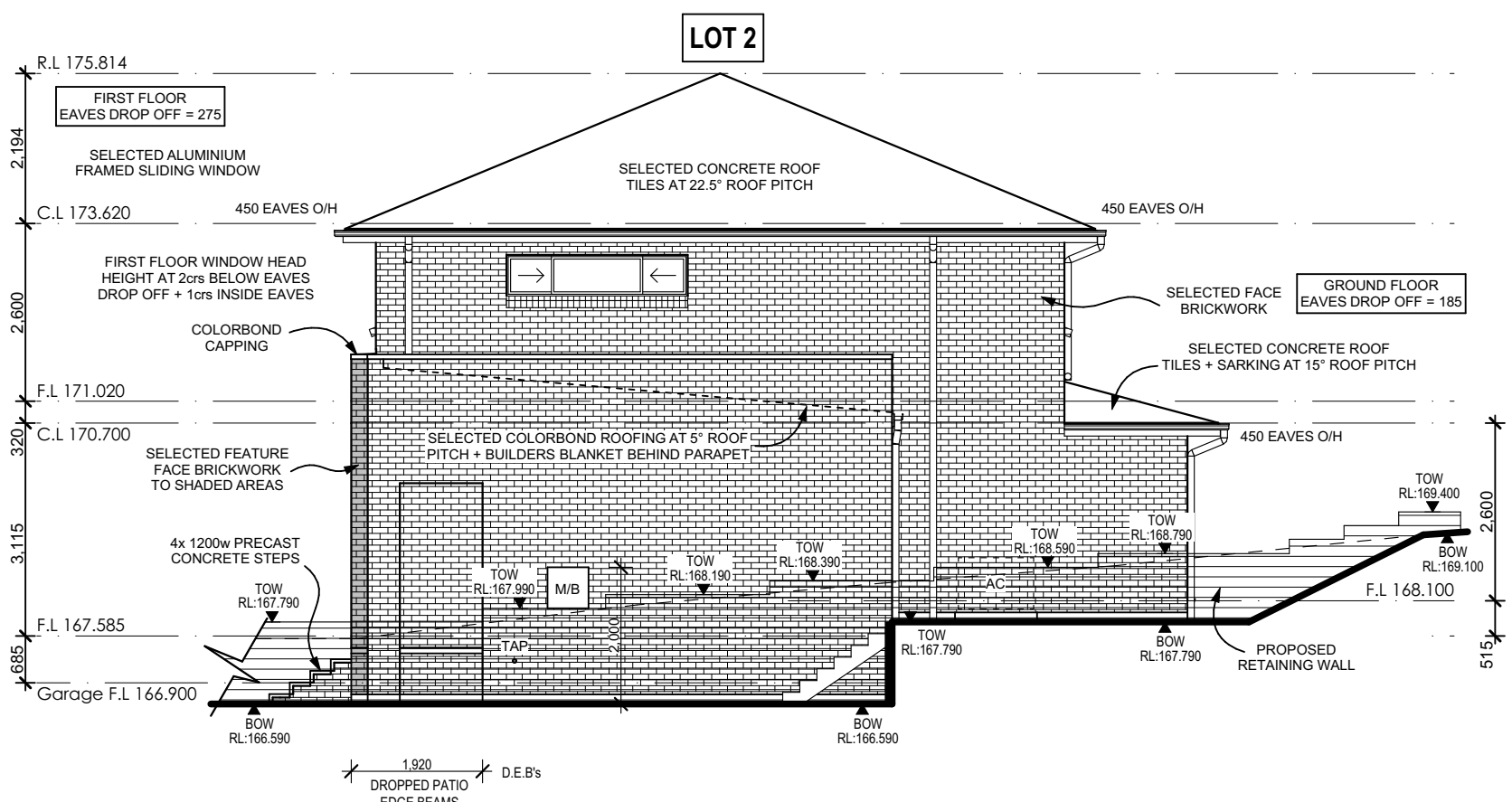
Western Elevation
Scale 1:100



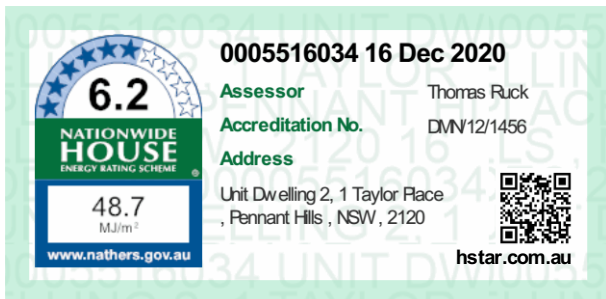
Eastern Elevation
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Northern Elevation
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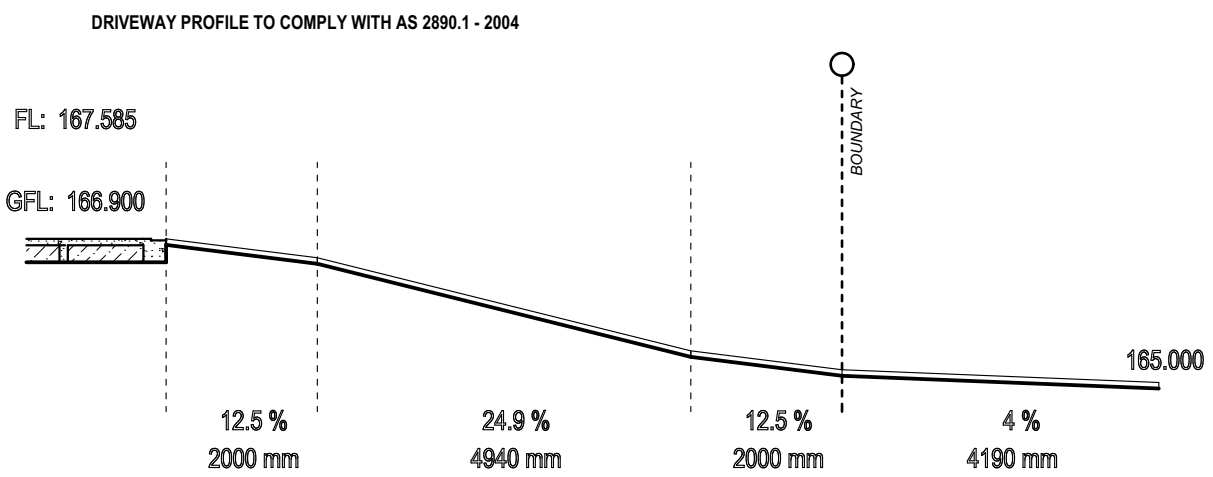
