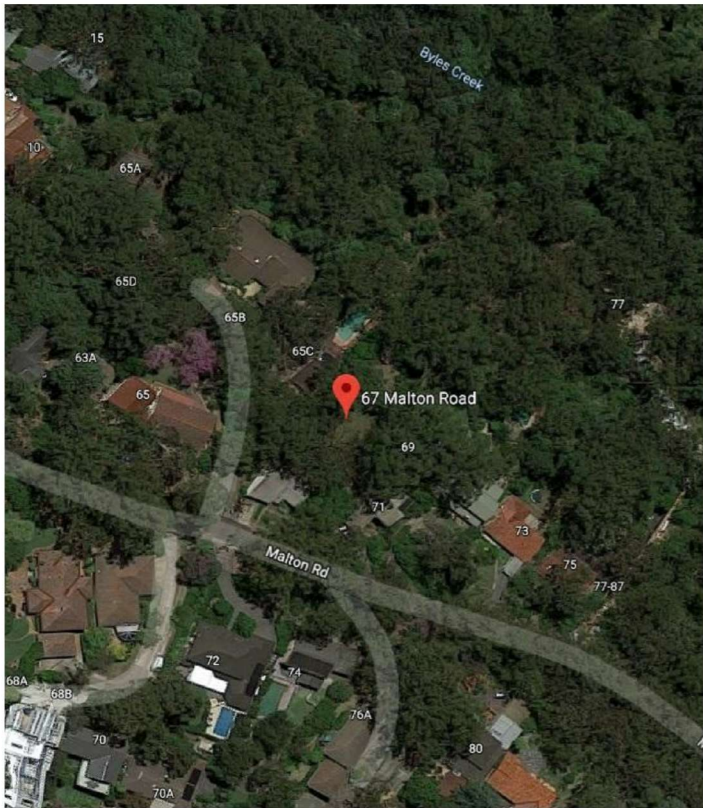


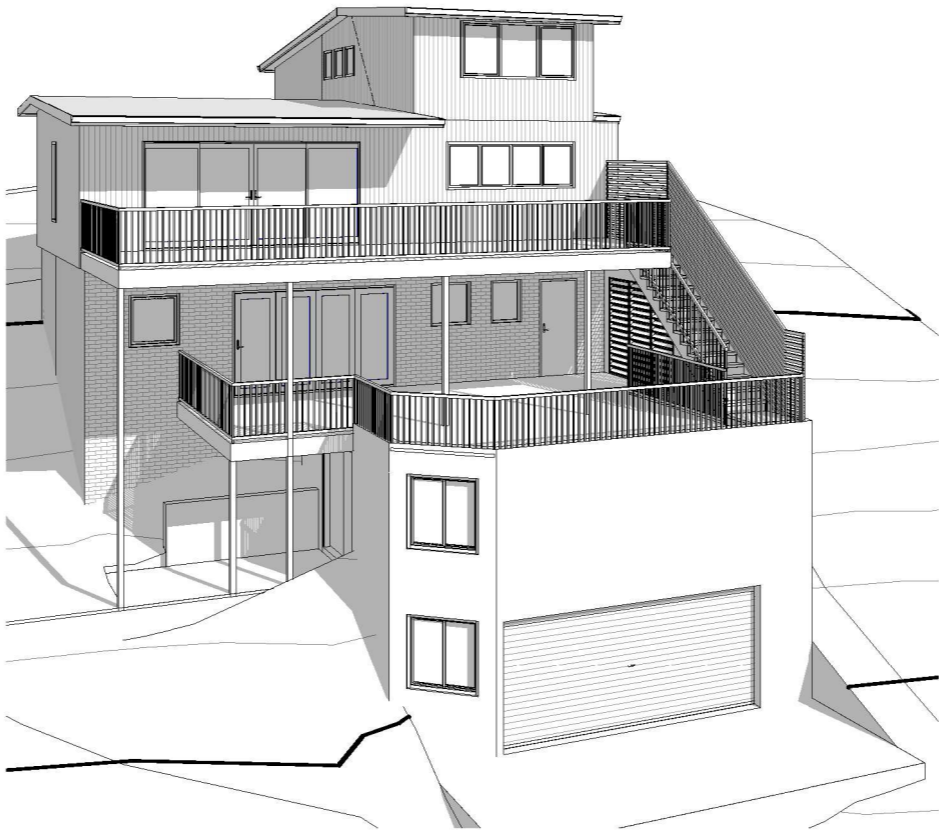
# PROPOSED ALTERATIONS & ADDITIONS

PROJECT ADDRESS: 67 MALTON ROAD, BEECROFT  
LOT 1, DP 25800

CLIENT: KENT & KATHARINA ROSS  
COUNCIL: HORNSBY SHIRE COUNCIL  
STATUS: DEVELOPMENT APPLICATION



SITE LOCATION NTS



PERSPECTIVE NTS

DRAWING SCHEDULE	
DWG	DESCRIPTION
DA01	COVER SHEET
DA02	GENERAL SPECIFICATIONS
DA03	SITE PLAN
DA05	CONSTRUCTION MANAGEMENT PLAN
DA06	FLOOR PLANS SHEET 1
DA07	FLOOR PLANS SHEET 2
DA08	FLOOR PLANS SHEET 3
DA09	ELEVATION SHEET 1
DA10	ELEVATION SHEET 2
DA11	SECTIONS
DA12	BASIX COMMITMENTS
DA13	NOTIFICATION PLAN
DA14	WINDOW SCHEDULE
DA15	21 JUNE SHADOW DIAGRAM - 0900
DA16	21 JUNE SHADOW DIAGRAM - 1200
DA17	21 JUNE SHADOW DIAGRAM - 1500
DA18	HEIGHT BLANKETS

FOR SUBMISSION

<div>DELVE DESIGN</div> <div>Tel: 02 9980 9528 Web: www.delvedesign.net.au</div> <div>Suite 7, 265-271 Pennant Hills Road Thornleigh, NSW, 2120</div>	PROJECT PROPOSED ALTERATIONS & ADDITIONS 67 MALTON ROAD, BEECROFT CLIENT KENT & KATHARINA ROSS DRAWING TITLE COVER SHEET	JOB REF 1236	DRAWING DA01	J	DA SUBMISSION	26/04/22	<div>GENERAL NOTES:</div> <div>- All work is to comply with the National Construction Code 2019, the requirements of the legally constituted authorities for services and the relevant standards by the Standards Association of Australia.</div> <div>- Finished ground levels on the plan are subject to site conditions.</div> <div>- Do not scale from drawings, use figured dimensions only and report any discrepancies to the designer prior to commencement.</div> <div>- All figured dimensions are to be checked on site prior to the commencement of construction.</div> <div>COPYRIGHT:</div> <div>This plan is the exclusive property of Delve Design and must not be used, reproduced or copied without written permission.</div>
		DATE 26/04/2022		I	DA SUBMISSION	19/04/22	
				H	DA SUBMISSION	15/02/22	
				G	DA SUBMISSION	10/11/21	
		SCALE		F	ISSUE FOR CLIENT	22/09/21	
				REV	AMENDMENT DESCRIPTION	DATE	

A3 ORIGINAL SIZE

GENERAL SPECIFICATIONS

The building works included in the subject application will comply with relevant deemed-to-satisfy provisions of the National Construction Code of Australia 2019 and relevant Australian Standards of construction, including (as applicable), but not limited to the following:

- General Provisions as Applicable  
AS 3959 Construction of Building sin Bushfire Prone Areas
- Site Establishment/Demolition  
AS 2601 - The Demolition of Structures  
AS/NZS 4576 - Guidelines for Scaffolding  
AS/NZS 1576.1 - Scaffolding - General Requirements  
AS/NZS 4994.2 - Temporary Roof Edge Protection for Housing and Residential Buildings  
Code of Practice for the Safe Removal of Asbestos, NOHSC:2002  
Guide to the Control of Asbestos Hazards in Buildings and Structures, NOHSC:3002
- Earthworks  
*Refer to Structural Engineers Design and Specifications*  
Earthworks are to be carried out in accordance with the requirements of the Environmental Planning & Assessment Act 1979  
Building Code of Australia Part 3.1.1 - Earthworks  
AS 3798 - Guidelines on Earthworks for Commercial and Residential Developments
- Stormwater Drainage  
*Refer to Hydraulic Engineer's Design and Specifications*  
Building Code of Australia Part 3.1.2 - Drainage  
AS/NZS 3500 - National Plumbing and Drainage Code - Stormwater Drainage
- Retaining Walls  
*Refer to Structural Engineers Design and Specifications*  
AS 1720.1 - Timber Structures - Part 1 - Design Methods  
AS 1720.2 - Timber Structures - Part 2 - Timber Structures - Timber Properties  
AS 3600 - Concrete Structures  
AS 3700 - Masonry Structures  
AS 3798 - Guidelines on Earthworks for Commercial and Residential Developments  
AS 4678 - Earth Retaining Structures
- Drainage and Plumbing  
*Refer to Hydraulic Engineer's Design and Specifications*  
Building Code of Australia Part 3.1.2 - Drainage  
AS/NZS 3499 - Water Supply - Flexible Hose Assemblies  
AS/NZS 3500 - National Plumbing Code  
AS/NZS 3500.1 - Water Supply  
AS/NZS 3500.2 - Sanitary Plumbing and Sanitary Drainage  
AS/NZS 3500.3 - Stormwater Drainage  
AS/NZS 3500.4 - Hot Water Supply  
AS/NZS 3500.5 - National Plumbing and Drainage - Domestic Installations  
AS 3740 - Waterproofing of Wet Areas Within Residential Buildings  
AS 1357.1 - Valves Primarily for Use in Heated Water Systems - Protection Valves  
AS 1357.2 - Valves Primarily for Use in Heated Water Systems - Control Valves  
AS/NZS 4858 Wet Area Membranes  
AS 5601 - Gas Installations
- Termite Protection  
*Refer to Structural Engineer's Design and Specifications*  
Building Code of Australia Part 3.1.3 - Termite Risk Management  
AS 3660.1 - Protection of Buildings from Subterranean Termites  
Upon completion, a durable notice must be permanently fixed to the building in a suitable location, such as a meter box or the like, indicating: the method of protection; the date of installation of the system; and where a chemical barrier is installed, its life expectancy as listed on the National Registration Authority label; and the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity.
- Footings and Slabs  
*Refer to Structural Engineer's Design and Specifications*  
*Refer to Geotechnical Engineer's Report for soil classification*  
Building Code of Australia Part 3.2 - Footings and Slabs  
AS 2870 - Residential Slabs and Footings  
AS 3600 - Concrete Structures  
AS 2159 - Piling - Design and Installation

