



ATTACHMENTS

LOCAL PLANNING PANEL MEETING

Wednesday 28 September 2022
at 4:00pm



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LOCAL PLANNING PANEL

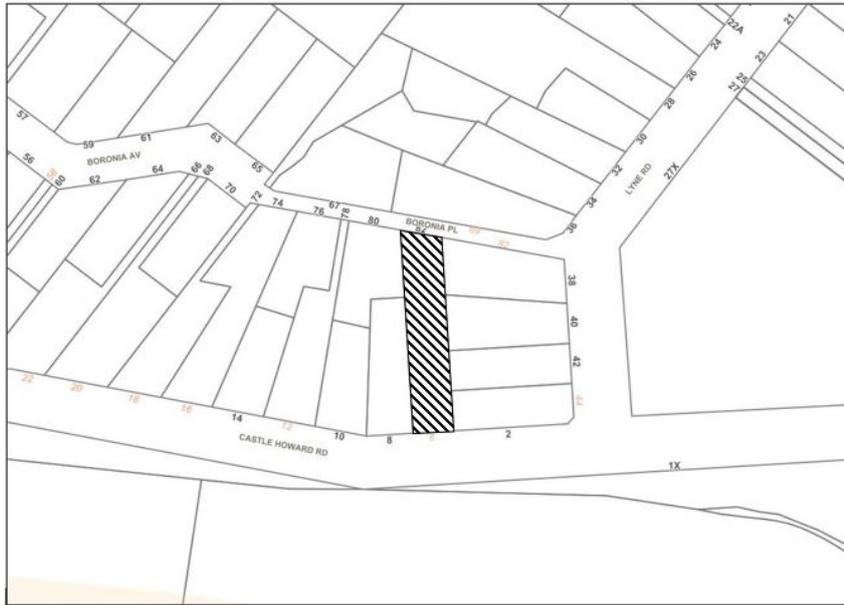
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ATTACHMENT/S

REPORT NO. LPP52/22

ITEM 1

- 1. LOCALITY PLAN**
- 2. CLAUSE 4.6**
- 3. SURVEY PLAN**
- 4. SUBDIVISION & ARCHITECTURAL PLANS**
- 5. LANDSCAPE PLAN**



LOCALITY PLAN
DA/628/2022
No. 82 Bordonnia Place, Cheltenham

ATTACHMENT 1 - ITEM 1



**Clause 4.6 - Exceptions to Development Standards - Minimum Allotment Size
Two Lot Subdivision & New Dwellings
82 Boronia Place, Cheltenham**

Introduction

The proposal seeks approval for a Torrens title subdivision so as to create two allotments in accordance with the Draft Subdivision Plan prepared by SurveyPlus.

The proposal is subject to a minimum allotment size of 600m² per allotment.

The proposal provides for one lot (Proposed Lot 1) which is to have an area of 577m² and one lot (Proposed Lot 2) which is to have an area of 574.5m². The proposed lot sizes for Lot 1 & Lot 2 do not comply with the minimum allotment size requirements of Clause 4.1 of the LEP. Proposed Lot 1 results in shortfall of 23m² or 3.8% and Proposed Lot 2 results in a shortfall of 25.5m² or 4.25%.

It is submitted that the minimum allotment size requirement as required by Clause 4.1 of the LEP is a development standard as defined and that any variation of its requirements requires the preparation of a submission pursuant to Clause 4.6 of the LEP.

This Clause 4.6 variation has been prepared in accordance with recent judgments of the Land & Environment Court.

It is submitted that the variation is well founded and is worthy of the support of the Council.

The following assessment of the proposed variation against the requirements of Clause 4.6 is therefore provided.

1. What are the objectives of Clause 4.6 and is the proposal consistent with them.

The objectives of Clause 4.6 of the LEP are:

- (a) *to provide an appropriate degree of flexibility in applying certain development standards to particular development, and*
- (b) *to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*

www.mintoplanning.com.au
postal address: po box 424 berowra 2081
telephone: 9875 4788 email: planning@mintoplanning.com.au
abn 68 091 465 271

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It is my opinion, as is demonstrated by the responses to the questions below, that the proposed variation is consistent with the objectives of this clause in that through the application of flexibility as to the required allotment size that an additional dwelling house allotment can be created and a dwelling constructed.

It is submitted that in relation to achieving a better outcome that this is achieved by applying flexibility so as to allow for a site with an area of 1,151.8m² and having two street frontages to be subdivided in conjunction with integrated dwelling designs.

2. Is the standard to be varied a Development Standard to which Clause 4.6 applies.

Clause 4.1 is contained within Part 4 of the Hornsby LEP 2013 and which is titled Principal Development Standards. Clause 4.1 states that:

4.1 Minimum subdivision lot size

- (1) The objectives of this clause are as follows:
 - (a) to provide for the subdivision of land at a density that is appropriate for the site constraints, development potential and infrastructure capacity of the land,*
 - (b) to ensure that lots are of a sufficient size to accommodate development.**
- (2) This clause applies to a subdivision of any land shown on the [Lot Size Map](#) that requires development consent and that is carried out after the commencement of this Plan.*
- (3) The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the [Lot Size Map](#) in relation to that land.*
- (3A) If a lot is a battle-axe lot or other lot with an access handle, the area of the access handle is not to be included in calculating the lot size.*
- (4) This clause does not apply in relation to the subdivision of any land:
 - (a) by the registration of a strata plan or strata plan of subdivision under the Strata Schemes Development Act 2015, or*
 - (b) by any kind of subdivision under the Community Land Development Act 1989.**

It is considered that the wording of the Clause is consistent with previous decisions of the Land & Environment Court of NSW in relation to matters which constitute development standards.

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It is also noted that Clause 4.1 does not contain a provision which specifically excludes the application of Clause 4.6.

On this basis it is considered that Clause 4.1 is a development standard for which Clause 4.6 applies.

3. Is compliance with the development standard unreasonable or unnecessary in the circumstances of this case

In *Wehbe v Pittwater Council* [2007] NSWLEC 827, Preston CJ set out five justifications to demonstrate that compliance with a development standard is unreasonable or unnecessary. These include:

- The objectives of the development standard are achieved notwithstanding non-compliance with the standard.
- The underlying objective or purpose of the standard is not relevant to the development.
- The underlying objective or purpose would be defeated or thwarted if compliance was required.
- The standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and/or
- The zoning of the land was unreasonable or inappropriate such that the standards for that zoning are also unreasonable or unnecessary.

It is my opinion that the first reason is relevant in this instance in that the objectives of the development standard are achieved notwithstanding non-compliance with the standard.

The following assessment is provided against the objectives of Clause 4.1 of the LEP:

- (a) *to provide for the subdivision of land at a density that is appropriate for the site constraints, development potential and infrastructure capacity of the land,*

It is my opinion based upon the content of this report and the supporting documentation that the proposed subdivision is at a density that is appropriate for the site constraints, development potential and infrastructure capacity of the land.

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- (b) *to ensure that lots are of a sufficient size to accommodate development.*

It is my opinion based upon the architectural plans forming part of this application, that the proposed allotments are of sufficient size so as to support development which otherwise complies with the requirements of the Council.

In addition to the above it is submitted that:

- The proposed subdivision will provide for the provision of an additional parcel of land capable of supporting an additional dwelling as demonstrated by the proposed dwelling designs and which are considered to be commensurate with dwellings in the locality and the surrounding character.
- The non-compliance is considered minor given that Proposed Lot 1 results in shortfall of 23m² or 3.8% and Proposed Lot 2 results in a shortfall of 25.5m² or 4.25%.
- The subject land has an area of 1,151.8m² with the existing surrounding properties comprising a variety of allotment shapes and sizes and which are typically significantly smaller than the subject site.
- The subject site is located within a locality which includes a number of allotments having an area of less than 600m². Such allotments exist at 30D Castle Howard Road (452m²), 20A Lyne Road (469m²), 22 Lyne Road (509m²), 17A Lyne Road (497m²), 1C Redmill Close (432m²), 1D Redmill Close (447m²), 1B Redmill Close (488m²), 25 Old Beecroft Road (463m²), 25A Old Beecroft Road (510m²), 31 Old Beecroft Road (471m²), 33 Old Beecroft Road (456m²), 39,41,43 Sutherland Road (under 600m²), 20 Old Beecroft Road (363m²), 20 Old Beecroft Road (363m²), 20A Old Beecroft Road (542m²), 28A Old Beecroft Road (315m²).
- The proposed subdivision as a result of the proposed lot sizes and two street frontages is considered to result in development which is consistent with the prevailing subdivision pattern of the locality.
- The subject land having two street frontages is clearly suited to subdivision into two parcels of land having lot sizes that better reflect the surrounding subdivision pattern.
- The proposed allotments are both considered capable of supporting development as demonstrated by the architectural plans which comply with the requirements of the Council for a dwelling house.
- Each of the allotments resulting from the proposed subdivision is capable of being provided with vehicular access in accordance with the requirements of Council and the applicable Australian Standards.
- The proposed subdivision will not in my opinion result in any unreasonable impacts upon adjoining properties or the streetscape.

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On this basis it is my opinion that strict compliance with the standard is unreasonable and unnecessary in the circumstances of this case.

4. Are there sufficient environmental planning grounds to justify contravening the development standard.

It is considered that a contravention of the development standard is justified on environmental planning grounds given that:

- The proposal will provide for the orderly and economic development of land through the creation of an additional parcel of land which will increase housing supply within the locality.
- The subject land has an area of 1,151.8m² which is larger than the area of adjoining and nearby allotments.
- The subject land as a result of its lot size and two street frontages is inconsistent with the dominant subdivision pattern of the locality.
- The subject land having two street frontages is clearly suited to subdivision into two parcels of land having lot sizes that better reflect the surrounding subdivision pattern.
- The subdivision will allow for the retention of all significant trees located upon the site.
- The proposed allotments are both considered capable of supporting development as demonstrated by the architectural plans which comply with the requirements of the Council for a dwelling house.

5. Is the proposed development in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

The proposed development is in my opinion in the public interest because it is compliant with the zone objectives and the objectives of the particular standard.

In this regard the proposal is considered to be consistent with the relevant objectives of the R2 - Low Density zone as detailed below.