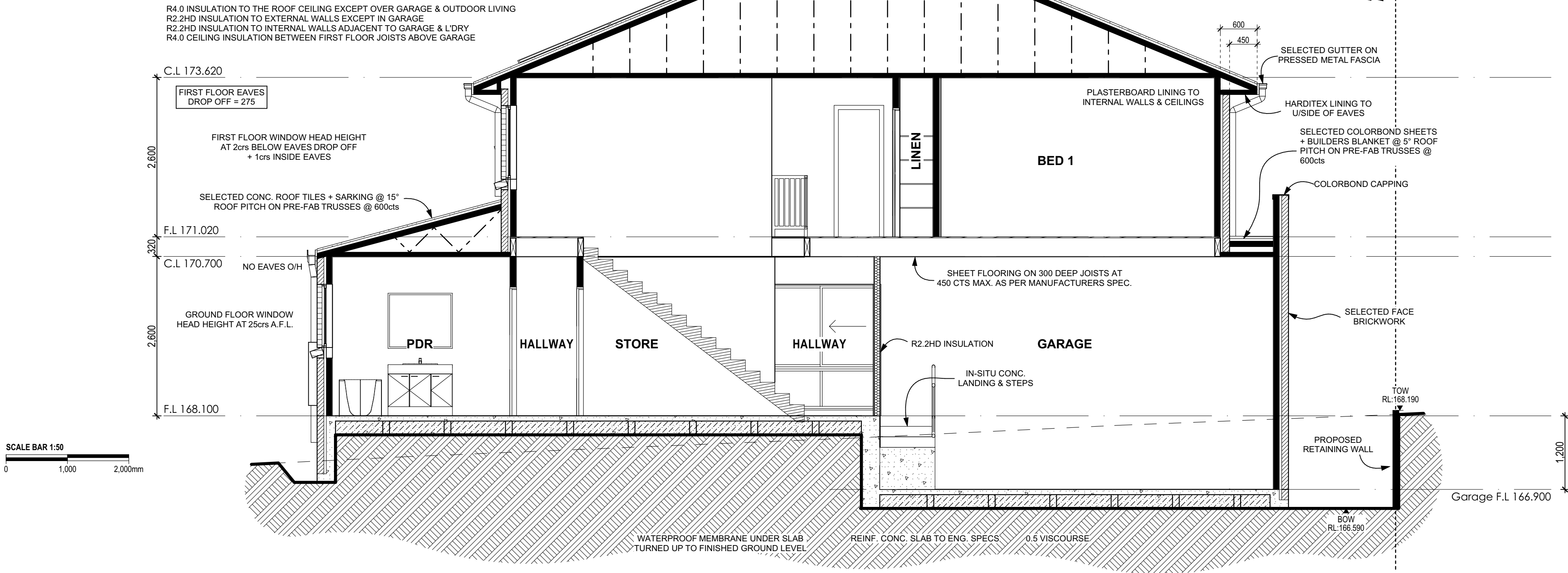
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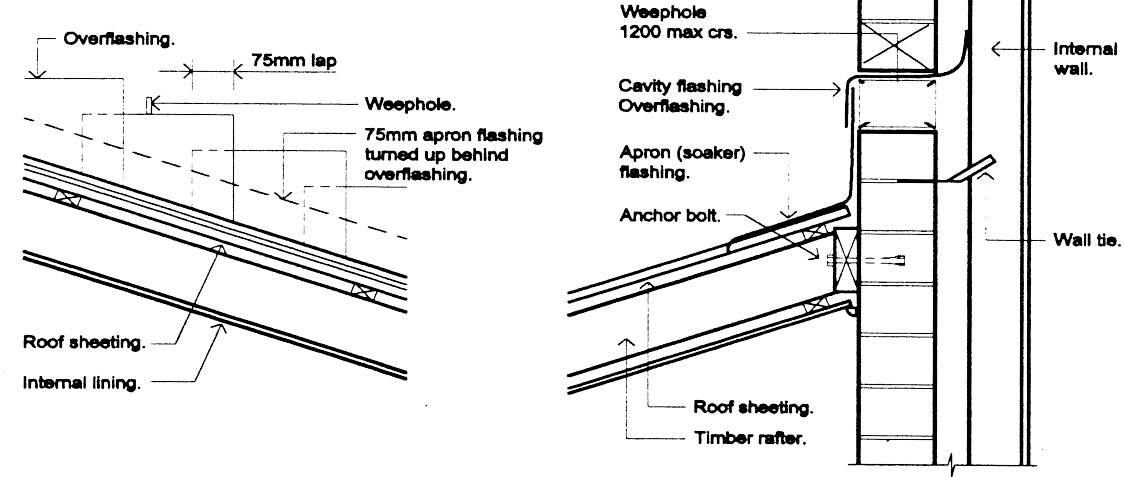
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Design : Custom Design		
Job No: 4326N	Sheet Size: A2	Sheet No: 13 of 15

Section 02
Scale 1:50



Driveway Profile - LOT 2
Scale 1:100

STEPPED CAVITY FLASHINGS



0005516034 16 Dec 2020
Assessor Thomas Ruck
Accreditation No. DMV12/1456
Address Unit Dwelling 2, 1 Taylor Place
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