- Masonry  
*Refer to Structural Engineer's Design and Specifications*  
Building Code of Australia Part 3.3 - Masonry  
AS/NZS 2904 - Damp-proof courses and flashings  
AS/NZS 2699.1 - Built-in Components for Masonry Construction - Wall Tiles  
AS/NZS 2699.2 - Built-in Components for Masonry Construction - Connections and Accessories  
AS/NZS 2699.3 - Built-in Components for Masonry Construction - Lintels and Shelf Angles (Durability Requirements)  
AS 3972 - Portland and Blended Cements  
AS 3660.1 - Termite Management - New Building Work  
AS 3660.2 - Termite Management - In and Around Existing Buildings and Structures - Guidelines
- Structural Steelwork  
*Refer to Structural Engineer's Design and Specification*  
Building Code of Australia Part 3.4 - Framing  
AS 4100 - Steel Structures  
AS/NZS 4600 - Cold-formed Steel Structures  
AS 3678 - Structural Steel - Hot Rolled Plates, Floorplates, and Slabs  
AS 1111 - ISO Metric Hexagon Commercial Bolts and Screws  
AS 1554 - Structural Steel Welding  
AS 1163 - Structural Steel - Hollow Sections  
AS 1627.4 - Metal Finishing - Abrasive Blast Cleaning  
AS 1627.5 - Metal Finishing - Pickling, Descaling and Oxide Removal  
AS 2327.1 - Composite Structures - Simply Supported Beams  
AS/NZS 3750.1 - Paints for Steel Structures - Part 1 Epoxy Mastic (Two Pack)  
AS/NZS 3750.13 - Paints for Steel Structures - Part 13 Epoxy Primer (Two Pack)  
AS/NZS 3750.14 - Paints for Steel Structures - Part 14 High-build Epoxy (Two Pack)  
AS/NZS 3750.15 - Paints for Steel Structures - Part 15 Inorganic Zinc Silicate Paint
- Timber Floor, Wall, Roof Framing, Structural Flooring  
*Refer to Structural Engineer's Design and Specifications*  
Building Code of Australia Part 3.4 - Framing  
AS 1684 - Residential Timber Framed Construction  
AS 1720.1 - Timber Structures - Part 1 Design Methods  
AS 1720.2 - Timber Structures - Part 2 Timber properties  
AS 3623 - Domestic metal Framing  
AS 4440 - Installation of Nailplated Timber Roof Trusses  
AS 1680.2 - Particleboard Flooring - Installation  
AS 2269 - Plywood - Structural  
AS 2270 - Plywood and Blockboard for Internal Use  
AS 2271 - Plywood and Blockboard for External Use  
AS/NZS 1604.2 - Reconstituted Wood Based Products  
AS/NZS 1604.3 - Plywood  
AS/NZS 1604.4 - Laminated Timber Veneer  
AS/NZS 1859.1 - Reconstituted Wood Based Panels - Specifications - Particleboard  
AS/NZS 1859.2 - Reconstituted Wood Based Panels - Specifications - Dry Processed Fibreboard  
AS/NZS 1859.3 - Reconstituted Wood Based Panels - Specifications - Decorative Overlaid Wood Panels  
AS/NZS 1859.4 - Reconstituted Wood Based Panels - Specifications - Wet Processed Fibreboard  
AS 1860 - Installation of Particleboard Flooring  
AS 4786.2 - Timber Flooring - Sanding and Finishing  
AS 1657 - Fixed Platforms, Walkways, Stairways and Ladders - Design, Construction and Installation
- Roof and Wall External Linings  
*Refer to Schedule of External Finishes for selection of external linings*  
Building Code of Australia part 3.5 - Roof and Wall Cladding  
AS 2049 - Roof Tiles  
AS 2050 - Installation of Roof Tiles  
AS 1562.2 - Design and Installation of Sheet Roofing and Wall Cladding - Metal  
AS/NZS 1562.2 - Design and Installation of Sheet Roof and Wall Cladding - Corrugated fibre-reinforced Cement  
AS/NZS 4256 - Plastic Roof and Wall Cladding Materials  
AS 1562.3 - Plastic Sheet Roofing  
AS/NZS 4200 - Installation of Pliable Membrane and Underlay
- Ceiling, Wall and Floor Internal Linings  
*Refer to Schedule of Internal Finishes for selection of internal linings*  
AS 2588 - Gypsum Plasterboard  
AS 2589 - Gypsum Linings in Residential and Light Commercial Construction - Application and Finishing  
AS2455 - Textile Floor Coverings - Installation Practice  
AS 3958.1 - Ceramic Tiles - Part 1 Guide to the Installation of Ceramic Tiles  
AS 3958.2 - Ceramic Tiles - Part 2 Guide to the selection of Ceramic Tile System  
AS 2358 - Adhesives for Fixing Ceramic Tiles

- Stairs, Balustrades and Pool Fencing  
Building Code of Australia Part 3.9 - Safe Movement and Access  
AS 1926 - Swimming Pool Safety
- Insulation  
*Refer to Architectural Drawings for Insulation Locations and R-Value Requirement*  
Building Code of Australia Part 3.12 - Energy Efficiency  
AS 3999 - Thermal Insulation of Dwellings - Bulk Insulation - Installation Requirements  
AS/NZS 4200.1 - Pliable Building Membranes and Underlays - Part 1 Materials  
AS/NZS 4200.2 - Pliable Building Membranes and Underlays - Part 2 Installation Requirements  
AS/NZS 4859.1 - Materials for the Thermal Insualtion of Buildings
- Roof Plumbing  
*Refer to Hydraulic Engineer's Design and Specification*  
*Refer to Architectural Drawings for downpipe locations*  
*Refer to Schedule of External Finishes for Roof Plumbing and Downpipe Selection*  
Building Code of Australia Part 3.1.2 - Drainage  
AS 3500.2 - National Plumbing and Drainage - Sanitary Plumbing and Drainage  
AS 2179.1 - Specifications for Rainwater Goods - Selection and Installation  
AS 2180 - Metal Rainwater Goods - Selection and Installation
- Smoke Alarms and Fire Safety  
Building Code of Australia Part 3.7 - Fire Safety  
AS 2918 - Domestic Solid Fuel Burning Appliances - Installation
- Landscaping  
*Refer to Architectural Drawings for general landscaping scope and locations*  
AS 4419 - Soils for Landscaping and Garden Use  
AS 4454 - Compost, Soil Conditioners and Mulches  
AS 3743 - Potting Mixes  
AS 3727 - Guide to Residential Pavements
- Windows, Doors and Glazing  
*Refer to Schedules of finishes for window, door and glazing selection and finishes*  
*Refer to Window and Door Schedule for window and door type, size and location*  
*Refer to Architectural Drawings for internal doors location*  
Building Code of Australia Part 3.6 - Glazing  
AS 1288 - Glass in Buildings - Selection and Installation  
AS 2047 - Windows in Buildings - Selection and Installation  
AS/NZS 2208 - Safety Glazing Materials in Buildings  
AS 2688 - Timber Doors  
AS 2689 - Tiber Door Sets  
AS 4285 - Skylights  
AS/NZS 2803 - Doors - Security Screens  
AS/NZS 2804 - Installation of Security Screen Doors  
AS/NZS 4604 - Security window grilles  
AS/NZS 4605 - Installation of Security Window Grilles
- Electrical Installation  
Electrical installation must be undertaken in accordance with the Supply Authority's requirements. The electrical contractor shall obtain relevant approvals and provide the builder with appropriate certificates.  
AS/NZS 3000 - Electrical Installations  
AS/NZS 3006 - Adequate Electrical Installations in Domestic Premises
- Wet Areas  
Building Code of Australia Part 3.8.1 - Health and Amenity  
AS 3740 - Waterproofing of Wet Areas Within Residential Buildings  
AS 4386.1 - Domestic Kitchen Assemblies - Kitchen Units  
AS 4386.2 - Domestic Kitchen Assemblies – Installation
- Painting  
AS/NZS 2311 - Guide to the Painting of Buildings  
AS/NZS 2312 - Guide to the Protection of Structural Steel against Exterior Atmospheric Corrosion by the Use of Protective Coatings

FOR SUBMISSION

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Thornleigh, NSW, 2120

PROJECT
PROPOSED ALTERATIONS & ADDITIONS
67 MALTON ROAD, BEECROFT
CLIENT
KENT & KATHARINA ROSS
DRAWING TITLE
GENERAL SPECIFICATIONS

JOB REF	DRAWING
1236	DA02
DATE	
26/04/2022	
SCALE	

J	DA SUBMISSION	26/04/22
I	DA SUBMISSION	19/04/22
H	DA SUBMISSION	15/02/22
G	DA SUBMISSION	10/11/21
F	ISSUE FOR CLIENT	22/09/21
REV	AMENDMENT DESCRIPTION	DATE

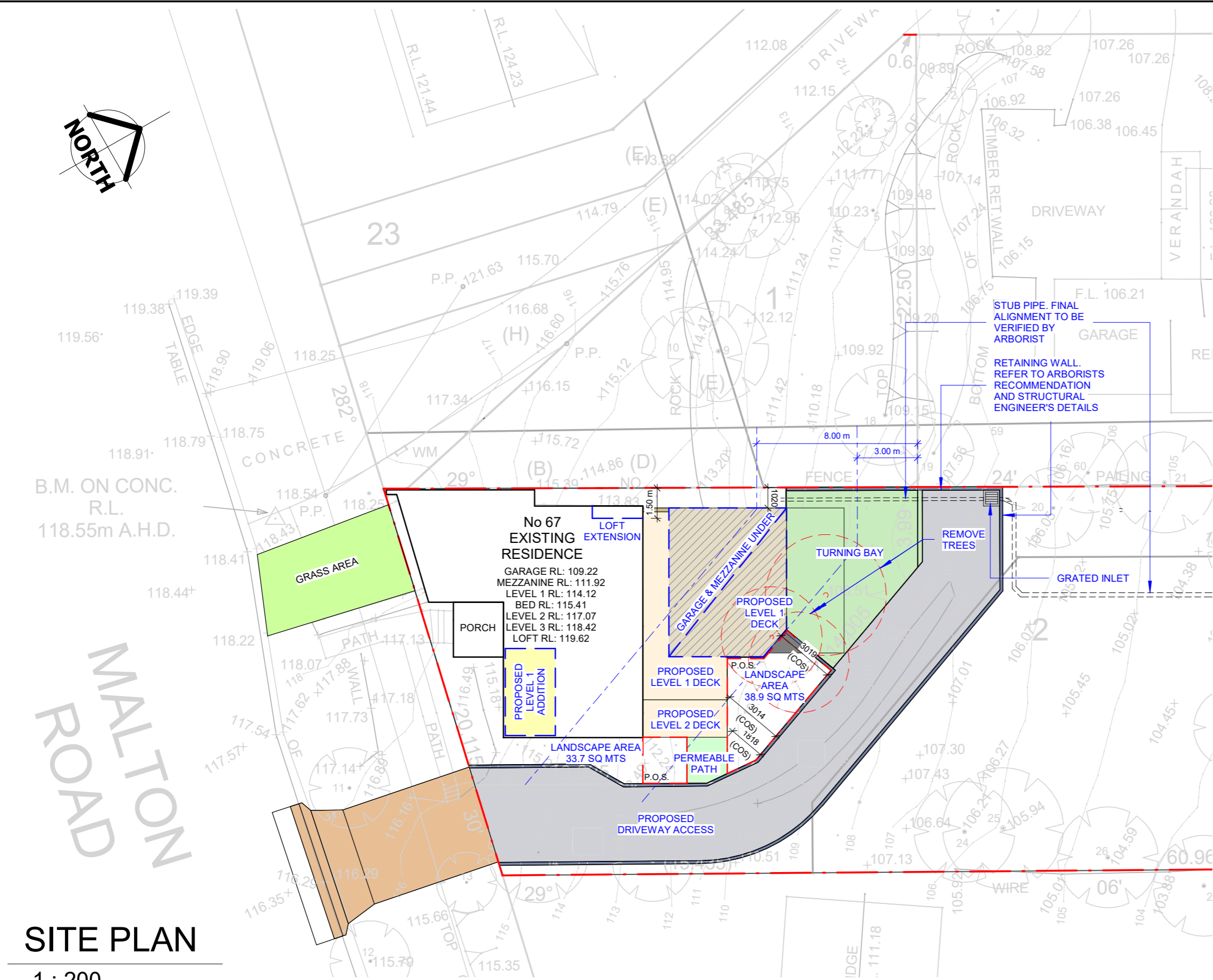
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A3 ORIGINAL SIZE



NOTE: ALL STEEL, MASONRY, GLASS AND OTHER CONSTRUCTION MATERIALS ARE RATED TO BAL FZ AND SHOULD COMPLY TO BAL FZ REQUIREMENTS.

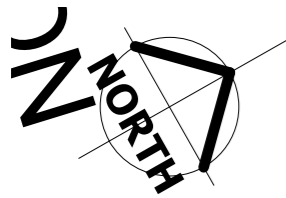
LEGEND	
	KERB SIDE PATH CROSSING
	TURNING BAY AREA
	150mm KERB AND GUTTER, WITH INDICATIVE SAFETY BARRIER AND RETAINING WALLS
	NEW CONCRETE SUSPENDED DRIVEWAY

\*FOR DETAILS REFER TO CIVIL ENGINEERING PLANS

AREA STATEMENT	
<b>SITE AREA</b>	<b>1,165.5 SQ. MTS.</b>
ITEMISED FLOOR AREAS	TOTALS:
AREA GARAGE LEVEL-3 (L3)	34.1 m2
AREA LOFT	22.9 m2
AREA LEVEL-2 (STAIR INCLUDED) (L2)	77.9 m2
DECK LEVEL-2	47.9 m2
AREA LEVEL-1 (STAIR EXCLUDED)(L1)	69.5 m2
DECK LEVEL-1(STAIRCASE INCLUDED)	62.0 m2
AREA MEZZANINE (STAIR EXCLUDED)	37.4m2
AREA GARAGE (STAIR INCLUDED)	43.9m2

SITE CALCULATIONS			
<b>TOTAL SITE AREA</b>		<b>1,165.5 SQ. MTS.</b>	
CONTROLS	REQ'D	PROPOSED	COMPLIES
SITE COVERAGE (L3 +L2+ GARAGE)	40%(466.2 sq mts)	13.38%(155.9sq mts)	YES
FLOOR AREA (L3 +L2+L1 GARAGE)	430sq mts	225.4 sq mts	YES
FRONT SETBACK	6.0 Mts	as per existing	YES
L REAR SETBACK (GF)	3.0 Mts	>3.0 Mts	YES
REAR SETBACK (FF )	8.0 Mts	>8.0 Mts	YES
SIDE SETBACK - LHS (GF)	0.9 Mts	1.0 Mts	YES
SIDE SETBACK - LHS (FF)	1.5 Mts	1.5 Mts	YES
SIDE SETBACK - RHS (GF)	0.9 Mts	as per existing	YES
SIDE SETBACK - RHS (FF)	1.5 Mts	as per existing	YES
HEIGHT	8.5 Mts	< 8.5 Mts	YES
LANDSCAPE AREA	40%(466.2 sq mts)	928.6 sq mts	YES
POS	24 sq mts (minimum dimension 3m)	38.9 sq mts	YES

FOR SUBMISSION



B.M. ON CONC.  
R.L.  
118.55m A.H.D.