- *To provide for the housing needs of the community within a low density residential environment.*

Comment

The proposal will in my opinion provide for an additional allotment which is ultimately capable of supporting a dwelling house consistent

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with the requirements of the Council for a low density residential environment.

- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

Comment

Not applicable.

In relation to the objectives of Clause 4.1 of the LEP the following assessment is provided:

- (a) to provide for the subdivision of land at a density that is appropriate for the site constraints, development potential and infrastructure capacity of the land,*

Comment

It is considered as demonstrated by the accompanying architectural plans that the proposed Lot 1 & Lot 2 are capable of providing for a development outcome which is otherwise consistent with the requirements of the Council.

It is also not considered that there are any site constraints or the like which would warrant a larger (compliant) allotment size noting that the accompanying architectural plans demonstrate that the new dwellings proposed on Lot 1 & Lot 2 will continue to support a significant number of mature trees.

- (b) to ensure that lots are of a sufficient size to accommodate development.*

Comment

As detailed above it is my opinion that proposed Lot 1 & Lot 2 are capable of supporting future development which complies with the requirements of the Council notwithstanding the non-compliance with the minimum allotment size requirement.

The proposal therefore in my opinion is consistent with the applicable objectives of both Clause 4.1 of the LEP and the R2 - Low Density Residential Zone.

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6. Whether contravention of the development standard raises any matter of significance for state or regional environmental planning.

It is my opinion that contravention of the standard does not raise any matters of significance for State or Regional environmental planning.

7. What is the public benefit of maintaining the development standard.

It is my opinion that there is no public benefit in maintaining the development standard in this instance given the absence of any unreasonable detrimental impacts and the public benefit that arises from the provision of one additional allotment.

Conclusion

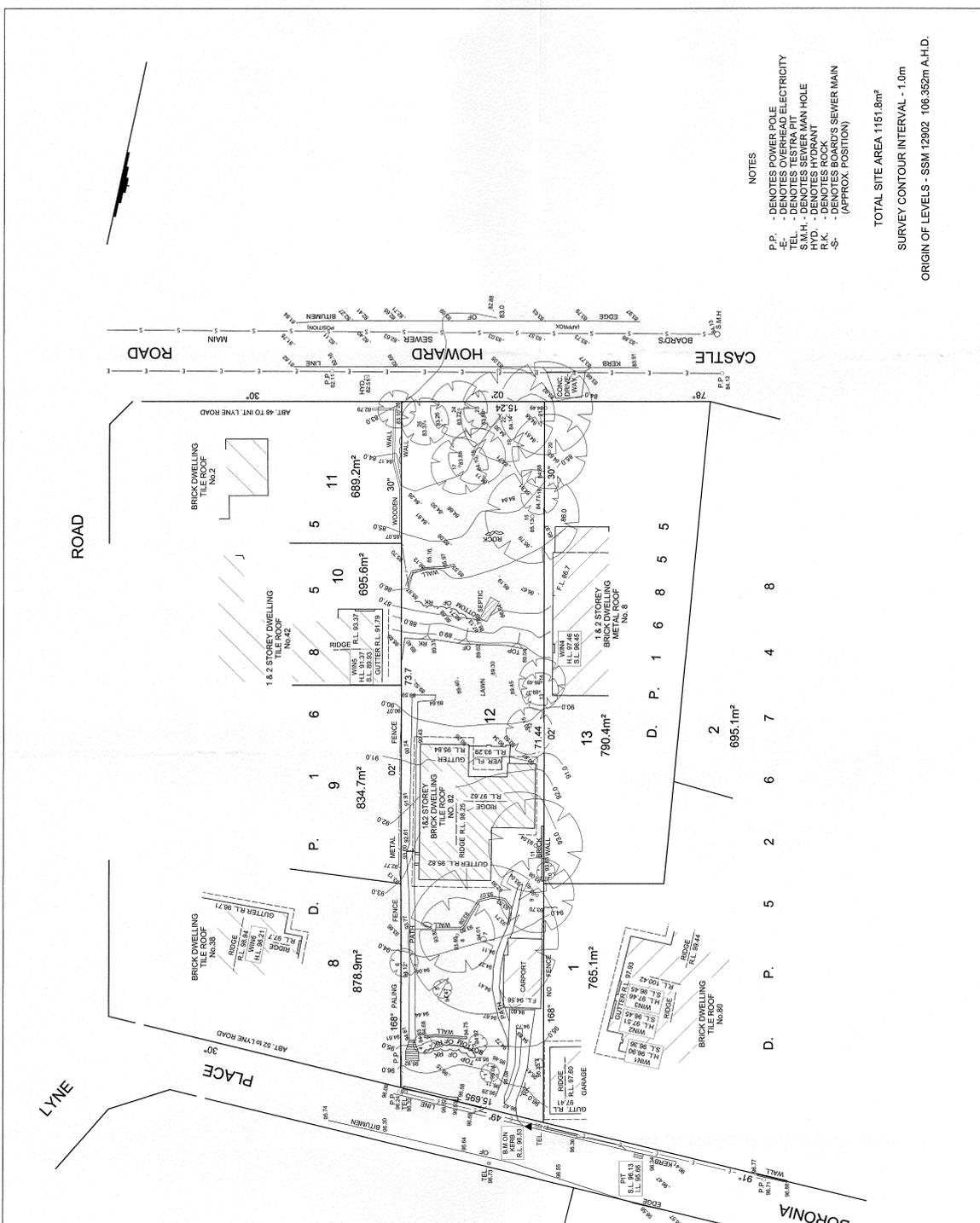
It is therefore my opinion based upon the content of this submission that a variation of the minimum allotment size requirement for proposed Lot 1 and Lot 2 as required by Clause 4.1 of the Hornsby Local Environmental Plan 2013 is appropriate in this instance.



Andrew Minto
Graduate Diploma (Urban & Regional Planning), Associate Diploma (Health & Building Surveying). MPIA.
MINTO PLANNING SERVICES PTY LTD
June 2022

SCHEDULE OF SIGNIFICANT TREES

No.	DESCRIPTION	DBH (CM)	SPREAD HEIGHT (M)	COND.
1	GUM	0.8	4.5	FAIR
2	FRENCHLINE	0.2	0.5	FAIR
3	JAPANESE MAPLE	0.15	1.0	FAIR
4	JAPANESE MAPLE	0.15	1.0	FAIR
5	GUM	0.4	3.0	FAIR
6	PINE	0.2	1.5	FAIR
7	ANDOPHORA	0.7	8.0	POOR
8	LIQUIDAMBER	0.2	0.5	FAIR
9	LIQUIDAMBER	0.4	4.0	FAIR
10	THREE	0.3	1.0	POOR
11	THREE	0.2	4.0	FAIR
12	THREE	0.5	2.5	POOR
13	THREE	0.3	2.0	FAIR
14	THREE	0.3	2.0	FAIR
15	THREE	0.5	5.0	FAIR
16	LIQUIDAMBER	0.4	3.0	POOR
17	LIQUIDAMBER	0.4	3.0	POOR
18	LIQUIDAMBER	0.3	2.0	POOR
19	LIQUIDAMBER	0.3	2.0	POOR
20	PINE	0.4	4.0	FAIR
21	TURPENTINE	0.5	5.0	FAIR
22	PINE	0.5	5.0	FAIR
23	ANDOPHORA	0.15	2.0	FAIR
24	PINE	0.5	3.0	FAIR
25	GUM	1.2	2.5	FAIR
26	PALM	0.25	2.0	FAIR



- NOTES
- P.P. - DENOTES POWER POLE
 - E- - DENOTES OVERHEAD ELECTRICITY
 - TEL - DENOTES TELEPHONE
 - W.H. - DENOTES WASTEWATER MAIN HOLE
 - HYD - DENOTES HYDRANT
 - R.K. - DENOTES ROCK
 - S- - DENOTES BOARD'S SEWER MAIN (APPROX. POSITION)

TOTAL SITE AREA 1151.8m²
 SURVEY CONTOUR INTERVAL - 1.0m
 ORIGIN OF LEVELS - SSM 12902 108.352m A.H.D.

DETAIL SURVEY OF
 LOT 12 IN D.P. 16855
 82 BORONIA PLACE - CHELTENHAM

LGA - HORNSBY
 DATUM: A.H.D.

DATE: 02-11-16
 CAD: S15450

SCALE: 1:200
 SHEET 1 OF 1
 REF. NO. S.15450

Notes:-

1. This detail survey is to be used in conjunction with the Surveying & Drafting Services Pty Ltd. (S&D) Survey Report No. 16855/16855-1. It is not to be used in isolation and should be used in conjunction with the S&D Survey Report No. 16855/16855-1.
2. No investigation has been made of underground services on and adjacent to the subject land. Please contact the necessary authority prior to commencing works.
3. Tree positions and sizes shown are estimated.
4. This drawing is subject to copyright. It must not be produced in whole or part without the written consent of P.S. GRAHAM & ASSOCIATES.
5. DIAL 100 BEFORE YOU DIG for location of services.