# CONSTRUCTION MANAGEMENT PLAN

1 : 200

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PROJECT  
PROPOSED ALTERATIONS & ADDITIONS  
67 MALTON ROAD, BEECROFT  
CLIENT  
KENT & KATHARINA ROSS  
DRAWING TITLE  
CONSTRUCTION MANAGEMENT PLAN

JOB REF  
1236  
DRAWING  
DA05  
DATE  
26/04/2022  
SCALE  
1 : 200

J	DA SUBMISSION	26/04/22
I	DA SUBMISSION	19/04/22
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## CONSTRUCTION MANAGEMENT NOTES

### Sediment & Erosion Control:

- The sediment & erosion controls shall be maintained effectively for the duration of the project. They shall not be removed until the site has been stabilised or landscaped to the principal certifying authorities satisfaction.
- A single all weather access way shall be provided at the front of the property consisting of 50-80 mm aggregate or similar material with a minimum thickness of 150 mm laid over needle-punched geotextile fabric and installed prior to any works being commenced on site.
- The contractor shall ensure that no spoil or fill encroaches upon adjacent areas during the project.
- The contractor shall ensure that all kerb inlets and drains affected by stormwater flow from the site are protected at all times during the project. Kerb inlet sediment traps shall be installed along the immediate vicinity along the street frontage. These shall be regularly maintained during the project.
- The street / road shall be kept clean from dirt and debris from vehicles departing the site.
- Sediment fencing shall be secured to posts (if star pickets or similar are used then plastic safety caps shall be installed on top of the posts) at 2000 mm intervals with the geotextile fabric embedded a minimum of 200 mm into the soil.
- All the topsoil stripped from the site shall be stockpiled such that it does not interfere with drainage lines and stormwater inlet pits. The stockpile shall be suitably covered with an impervious membrane and screened by sediment fencing.

### Soil Conservation:

- Prior to the commencement of the site works the following shall be provided to capture water borne sediments:
  - Sediment fencing
  - Sediment trap
  - Washout area
- These shall be maintained regularly during the course of the construction with the sediment trap cleaned after each storm event.

### Sediment Fence:

- Provide sediment fence on down slope boundary as shown on plan.
- Geotextile fabric to be buried 200 mm below ground at the lower edge.
- Drainage area is 0.5 HA with a maximum slope gradient 1:2 and a maximum slope length of 50 m.

### Sediment Trap:

- A 1000 x 1000 mm square by 500 mm deep pit located at the low point of the site.

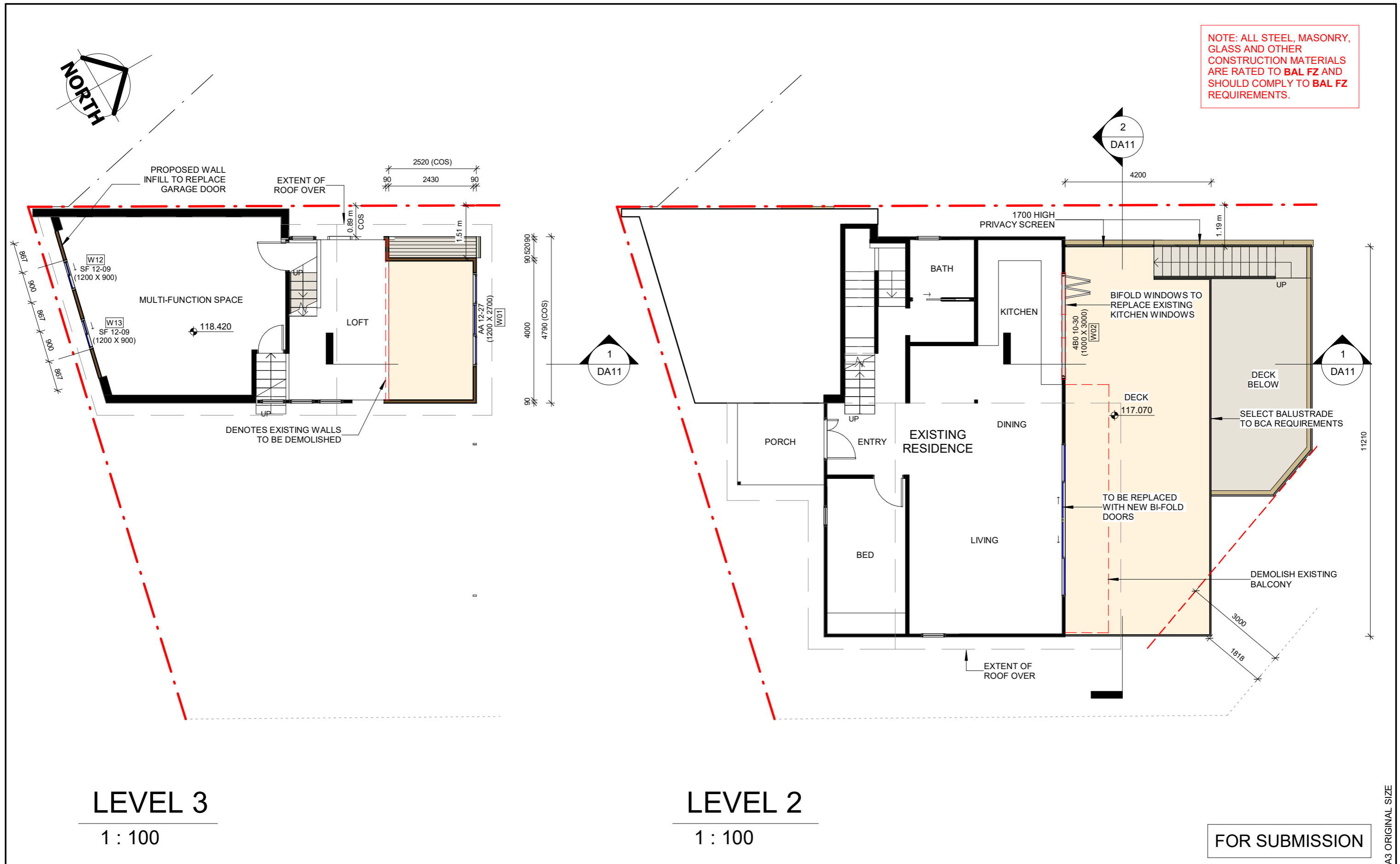
### Washout Area:

- The washout area shall be 1800 x 1800 mm allocated for the washing of tools and equipment with a minimum thickness off 100 mm clean sand.

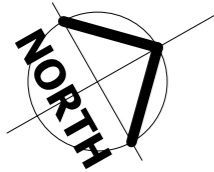
### Building Material Stockpiles

- Where there are stockpiles of materials on site they shall be located at least 2000 mm away from any hazard including surfaces with grades greater than 15%, away from zones of concentrated stormwater flows, away from driveways, temporary vehicular accessways, footpaths, nature strips, kerbs, open swales & the drip zone of trees.
- Sediment fencing shall be installed downslope of all stockpiles.
- The stockpile shall be covered with an impervious cover and held down firmly at all corners & sides.

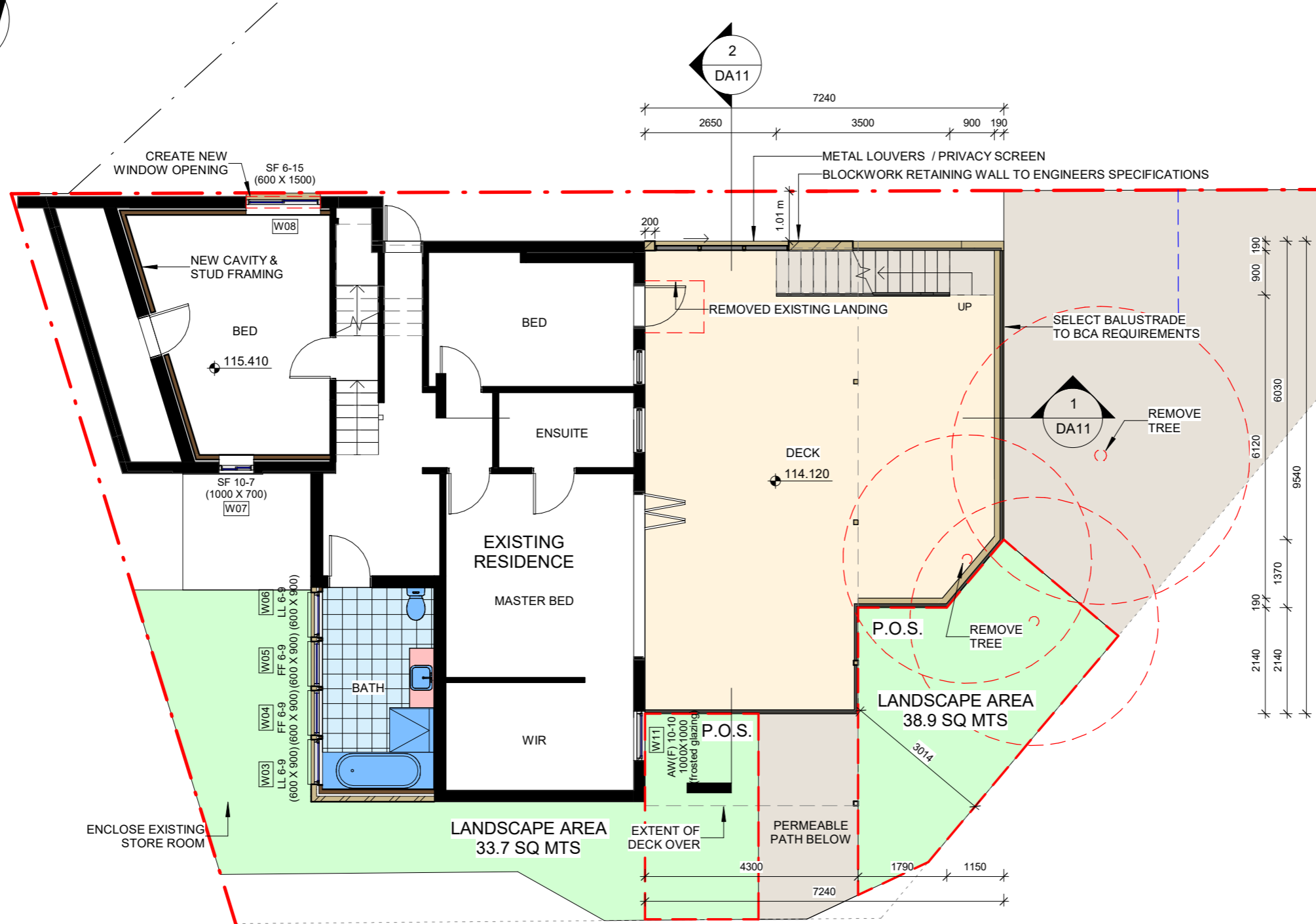
A3 ORIGINAL SIZE



<div><div>DELVE</div><div>DESIGN</div></div> <div>Tel: 02 9980 9528 Web: www.delvedesign.net.au</div> <div>Suite 7, 265-271 Pennant Hills Road Thornleigh, NSW, 2120</div>	PROJECT PROPOSED ALTERATIONS & ADDITIONS 67 MALTON ROAD, BEECROFT CLIENT KENT & KATHARINA ROSS	JOB REF 1236	DRAWING DA06	J	DA SUBMISSION	26/04/22	<b>GENERAL NOTES:</b> - All work is to comply with the National Construction Code 2019, the requirements of the legally constituted authorities for services and the relevant standards by the Standards Association of Australia. - Finished ground levels on the plan are subject to site conditions. - Do not scale from drawings, use figured dimensions only and report any discrepancies to the designer prior to commencement. - All figured dimensions are to be checked on site prior to the commencement of construction. <b>COPYRIGHT:</b> This plan is the exclusive property of Delve Design and must not be used, reproduced or copied without written permission.
		DATE 26/04/2022		I	DA SUBMISSION	19/04/22	
		DRAWING TITLE FLOOR PLANS SHEET 1		H	DA SUBMISSION	15/02/22	
	G			DA SUBMISSION	10/11/21		
	F			ISSUE FOR CLIENT	22/09/21		
	REV			AMENDMENT DESCRIPTION	DATE		