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 PROJECT MANAGEMENT
 240/250 SHAW HILLS ROAD
 THORNTON NSW 2120
 (02) 8484 5121 (02) 8481 5409
 www.psgraham.com.au
 email: psg@psgraham.com.au

ATTACHMENT 3 - ITEM 1

03 38 LYNE ROAD

05 80 BORONIA PLACE

04 82 BORONIA PLACE

06 HOWARD CASTLE ROAD

01 SITE ANALYSIS 1:300

02 LOCATION PLAN

03 38 LYNE ROAD

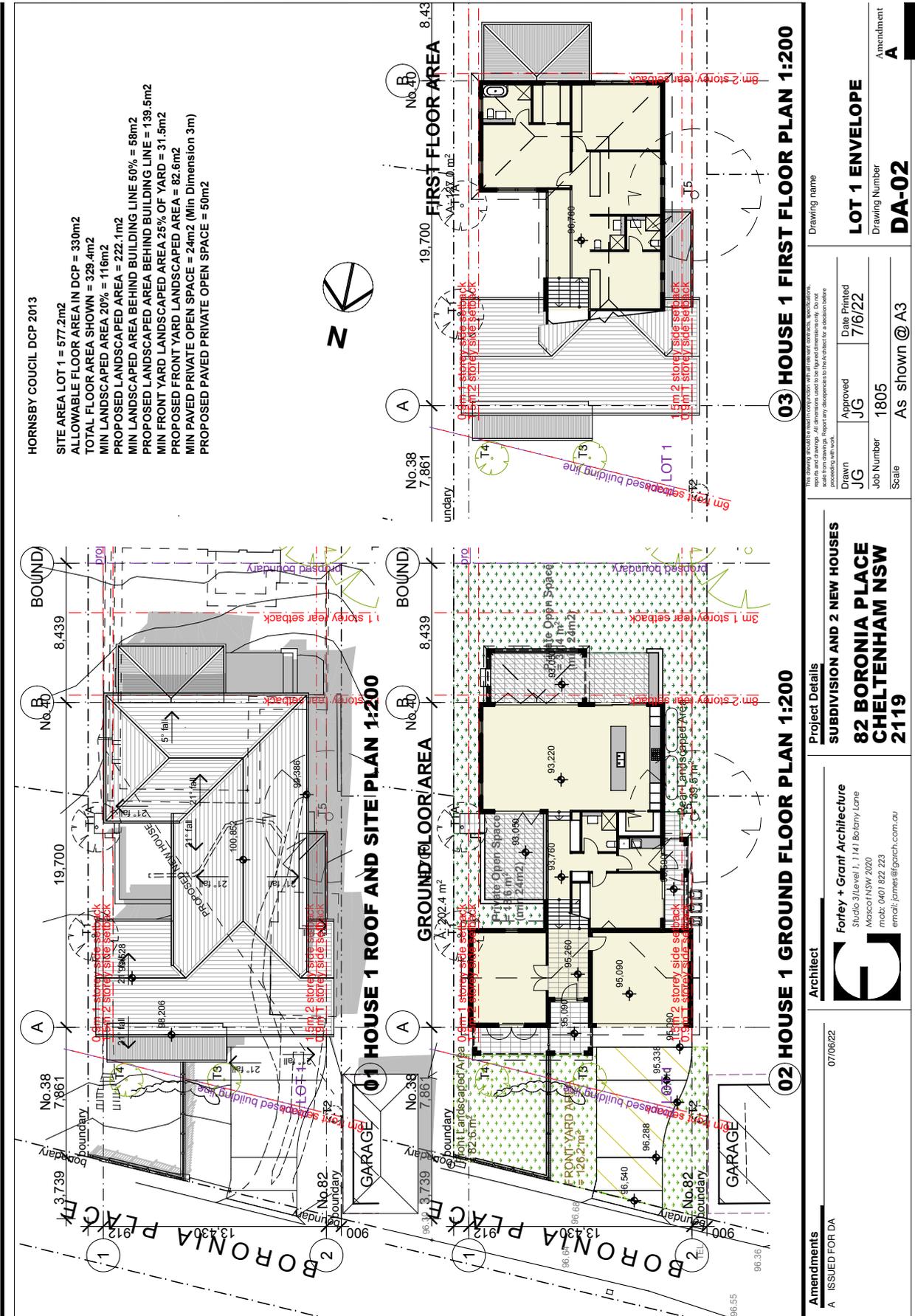
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05 80 BORONIA PLACE

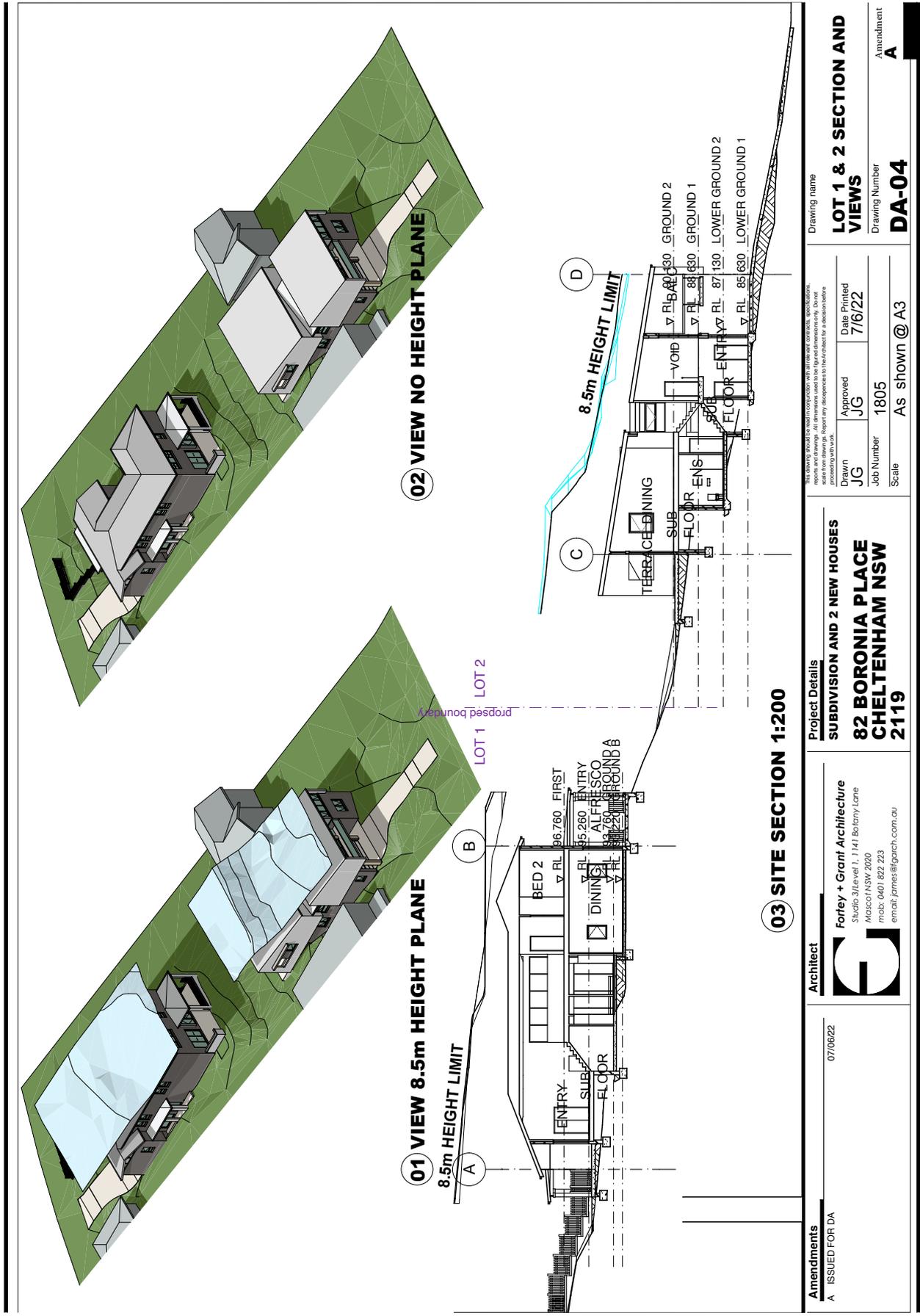
06 HOWARD CASTLE ROAD

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Forley + Grant Architecture Studio 3/Level 1, 11/41 Botany Lane Mascot NSW 2020 mob: 0401 622 223 email: james@forley.com.au		
Drawn JG	Approved JG	Date Printed 7/6/22
Job Number 1805	Scale As shown @ A3	SITE ANALYSIS Drawing Number DA-00
		Amendment A

ATTACHMENT 4 - ITEM 1

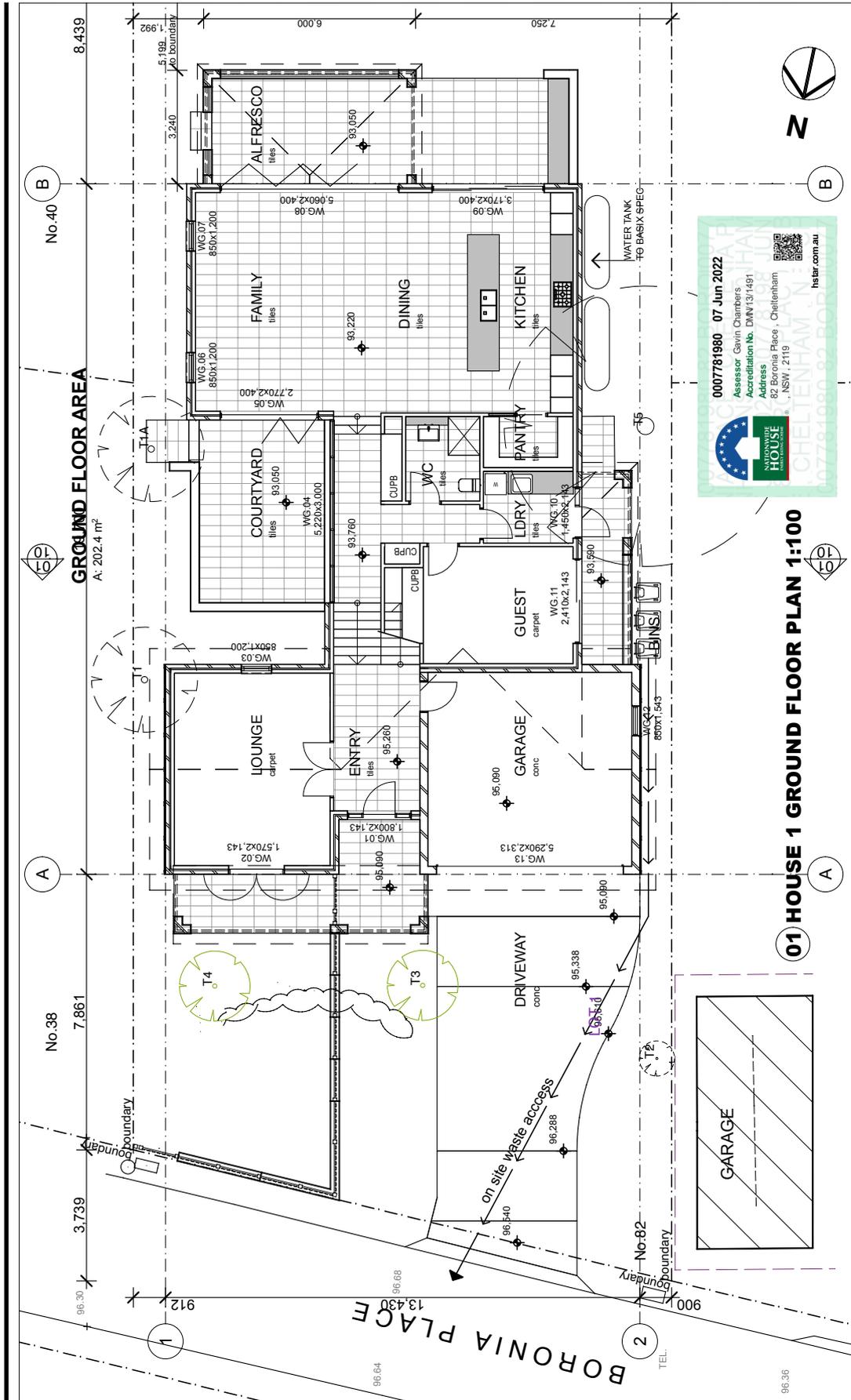


ATTACHMENT 4 - ITEM 1



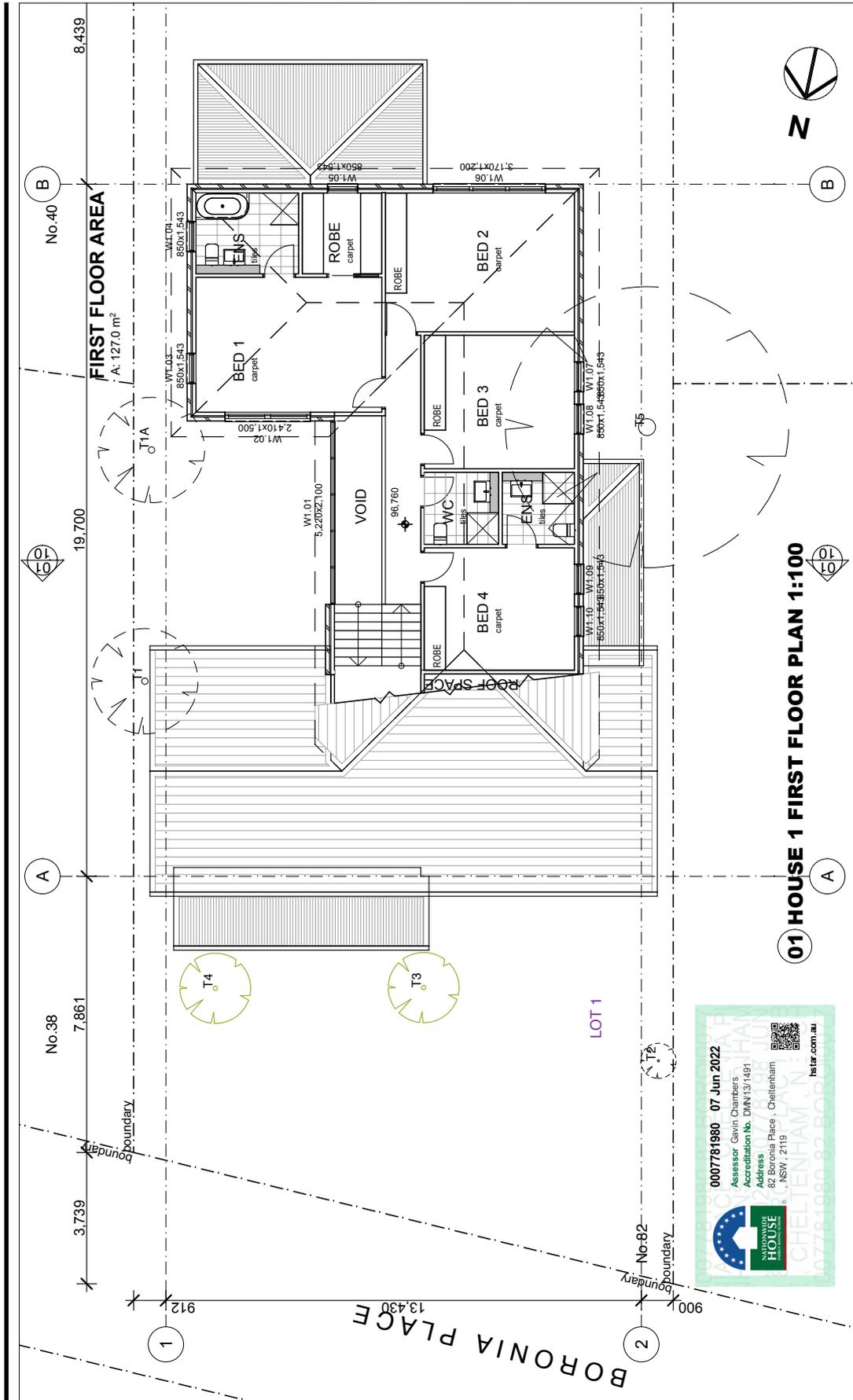
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	07/06/22			

ATTACHMENT 4 - ITEM 1



Amendments		Architect		Project Details		Drawing name	
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07/06/22				Drawn JG		Drawing name LOT 1 GROUND FLOOR PLAN	
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				Job Number 1805		Drawing Number DA-06	
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ATTACHMENT 4 - ITEM 1

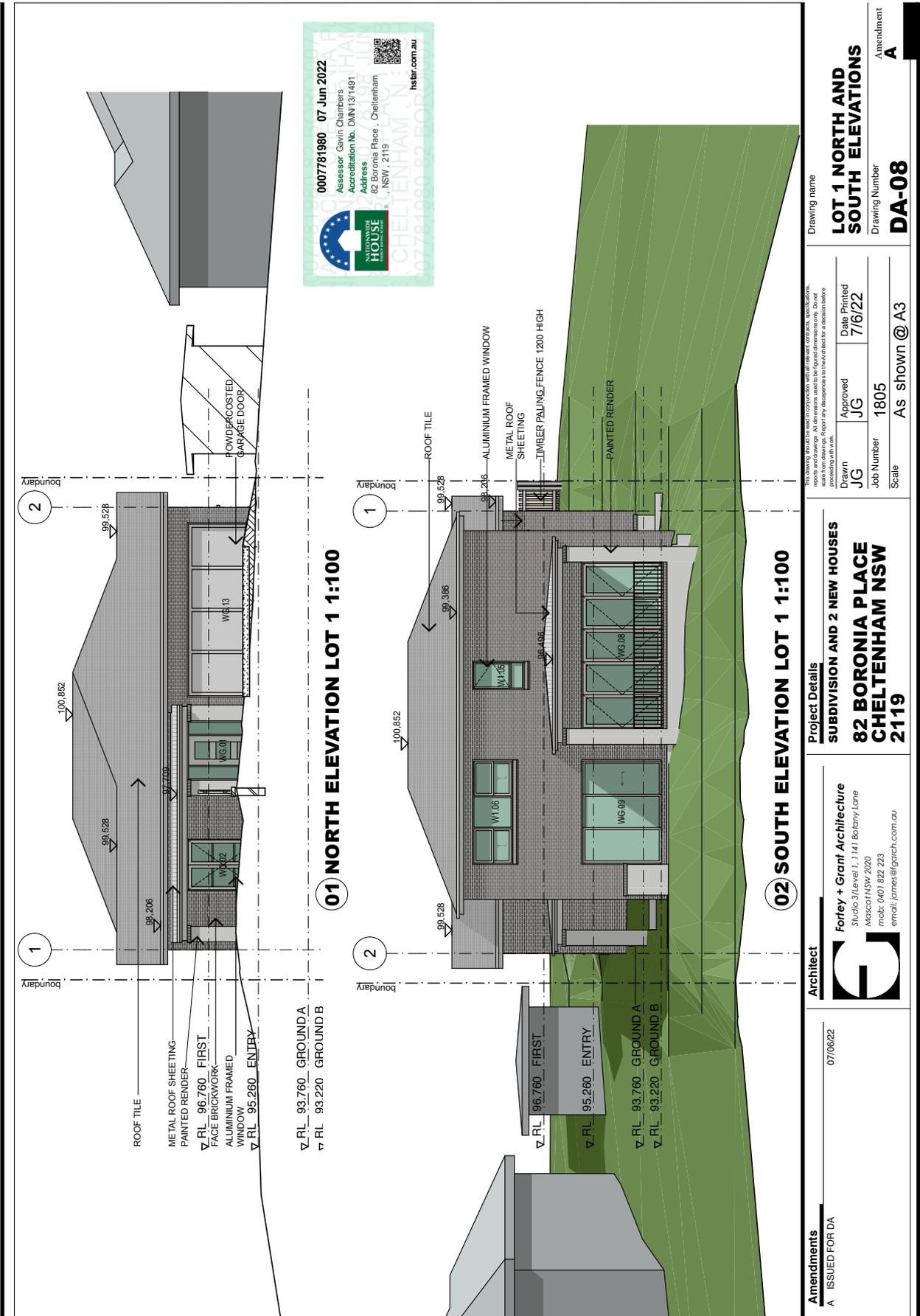


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	07/06/22	Drawn JG	Approved JG	Date Printed 7/6/22	Drawing Number DA-07
		Scale As shown @ A3			Amendment A

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ATTACHMENT 4 - ITEM 1



Drawing name LOT 1 NORTH AND SOUTH ELEVATIONS	
Drawing JG	Approved JG
Date Printed 7/6/22	Drawing Number 1805
Job Number 1805	Scale As shown @ A3
Amendment A	