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LEVEL 1

1 : 100

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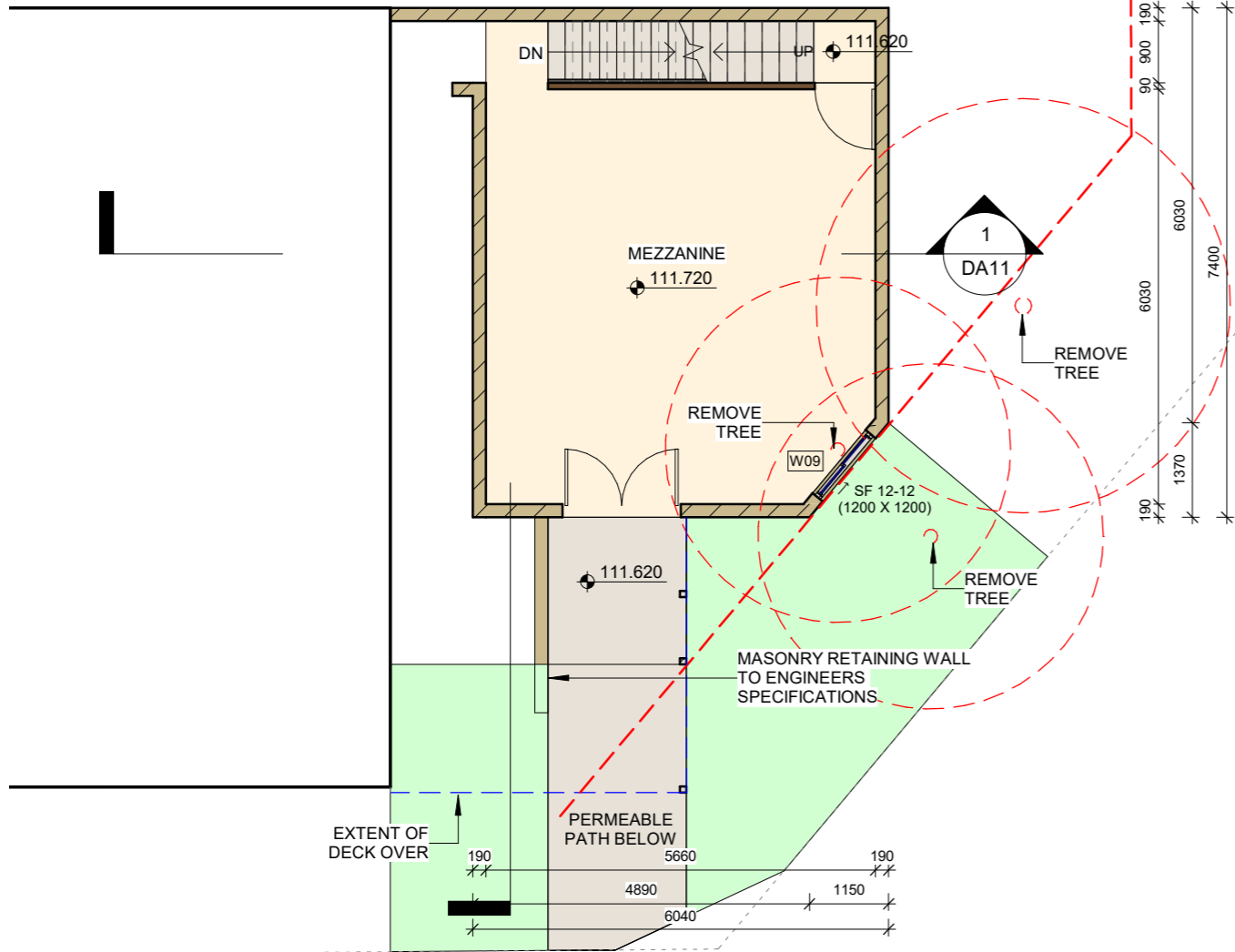
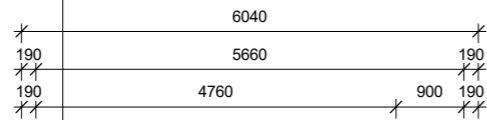
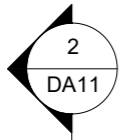
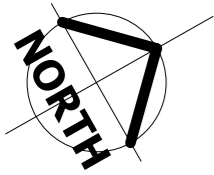
PROJECT  
PROPOSED ALTERATIONS & ADDITIONS  
67 MALTON ROAD, BEECROFT  
CLIENT  
KENT & KATHARINA ROSS  
DRAWING TITLE  
FLOOR PLANS SHEET 2

JOB REF  
1236  
DRAWING  
DA07  
DATE  
26/04/2022  
SCALE  
1 : 100

J	DA SUBMISSION	26/04/22
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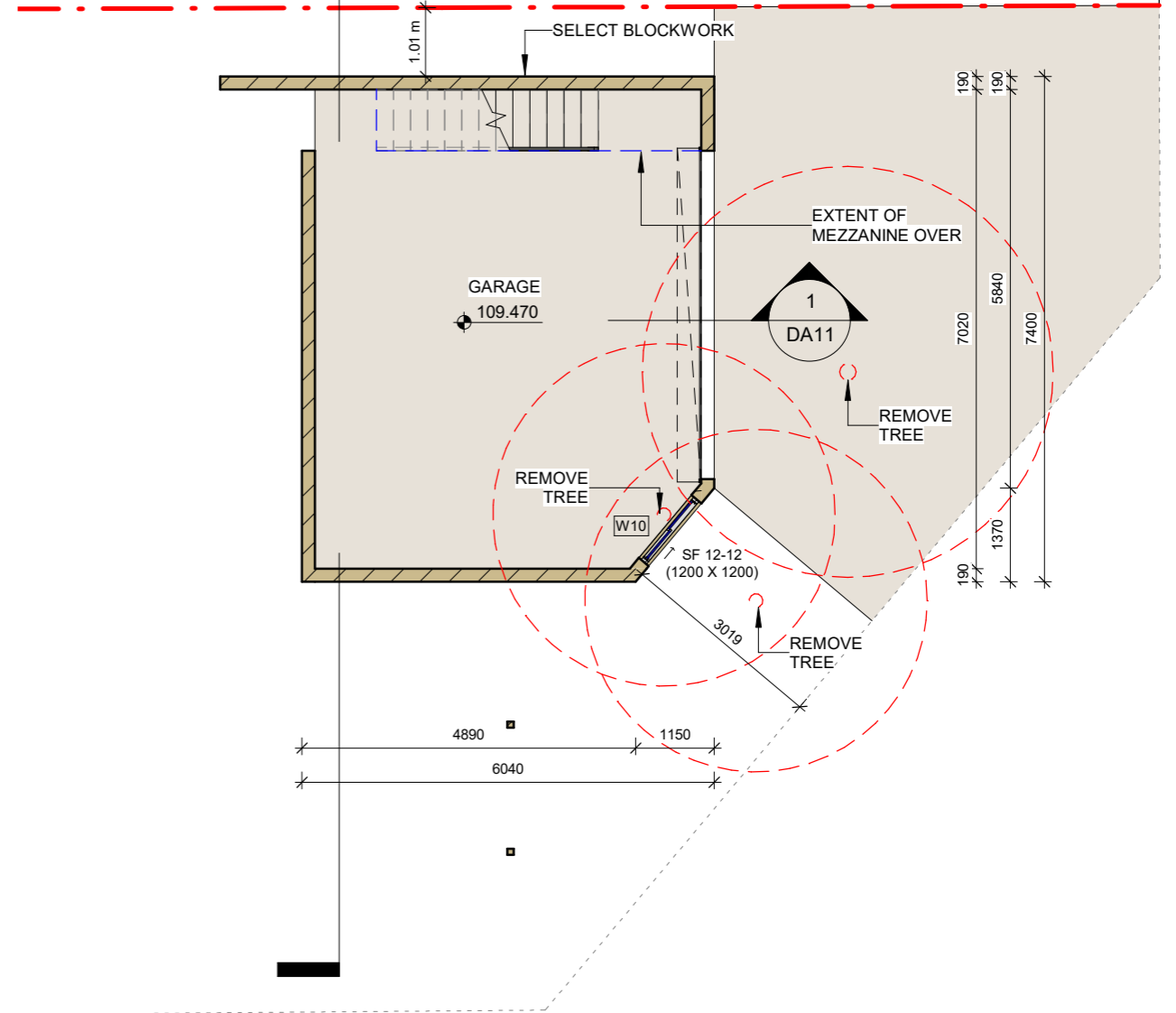
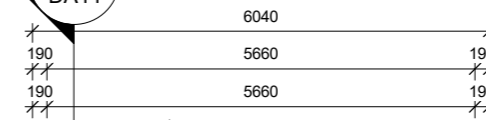
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A3 ORIGINAL SIZE



# MEZZANINE PLAN

1 : 100



# GARAGE PLAN

1 : 100

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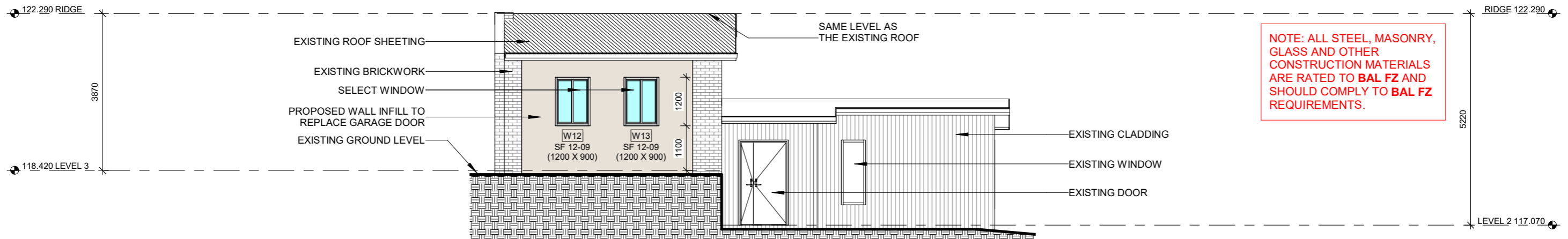
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PROJECT  
PROPOSED ALTERATIONS & ADDITIONS  
67 MALTON ROAD, BEECROFT  
CLIENT  
KENT & KATHARINA ROSS  
DRAWING TITLE  
FLOOR PLANS SHEET 3