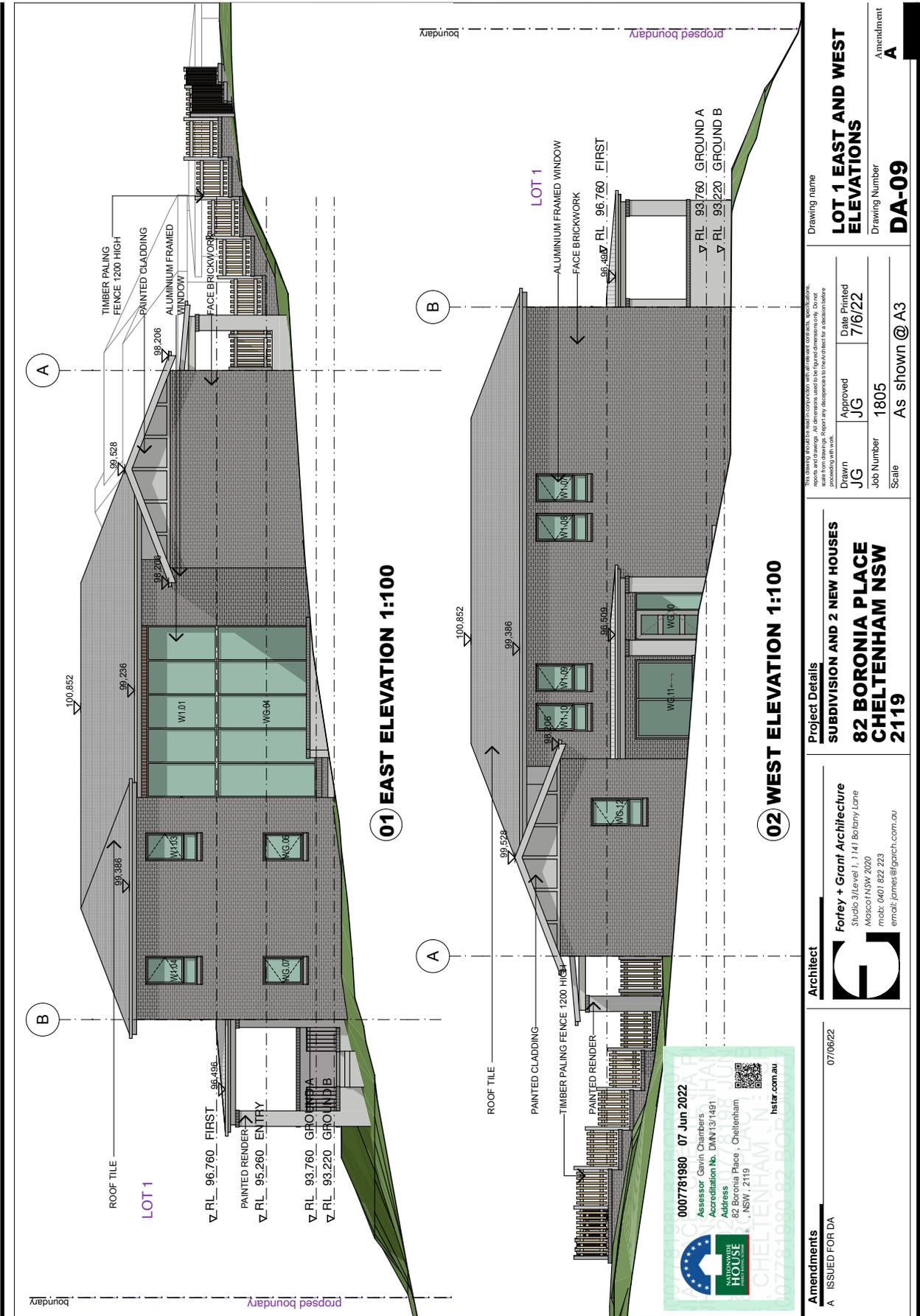
Project Details
 SUBDIVISION AND 2 NEW HOUSES
 82 BORONIA PLACE
 CHELTENHAM NSW
 2119

Architect

Forley + Grant Architecture
 Studio 31 Level 1, 11/41 Botany Lane
 Macquarie NSW 2020
 mob: 0401 622 223
 email: james@garch.com.au

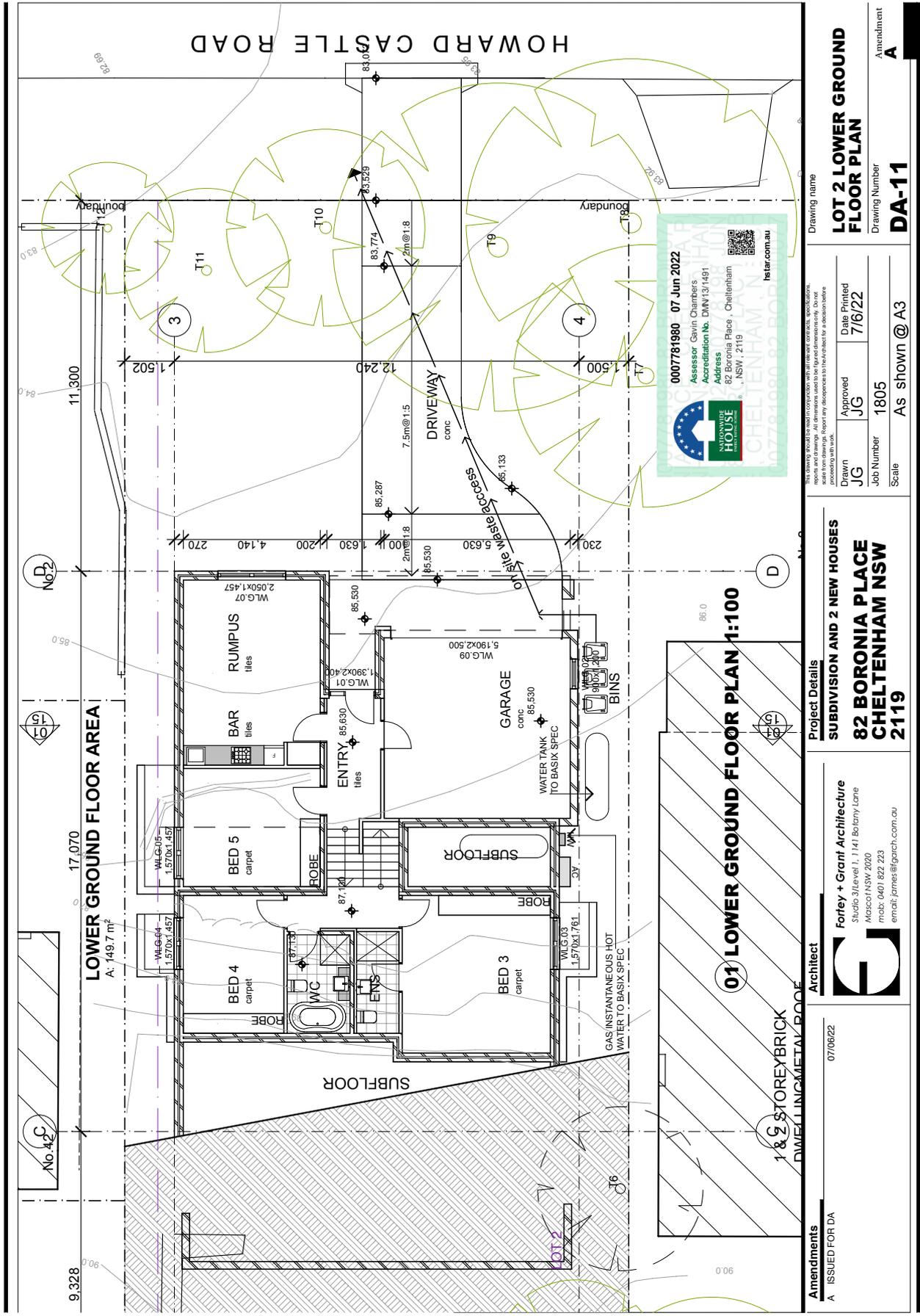
Amendments
 A ISSUED FOR DA
 07/06/22

ATTACHMENT 4 - ITEM 1



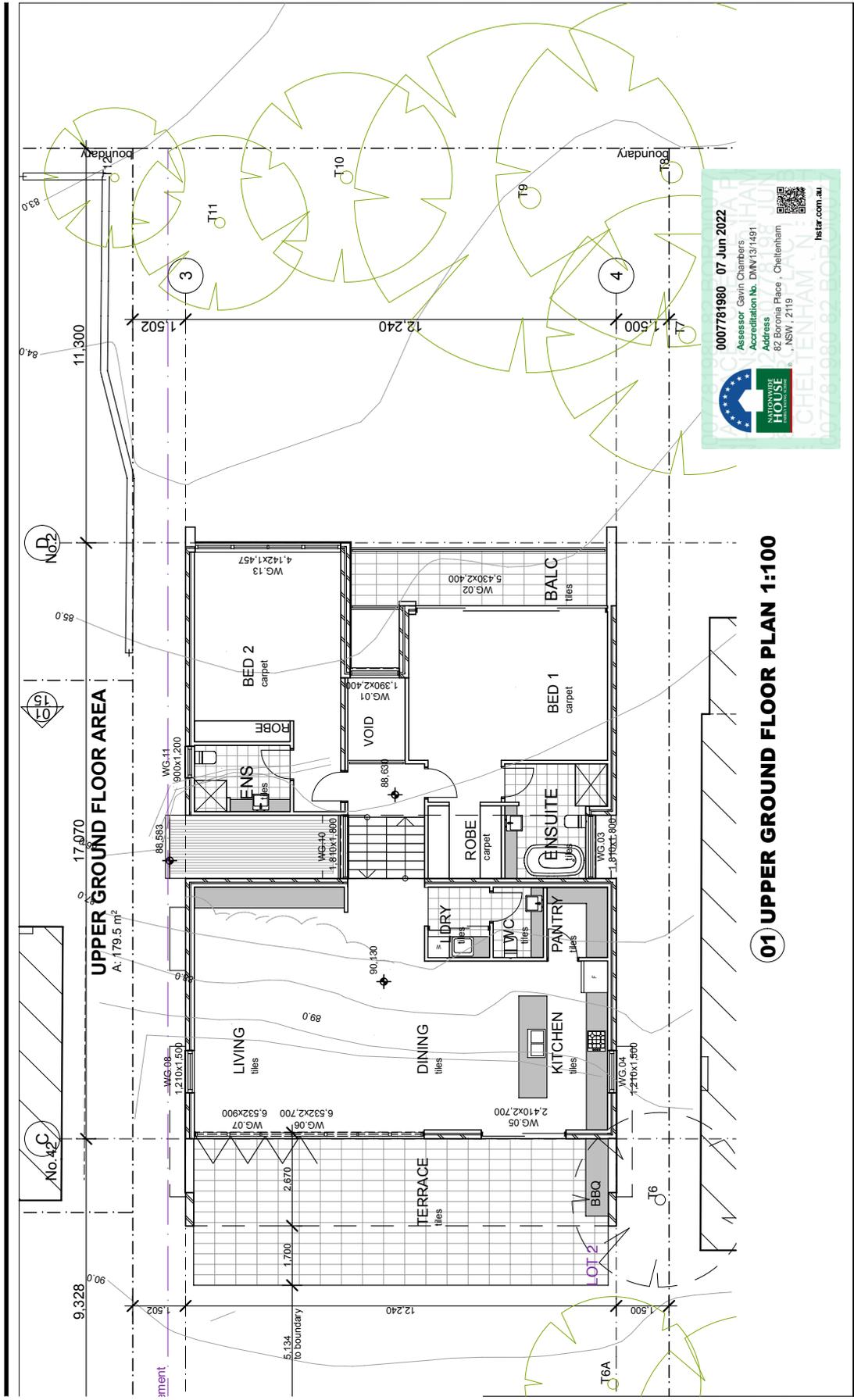
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				Drawn: JG			
				Scale: As shown @ A3			

ATTACHMENT 4 - ITEM 1



Amendments		Project Details	
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07/06/22		82 BORONIA PLACE	
		CHELTENHAM NSW	
		2119	
Architect		Drawing name	
Forley + Grant Architecture Studio 31 Level 1, 1141 Battery Lane Macquarie NSW 2020 mob: 0401 822 223 email: james@farch.com.au		LOT 2 LOWER GROUND FLOOR PLAN Drawing Number DA-11	
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		Scale	
		Job Number 1805	
		Approved JG	
		Date Printed 7/6/22	
		Drawing Name	
		Assessor Gavin Chambers	
		Accreditation No. DMW131491	
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ATTACHMENT 4 - ITEM 1



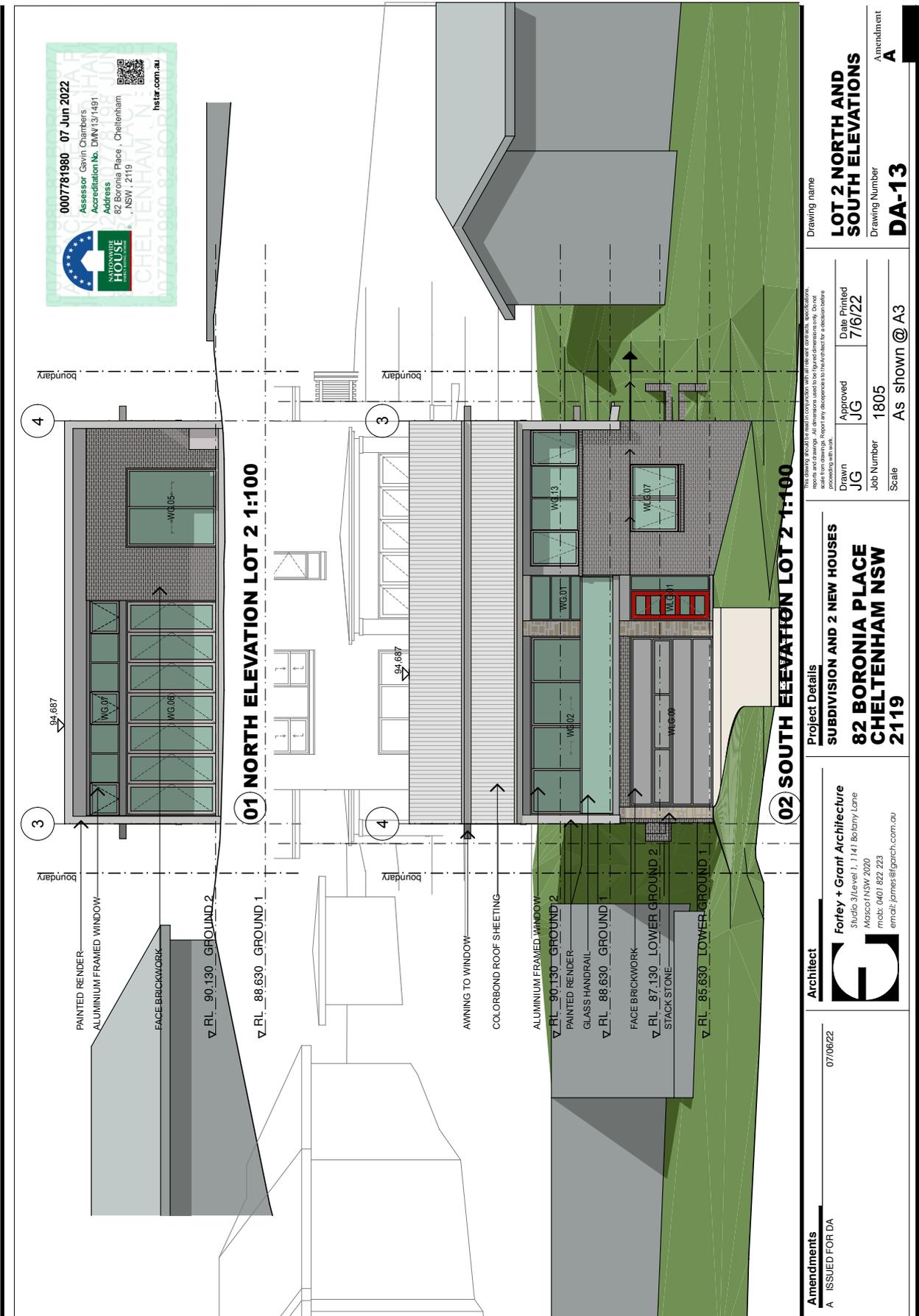
0007781980 07 Jun 2022
 Assessor Gavin Chambers
 Accreditation No. DMN1371491
 Address 82 Boronia Place, Cheltenham NSW, 2119
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Amendments A ISSUED FOR DA	Architect Forley + Grant Architecture Studio 31 Level 1, 11/41 Botany Lane Mascot NSW 2020 mob: 0401 622 223 email: james@forley.com.au	Project Details SUBDIVISION AND 2 NEW HOUSES 82 BORONIA PLACE CHELTENHAM NSW 2119	Drawing Name LOT 2 UPPER GROUND FLOOR PLAN
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			Approved JG
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			Amendment A

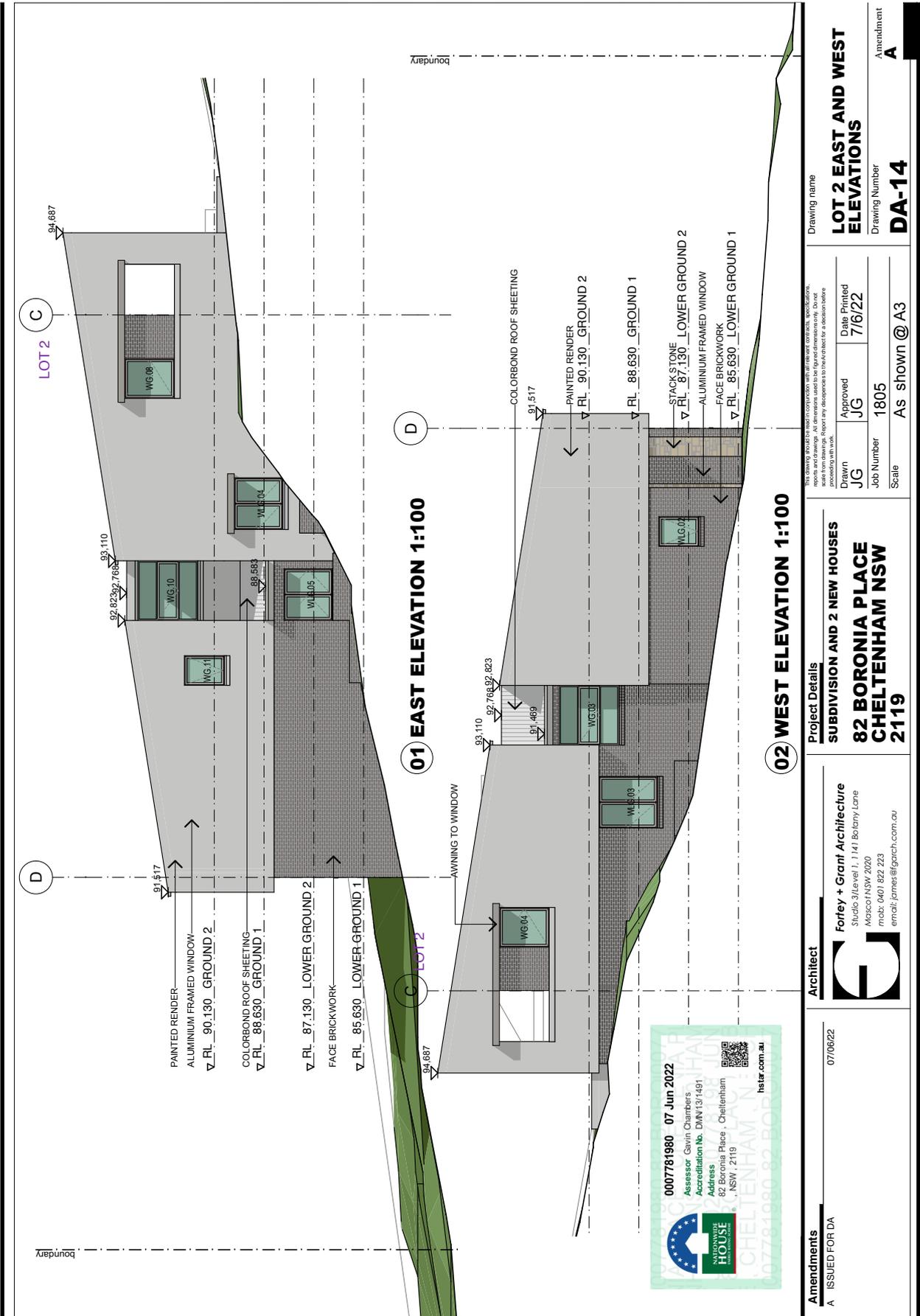
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01 UPPER GROUND FLOOR PLAN 1:100