JOB REF  
1236  
DRAWING  
DA08  
DATE  
26/04/2022  
SCALE  
1 : 100

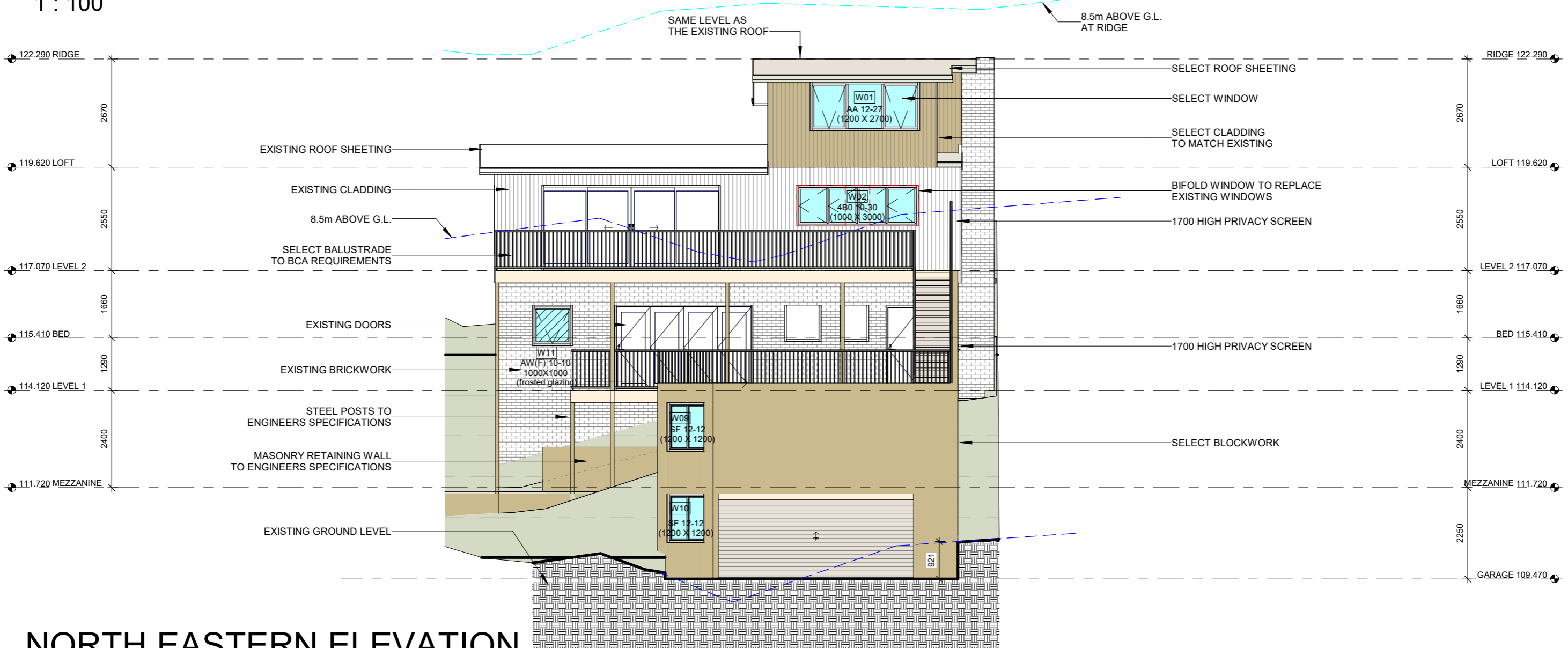
J	DA SUBMISSION	26/04/22
I	DA SUBMISSION	19/04/22
H	DA SUBMISSION	15/02/22
G	DA SUBMISSION	10/11/21
F	ISSUE FOR CLIENT	22/09/21
REV	AMENDMENT DESCRIPTION	DATE

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# SOUTH WESTERN ELEVATION

1 : 100



# NORTH EASTERN ELEVATION

1 : 100

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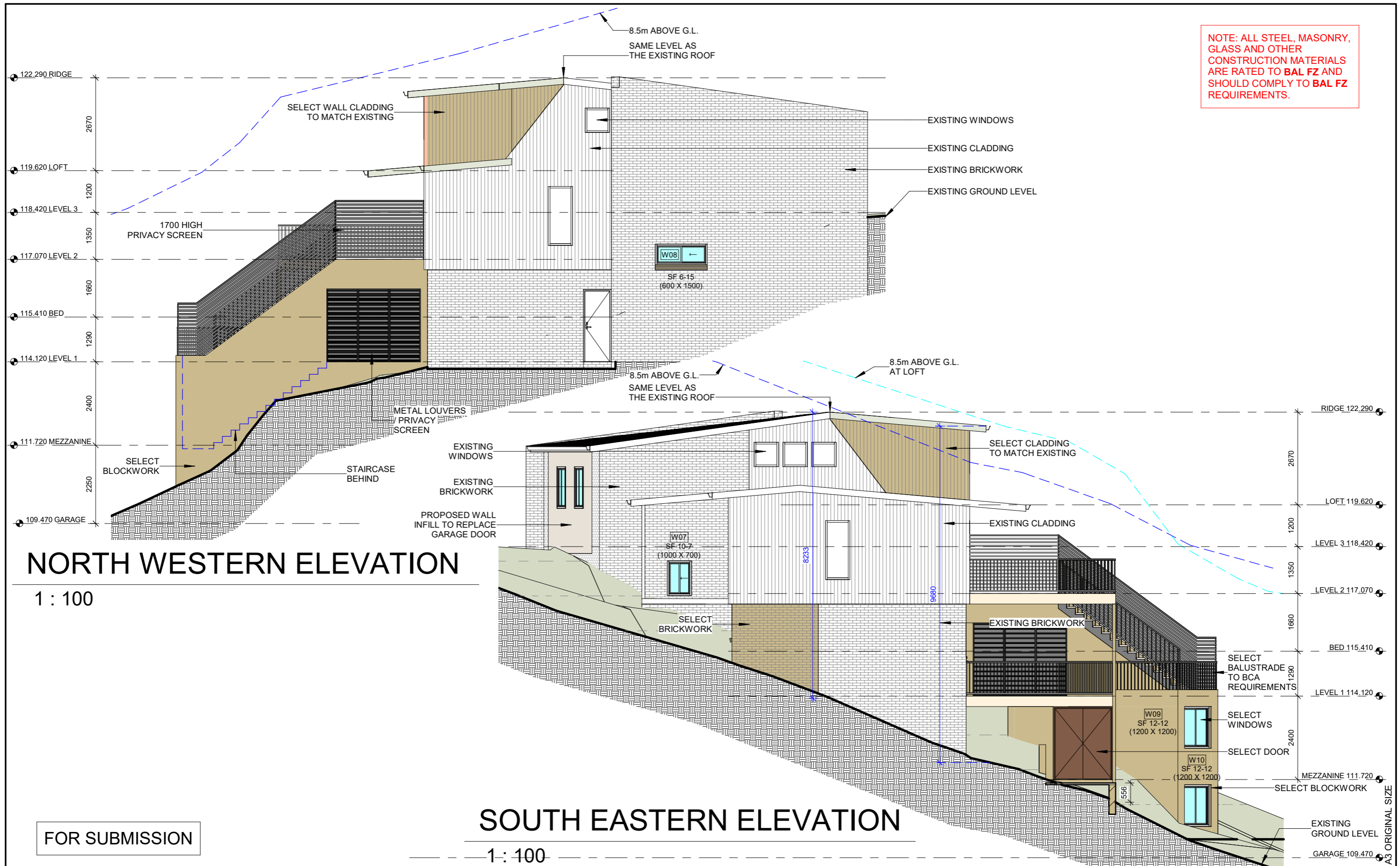
PROJECT  
PROPOSED ALTERATIONS & ADDITIONS  
67 MALTON ROAD, BEECROFT  
CLIENT  
KENT & KATHARINA ROSS  
DRAWING TITLE  
ELEVATION SHEET 1

JOB REF  
1236  
DRAWING  
DA09  
DATE  
26/04/2022  
SCALE  
1 : 100


J	DA SUBMISSION	26/04/22
I	DA SUBMISSION	19/04/22
H	DA SUBMISSION	15/02/22
G	DA SUBMISSION	10/11/21
F	ISSUE FOR CLIENT	22/09/21
REV	AMENDMENT DESCRIPTION	DATE

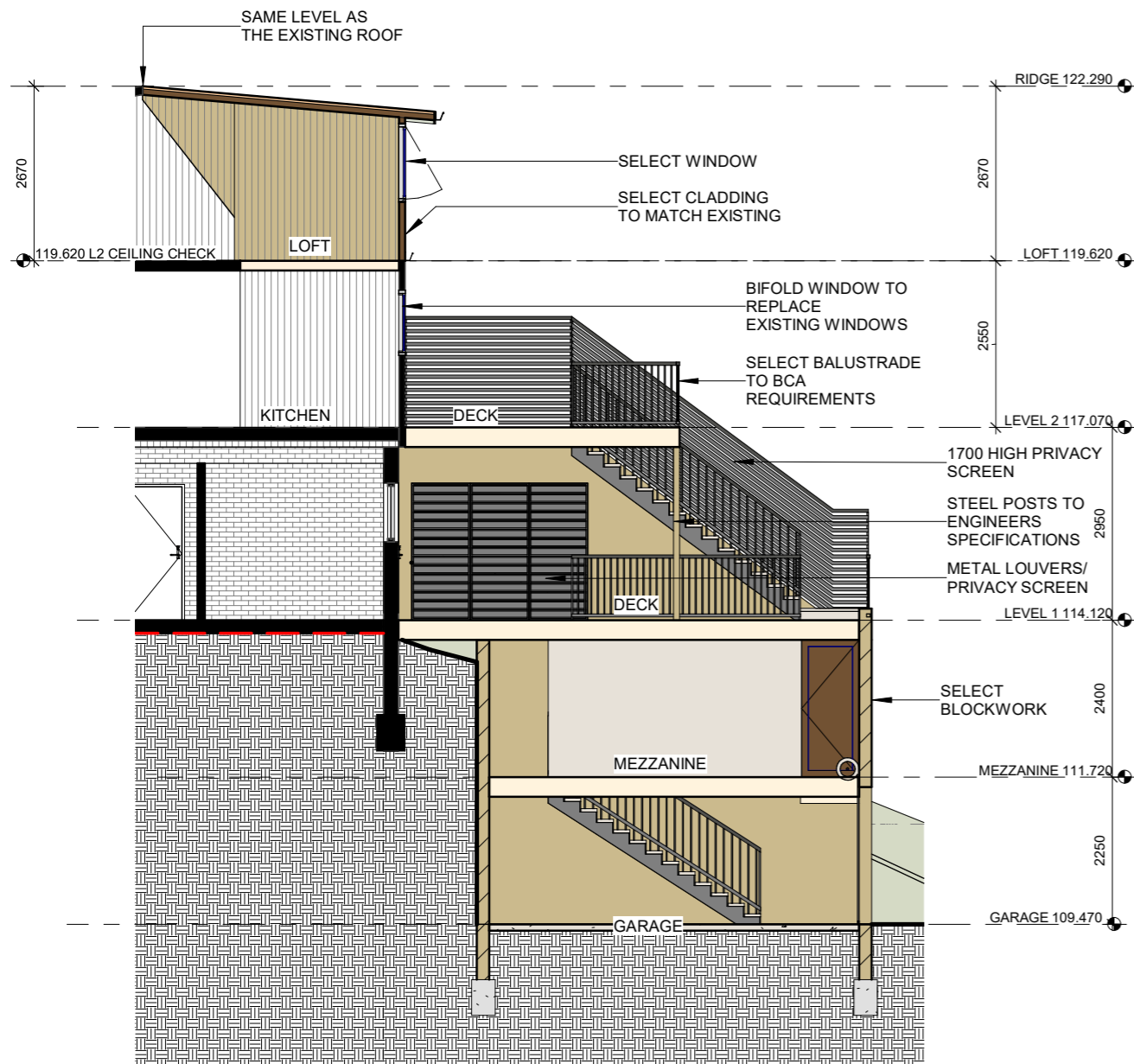
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A3 ORIGINAL SIZE