ATTACHMENT 4 - ITEM 1

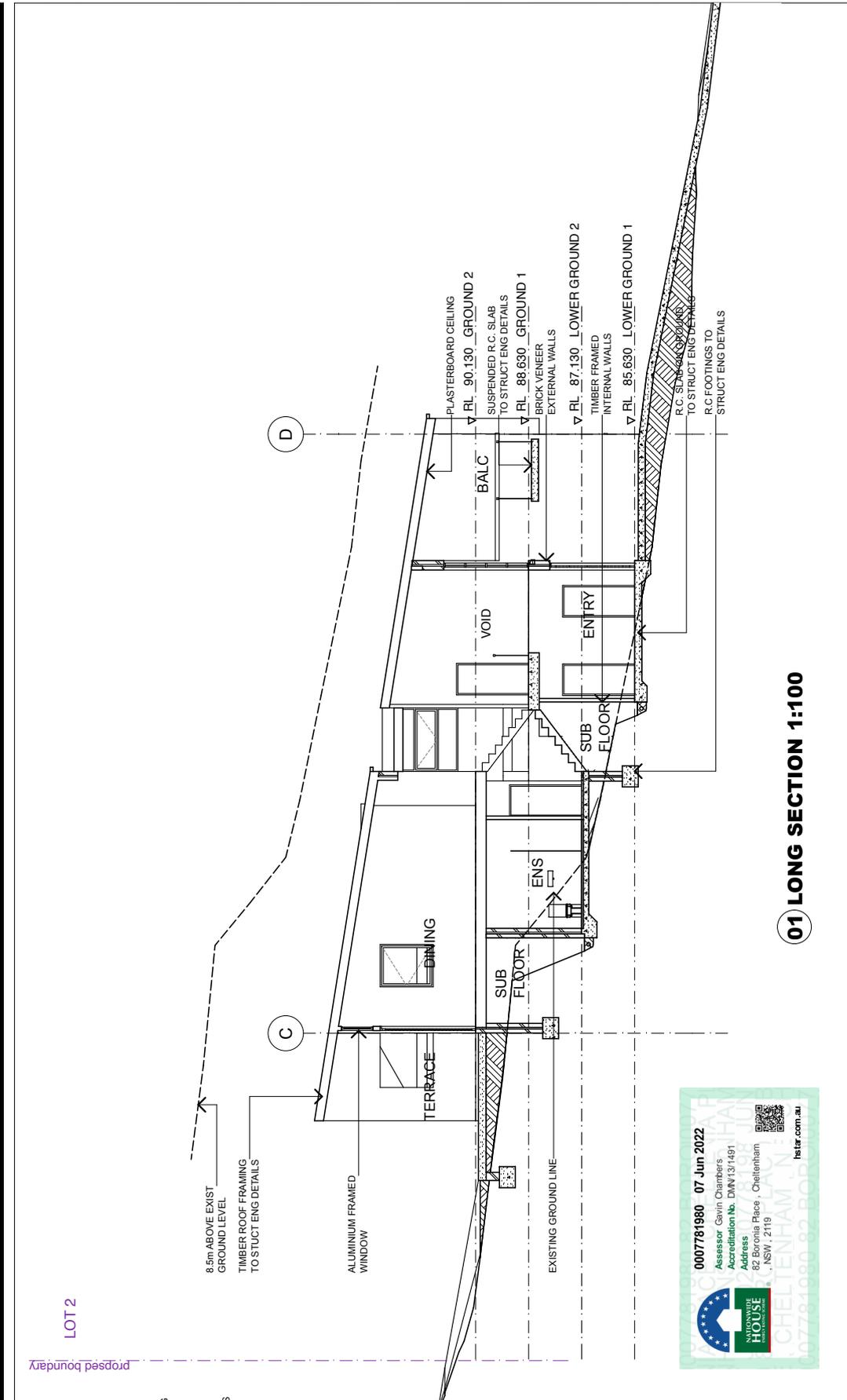


ATTACHMENT 4 - ITEM 1



Amendments A ISSUED FOR DA	Architect  Forley + Grant Architecture Studio 3/Level 1, 11/11 Boronia Lane Macquarie NSW 2020 mob: 0401 622 223 email: james@garch.com.au		Project Details SUBDIVISION AND 2 NEW HOUSES 82 BORONIA PLACE CHELTENHAM NSW 2119		Drawing name LOT 2 EAST AND WEST ELEVATIONS Drawing Number DA-14	
	Date Printed 7/6/22		Approved JG		Job Number 1805	
		Scale As shown @ A3		Amendment A		

ATTACHMENT 4 - ITEM 1



01 LONG SECTION 1:100

Amendments A ISSUED FOR DA	Architect  Forley + Grant Architecture Studio 31 Level 1, 11/41 Botany Lane Mascot NSW 2020 mob: 0401 622 223 email: james@garch.com.au		Project Details SUBDIVISION AND 2 NEW HOUSES 82 BORONIA PLACE CHELTENHAM NSW 2119		Drawing name LOT 2 SECTION Drawing Number DA-16 Amendment A
	Drawn JG	Approved JG	Date Printed 7/6/22	Job Number 1805 Scale As shown @ A3	

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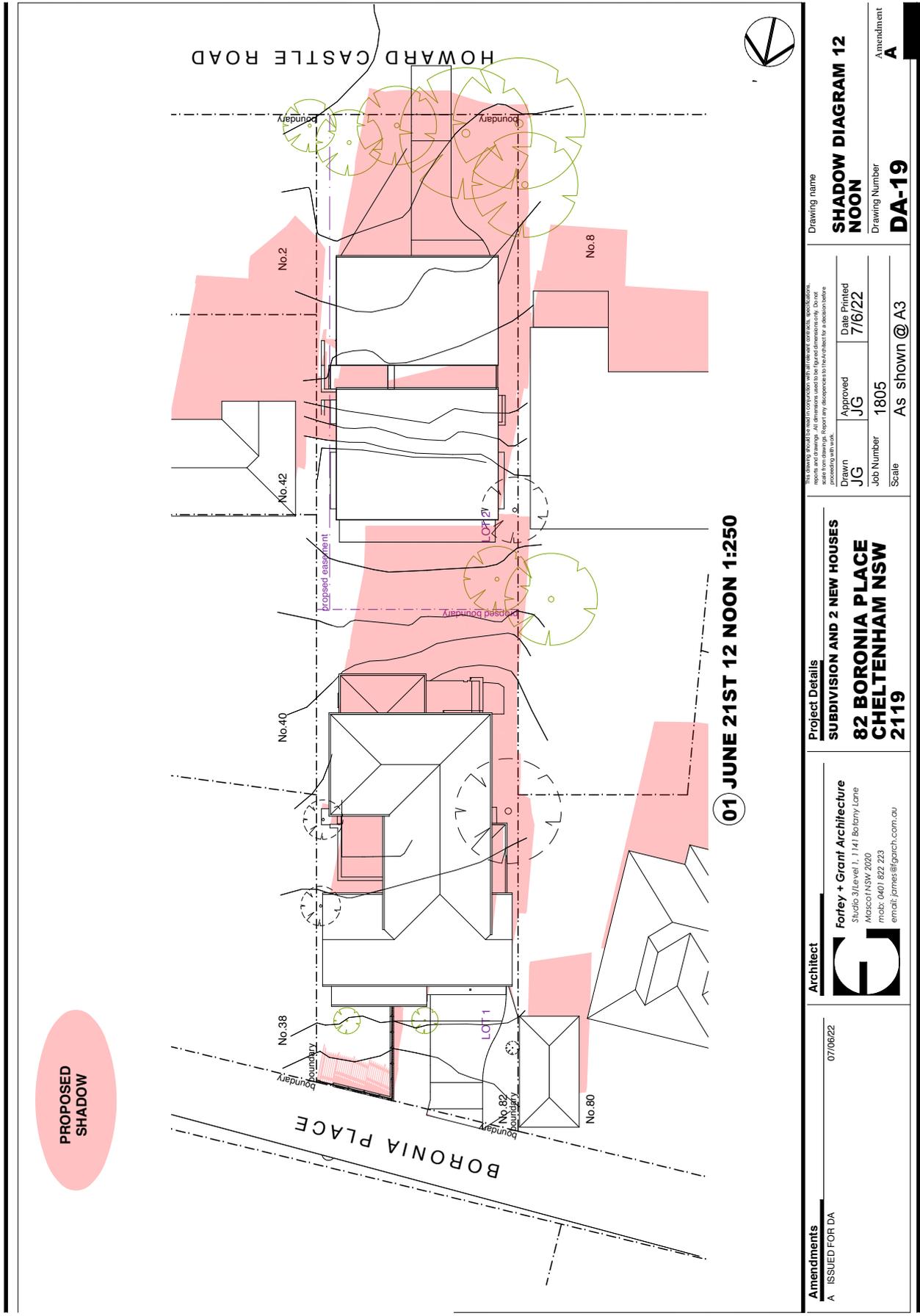
ATTACHMENT 4 - ITEM 1

01 JUNE 21ST 9 AM 1:250

Amendments A ISSUED FOR DA	Architect Forley + Grant Architecture Studio, 31/Leavel 1, 1/41 Battery Lane Maitland NSW 2020 mob: 0401 622 223 email: james@garch.com.au	Project Details SUBDIVISION AND 2 NEW HOUSES 82 BORONIA PLACE CHELTENHAM NSW 2119	Drawing name SHADOW DIAGRAM 9AM Drawing Number DA-18 Amendment A
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			Date Plotted 7/6/22
	Drawn JG	Approved JG	Job Number 1805