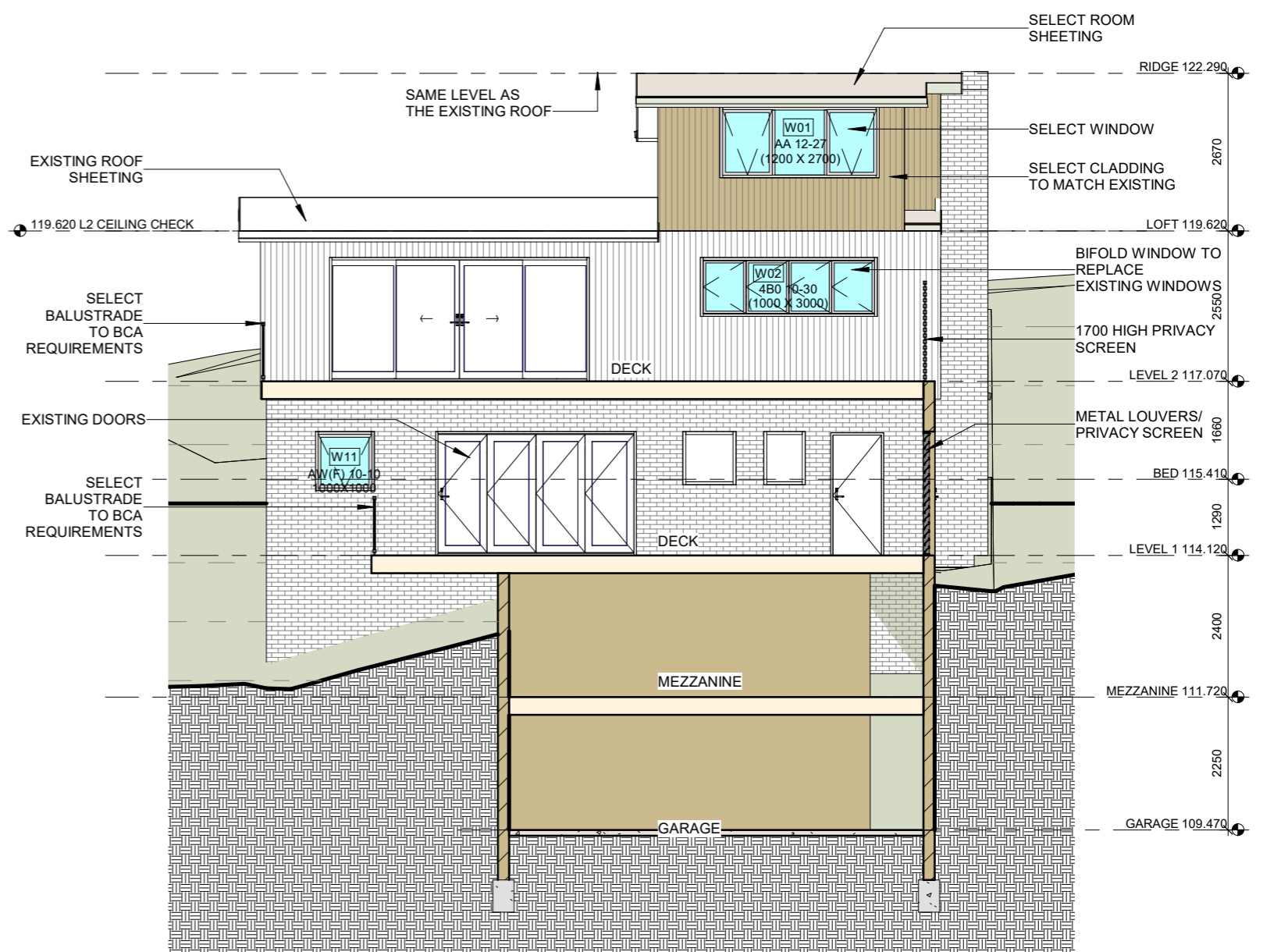


NOTE: ALL STEEL, MASONRY, GLASS AND OTHER CONSTRUCTION MATERIALS ARE RATED TO **BAL FZ** AND SHOULD COMPLY TO **BAL FZ** REQUIREMENTS.

 <p>Tel: 02 9980 9528 Web: www.delvedesign.net.au</p> <p>Suite 7, 265-271 Pennant Hills Road Thornleigh, NSW, 2120</p>	PROJECT PROPOSED ALTERATIONS & ADDITIONS 67 MALTON ROAD, BEECROFT CLIENT KENT & KATHARINA ROSS DRAWING TITLE ELEVATION SHEET 2	JOB REF 1236	DRAWING DA10	J	DA SUBMISSION	26/04/22	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"><li>- All work is to comply with the National Construction Code 2019, the requirements of the legally constituted authorities for services and the relevant standards by the Standards Association of Australia.</li><li>- Finished ground levels on the plan are subject to site conditions.</li><li>- Do not scale from drawings, use figured dimensions only and report any discrepancies to the designer prior to commencement.</li><li>- All figured dimensions are to be checked on site prior to the commencement of construction.</li></ul> <p>COPYRIGHT: This plan is the exclusive property of Delve Design and must not be used, reproduced or copied without written permission.</p>
		DATE 26/04/2022		I	DA SUBMISSION	19/04/22	
				H	DA SUBMISSION	15/02/22	
				G	DA SUBMISSION	10/11/21	
		SCALE 1 : 100		F	ISSUE FOR CLIENT	22/09/21	
				REV	AMENDMENT DESCRIPTION	DATE	



SECTION 1  
1 : 100



SECTION 2  
1 : 100

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PROJECT  
PROPOSED ALTERATIONS & ADDITIONS  
67 MALTON ROAD, BEECROFT  
CLIENT  
KENT & KATHARINA ROSS  
DRAWING TITLE  
SECTIONS

JOB REF  
1236  
DRAWING  
DA11  
DATE  
26/04/2022  
SCALE  
1 : 100

REV	AMENDMENT DESCRIPTION	DATE
J	DA SUBMISSION	26/04/22
I	DA SUBMISSION	19/04/22
H	DA SUBMISSION	15/02/22
G	DA SUBMISSION	10/11/21
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A3 ORIGINAL SIZE

## Alterations and Additions

Certificate number: A434079\_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Wednesday, 13, April 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	67 Malton Road_03
Street address	67 Malton Road Beecroft 2119
Local Government Area	Hornsby Shire Council
Plan type and number	Deposited Plan 25800
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: Delve Design
ABN (if applicable): 26169850435

BASIX Certificate number: A434079\_03

page 2 / 6

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

BASIX Certificate number: A434079\_03

page 3 / 6

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check	
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications		
concrete slab on ground floor.	nil			
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)			
suspended floor above garage: framed (R0.7).	nil			
external wall: brick veneer	R1.16 (or R1.70 including construction)			
external wall: cavity brick	nil			
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)		
flat ceiling, flat roof: framed	ceiling: R2.08 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)		

BASIX Certificate number: A434079\_03

page 4 / 6

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
<b>Windows and glazed doors</b>						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
<b>Windows and glazed doors glazing requirements</b>						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing	Shading device	Frame and glass type	
			Height (m)	Distance (m)		
W01	NE	3.24	15	10	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	NE	3	18	10	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W03	SW	0.54	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W04	SW	0.54	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

BASIX Certificate number: A434079\_03

page 5 / 6

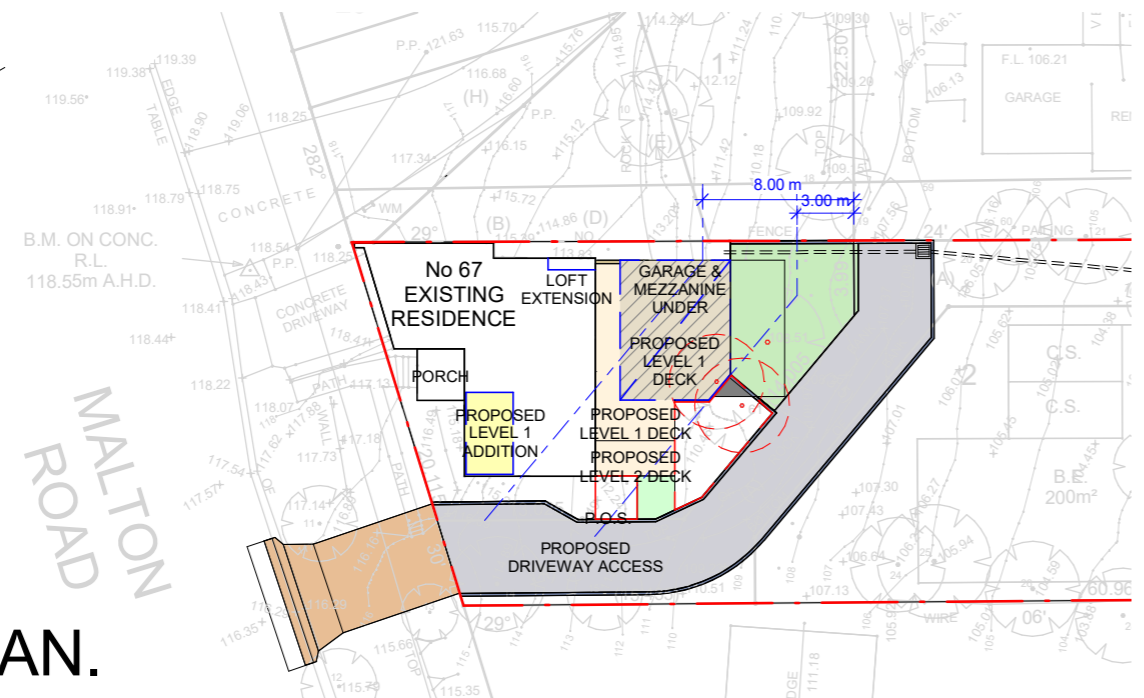
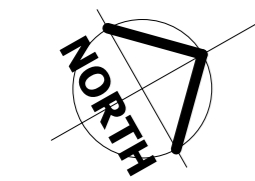
Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W05	SW	0.54	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W06	SW	0.54	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W07	SE	0.7	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W08	NW	0.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W09	E	1.44	22	10	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	E	1.44	25	10	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W11	NE	1	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W12	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W13	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

BASIX Certificate number: A434079\_03

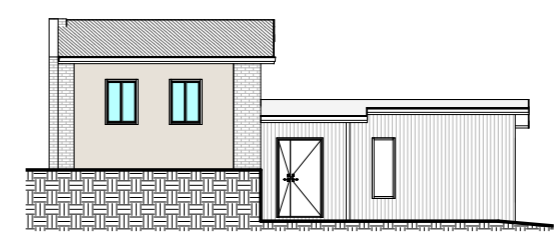
page 6 / 6

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

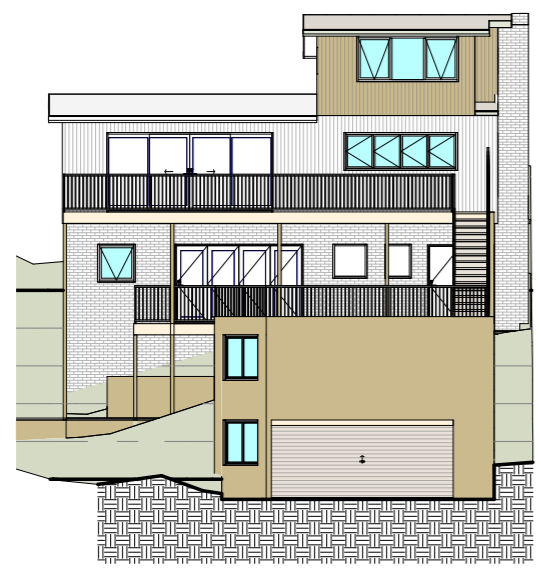
FOR SUBMISSION



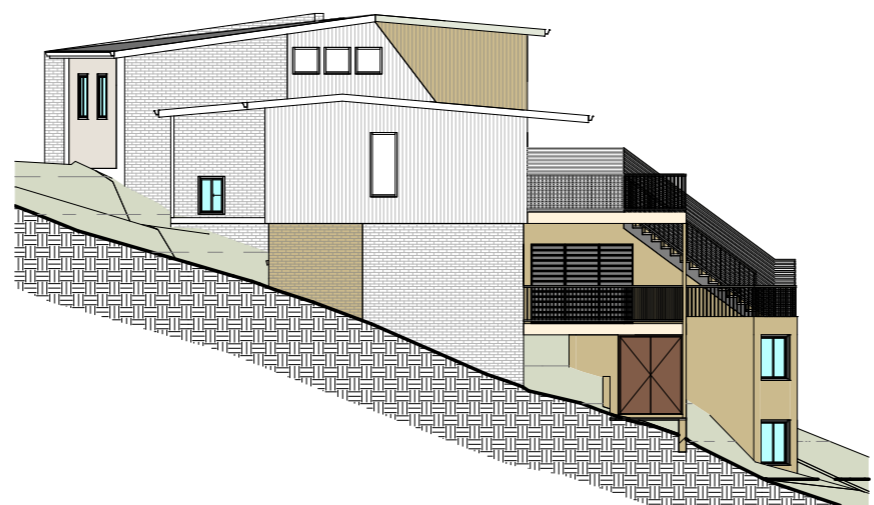
SITE PLAN.  
1 : 400



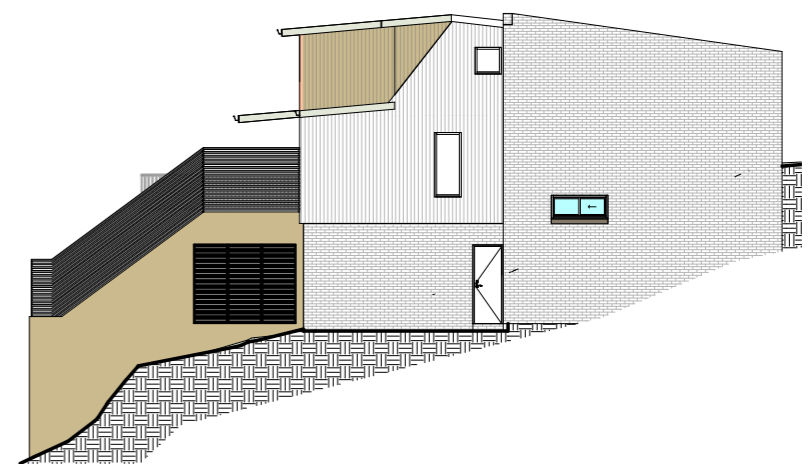
SW ELEVATION  
1 : 200



NE ELEVATION  
1 : 200

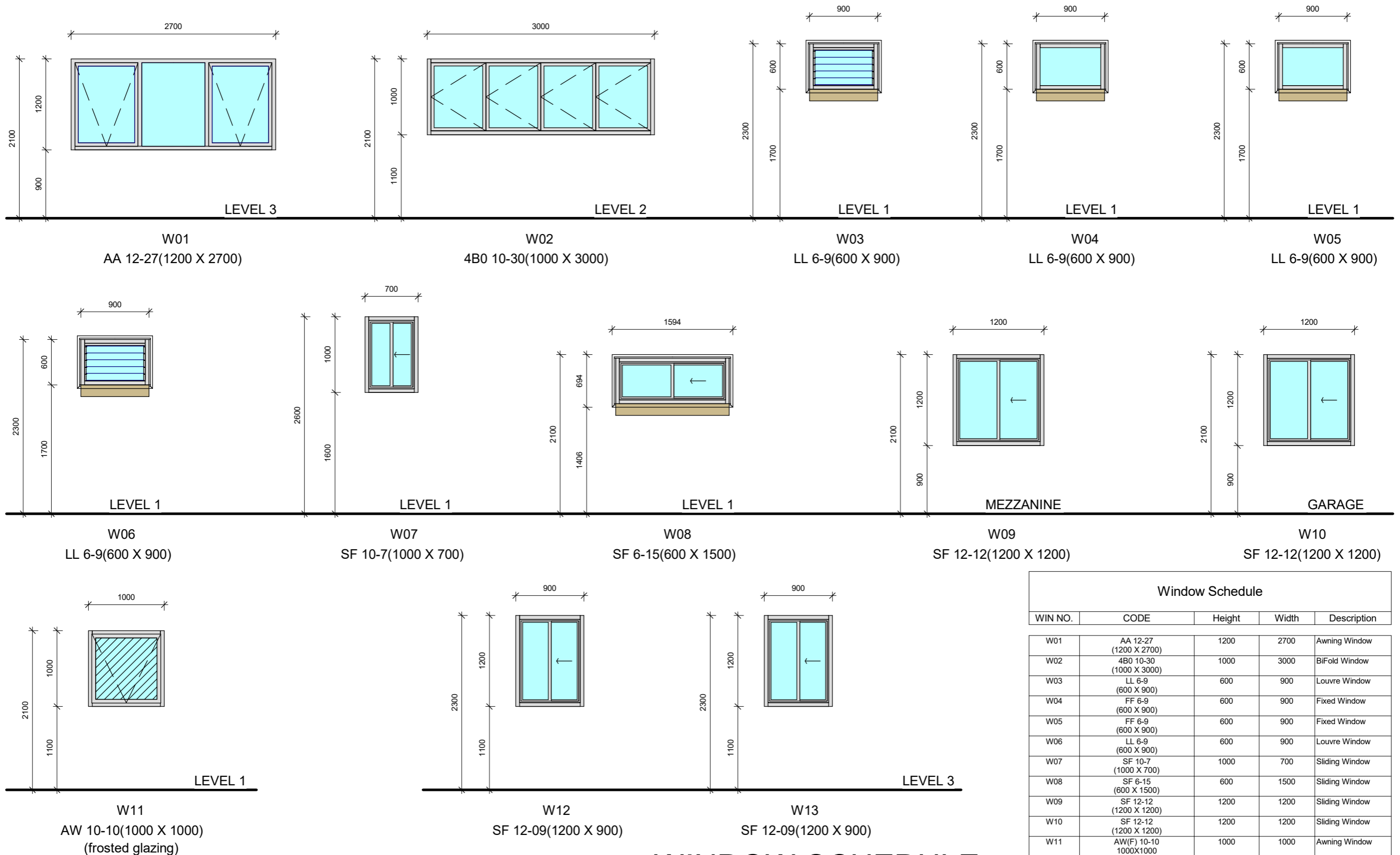


SE ELEVATION  
1 : 200



NW ELEVATION  
1 : 200

FOR SUBMISSION



FOR SUBMISSION

## WINDOW SCHEDULE

1 : 50

Window Schedule				
WIN NO.	CODE	Height	Width	Description
W01	AA 12-27 (1200 X 2700)	1200	2700	Awning Window
W02	4B0 10-30 (1000 X 3000)	1000	3000	BiFold Window
W03	LL 6-9 (600 X 900)	600	900	Louvre Window
W04	FF 6-9 (600 X 900)	600	900	Fixed Window
W05	FF 6-9 (600 X 900)	600	900	Fixed Window
W06	LL 6-9 (600 X 900)	600	900	Louvre Window
W07	SF 10-7 (1000 X 700)	1000	700	Sliding Window
W08	SF 6-15 (600 X 1500)	600	1500	Sliding Window
W09	SF 12-12 (1200 X 1200)	1200	1200	Sliding Window
W10	SF 12-12 (1200 X 1200)	1200	1200	Sliding Window
W11	AW(F) 10-10 1000X1000	1000	1000	Awning Window
W12	SF 12-09 (1200 X 900)	1200	900	Sliding Window
W13	SF 12-09 (1200 X 900)	1200	900	Sliding Window

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67 MALTON ROAD, BEECROFT  
CLIENT  
KENT & KATHARINA ROSS

DRAWING TITLE  
WINDOW SCHEDULE

JOB REF  
1236  
DRAWING  
DA14

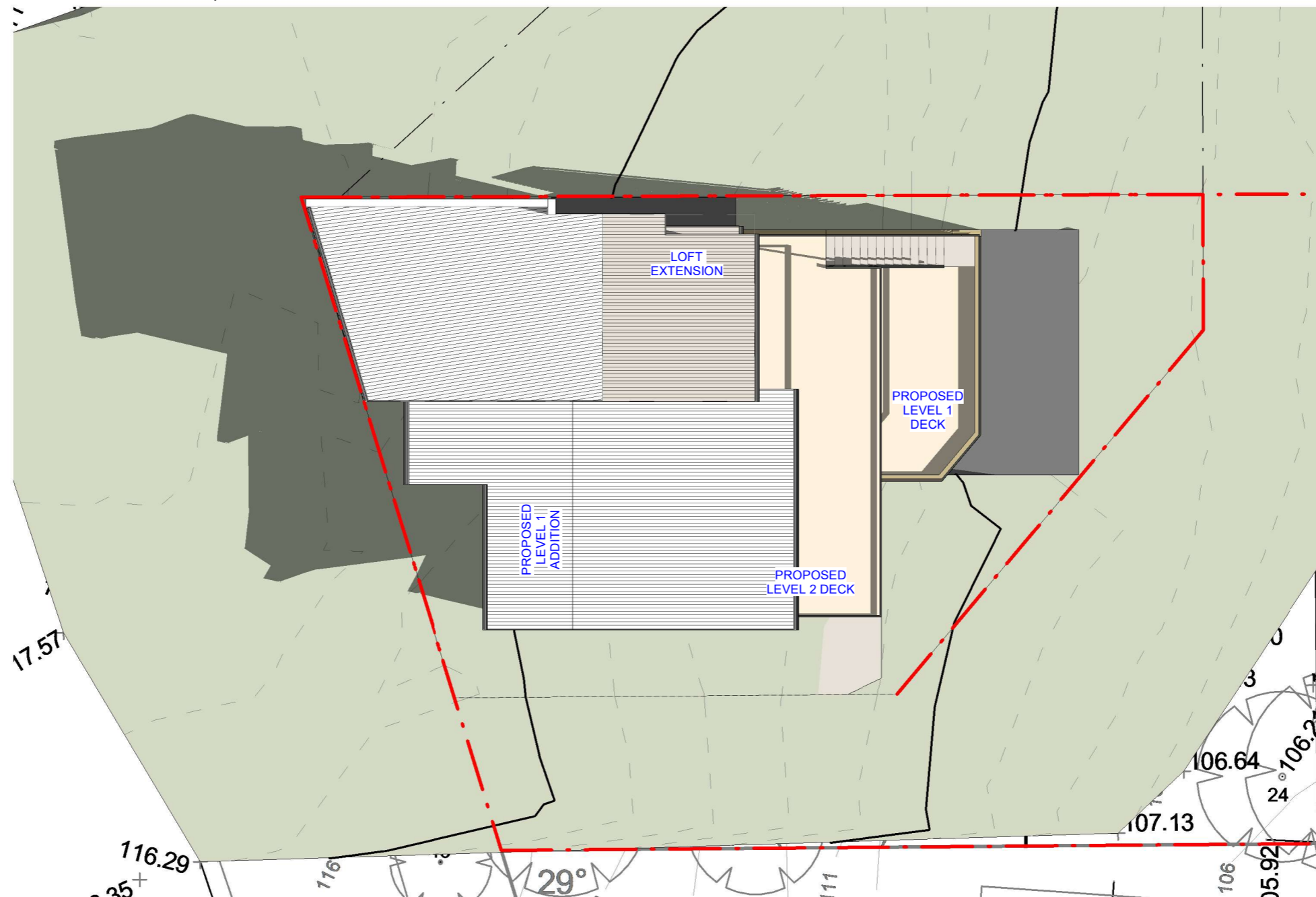
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26/04/2022

SCALE  
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I	DA SUBMISSION	19/04/22
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A3 ORIGINAL SIZE



## 21 June Shadow Diagram - 0900

1 : 150

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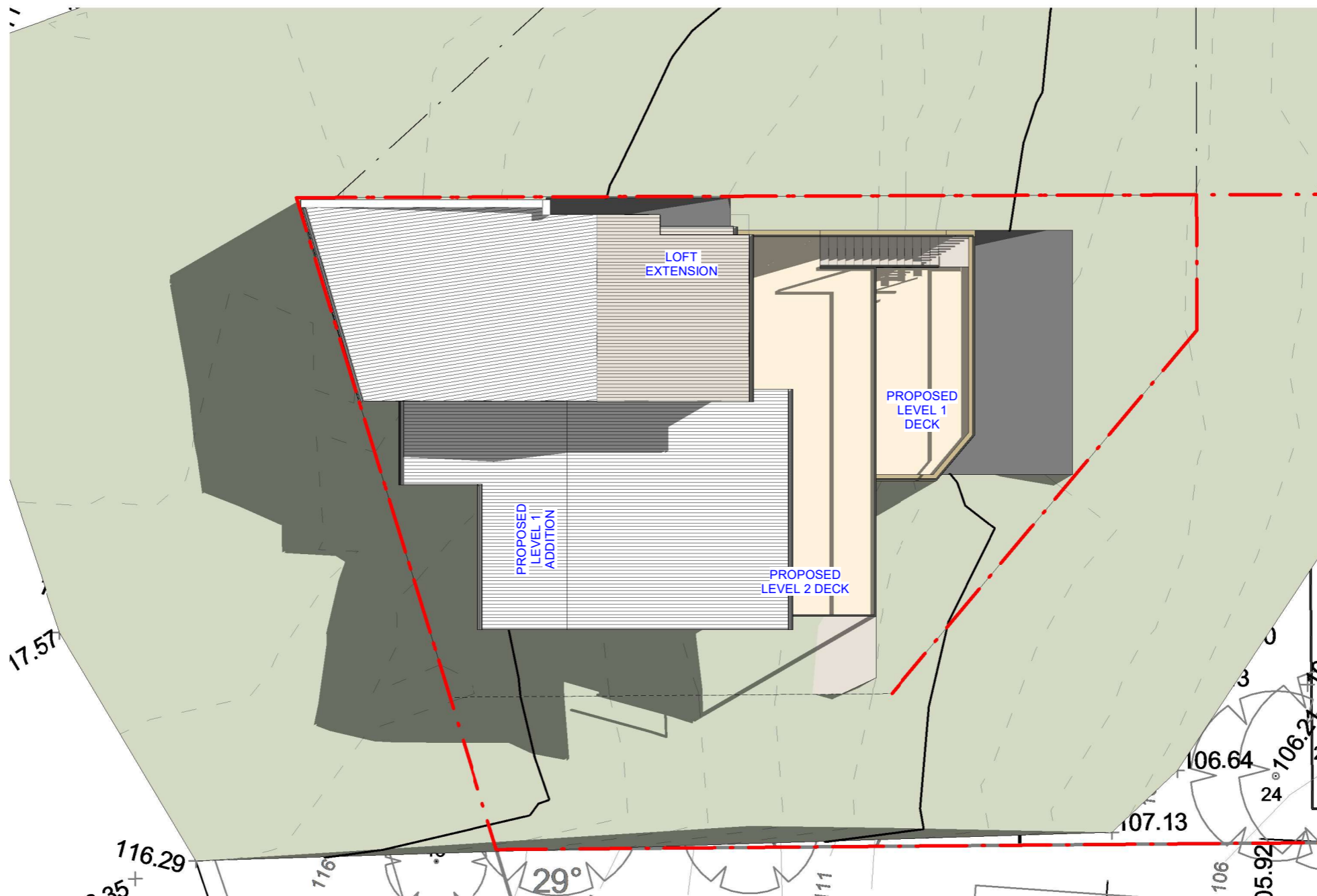
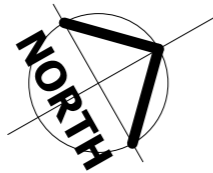
PROJECT  
PROPOSED ALTERATIONS & ADDITIONS  
67 MALTON ROAD, BEECROFT  
CLIENT  
KENT & KATHARINA ROSS  
DRAWING TITLE  
21 JUNE SHADOW DIAGRAM - 0900

JOB REF  
1236  
DRAWING  
DA15  
DATE  
26/04/2022  
SCALE  
1 : 150

REV	AMENDMENT DESCRIPTION	DATE
J	DA SUBMISSION	26/04/22
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## 21 June Shadow Diagram - 1200

1 : 150

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PROPOSED ALTERATIONS & ADDITIONS  
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CLIENT  
KENT & KATHARINA ROSS

DRAWING TITLE  
21 JUNE SHADOW DIAGRAM - 1200

JOB REF  
1236  
DRAWING  
DA16

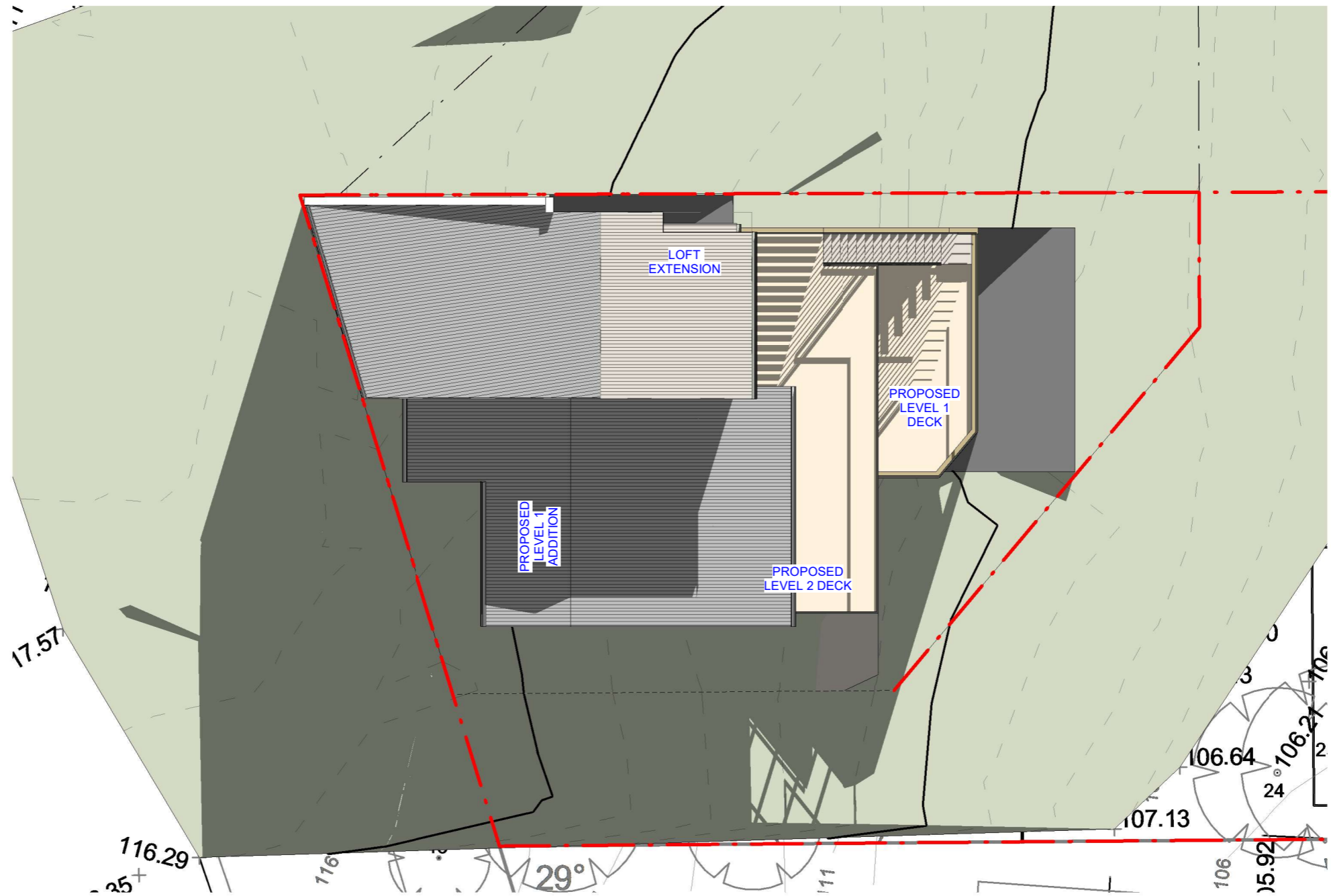
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SCALE  
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REV	AMENDMENT DESCRIPTION	DATE
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A3 ORIGINAL SIZE



21 June Shadow Diagram - 1500

1 : 150

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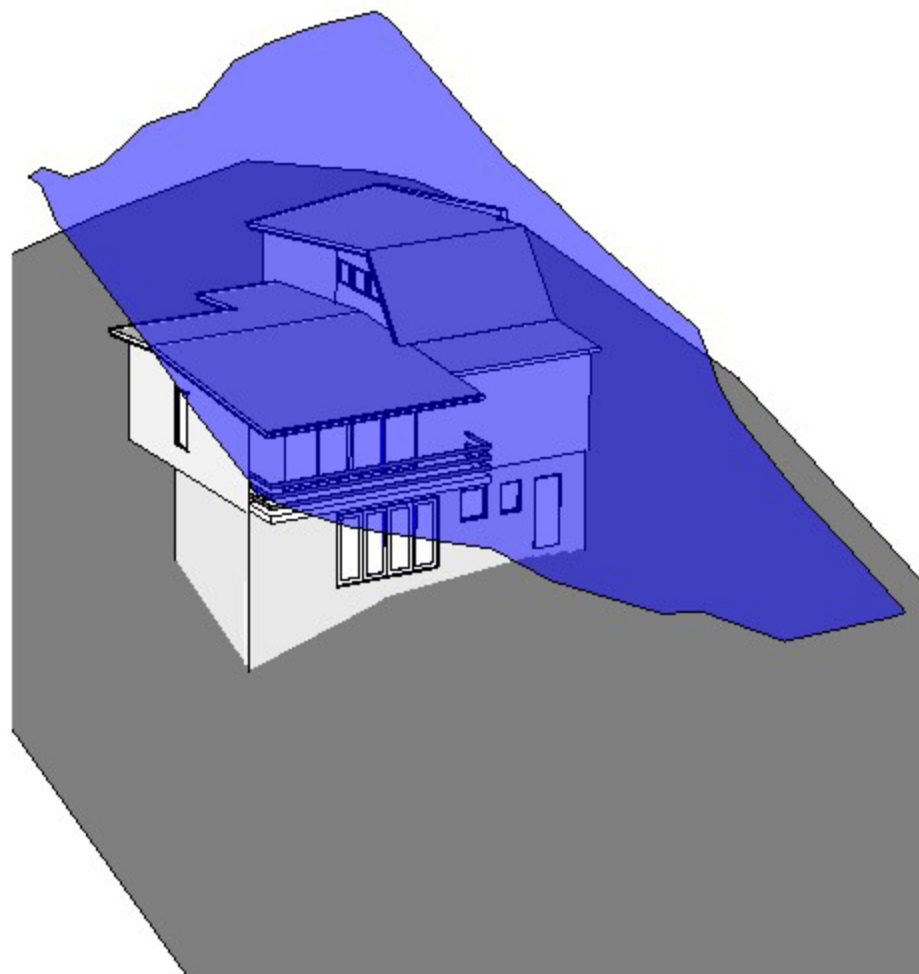
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PROPOSED ALTERATIONS & ADDITIONS  
67 MALTON ROAD, BEECROFT  
CLIENT  
KENT & KATHARINA ROSS  
DRAWING TITLE  
21 JUNE SHADOW DIAGRAM - 1500

JOB REF  
1236  
DRAWING  
DA17  
DATE  
26/04/2022  
SCALE  
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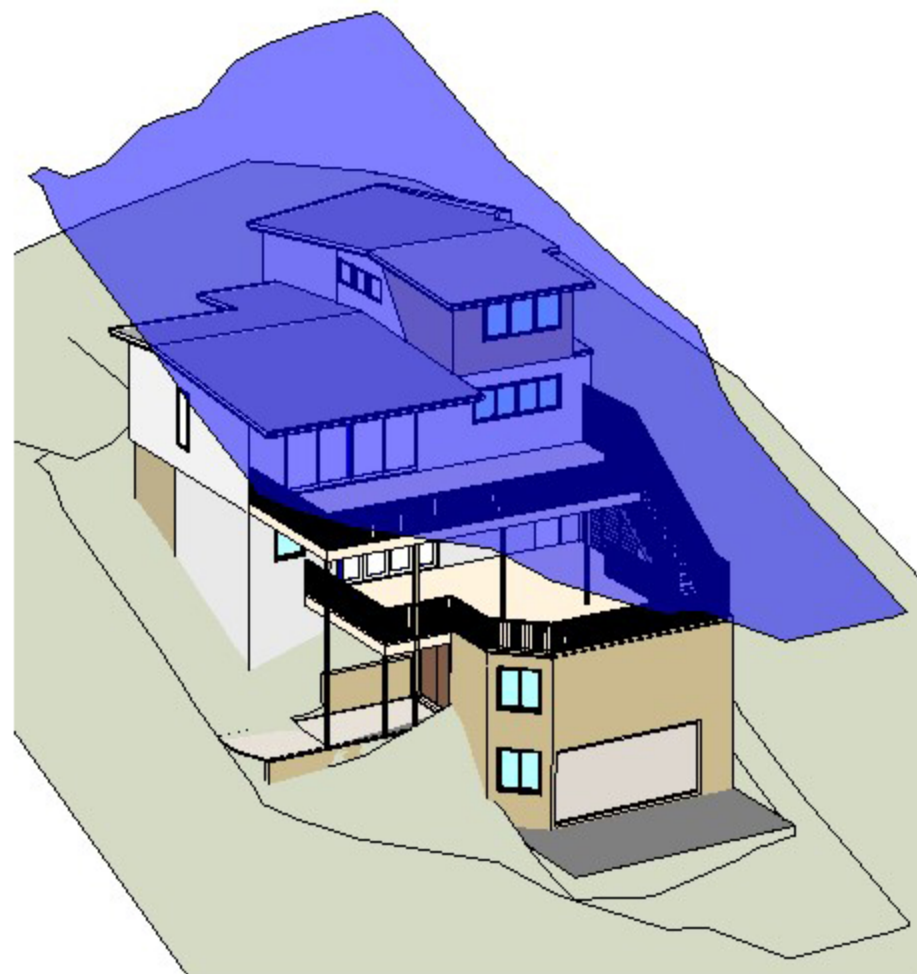
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A3 ORIGINAL SIZE



8.50m HEIGHT BLANKET (EXISTING)



8.50m HEIGHT BLANKET (PROPOSED)