PROPOSED SHADOW

ATTACHMENT 4 - ITEM 1

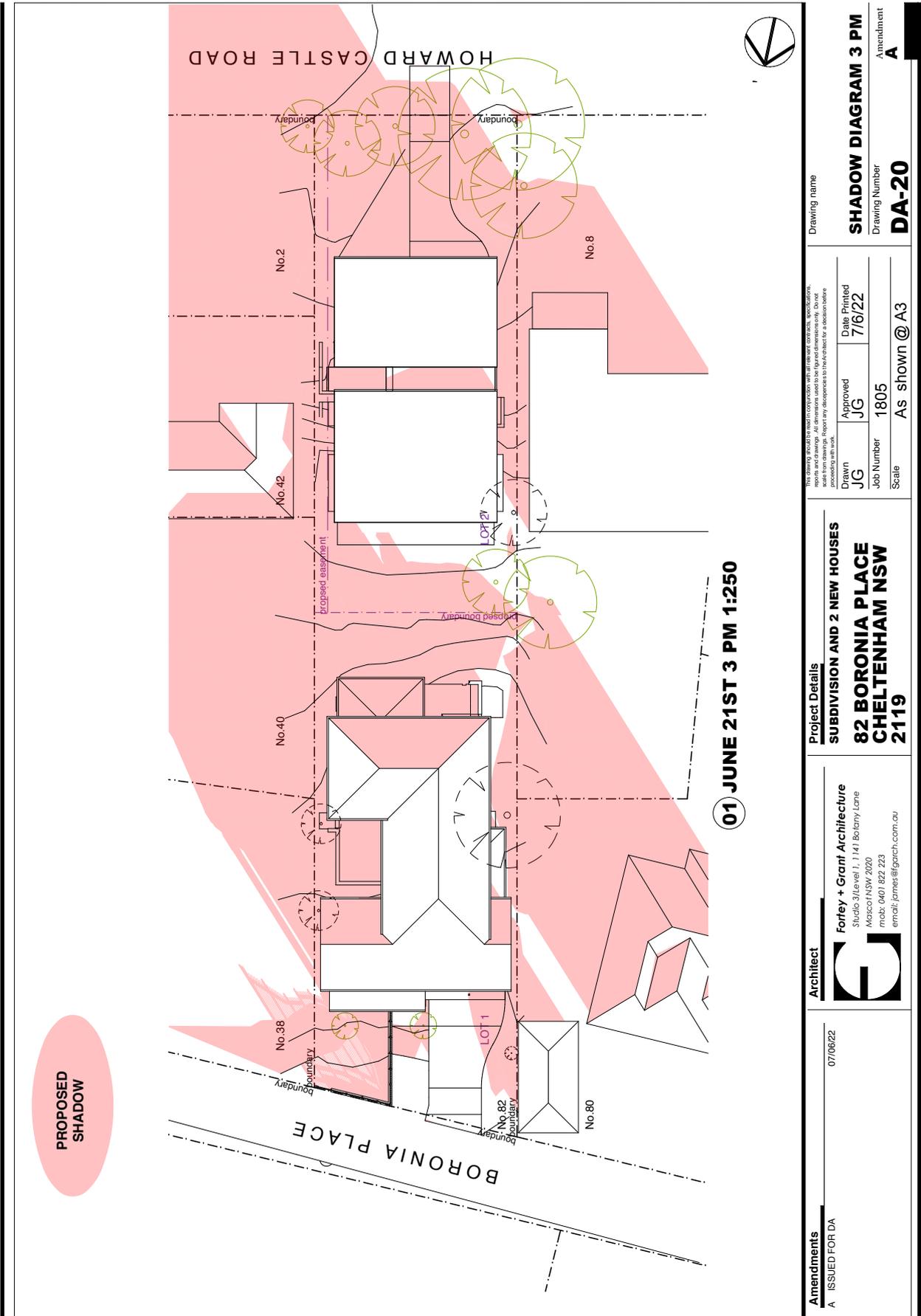


PROPOSED SHADOW

01 JUNE 21ST 12 NOON 1:250

Amendments A ISSUED FOR DA	07/06/22	Architect  Forley + Grant Architecture Studio, 31 Leavelle L1/41 Battery Lane Macquarie NSW 2020 mob: 0401 622 223 email: james@garch.com.au	Project Details SUBDIVISION AND 2 NEW HOUSES 82 BORONIA PLACE CHELTENHAM NSW 2119	Drawing name SHADOW DIAGRAM 12 NOON Drawing Number DA-19 Amendment A
	Scale As shown @ A3			
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ATTACHMENT 4 - ITEM 1



Drawing name

SHADOW DIAGRAM 3 PM
 Drawing Number **DA-20**
 Amendment **A**

This drawing is not to scale. It is for reference only. All dimensions are approximate. Do not report and drawings. All dimensions used to be for reference only. Do not scale from drawings. Report any discrepancy to the architect for a decision before construction.

Drawn **JG** Approved **JG** Date Plotted **7/6/22**
 Job Number **1805**
 Scale **As shown @ A3**

Project Details

SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELTEMHAM NSW
2119

Architect

Forley + Grant Architecture
 Studio 31 Level 1, 11/41 Battery Lane
 Macquarie NSW 2020
 mob: 0401 622 223
 email: james@garch.com.au

Amendments

A ISSUED FOR DA
 07/06/22

01 JUNE 21ST 3 PM 1:250

PROPOSED SHADOW

ATTACHMENT 4 - ITEM 1

Amendments
A ISSUED FOR DA
07/06/22

Architect
Forley + Grant Architecture
Studio, 31/Levett L 1/1/1/1 Botany Lane
Mascot NSW 2020
mob: 0401 622 223
email: james@garch.com.au

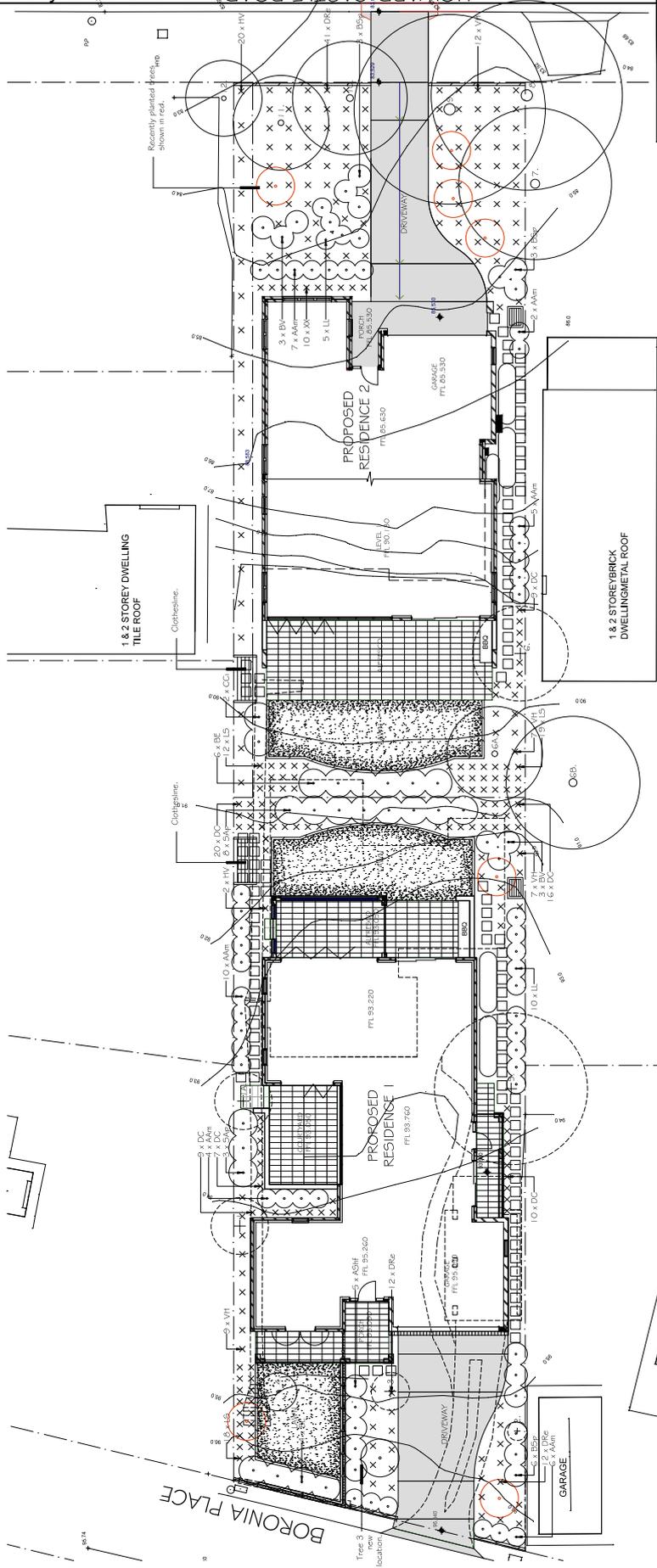
Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELTENHAM NSW
2119

Lot 2 SOLAR ACCESS VIEWS
Drawing Name
Drawing Number: 1805
Scale: As shown @ A3
Date Printed: 7/6/22
Approved: JG
Job Number: 1805
As shown @ A3

Amendment
A

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ATTACHMENT 4 - ITEM 1



NOTES
 This plan is to be read in conjunction with all documentation prepared by Forley + Grant Architecture.

Proposed Development
 82 Boronia Place, Cheltenham

drawing
 Landscape Plan

client
 HL

date
 May 2022

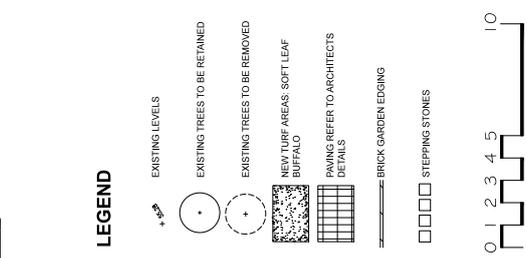
scale
 1:100 @ A1

job.dwg no.
 no. in set

no. in set
 ONE/ONE

designed by
 U

drawn by
 HL



LEGEND

Verify all dimensions on site before commencing construction or ordering materials. Verify the dimensions of all installation. Use figured dimensions in preference to scaled dimensions. Report any discrepancies to the Landscape Architect before work commences.

SCHEDULE OF PLANT MATERIAL

CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	HEIGHT	CONTAINER	STAKES
AAm	<i>Acrocnemum smithii</i> 'Allyn Magic'	Dwarf Lilli Pilli	34	1m	200mm	-
ASH	<i>Acrocnemum smithii</i> 'Hot Flash'	Dwarf Lilli Pilli	5	2m	200mm	-
BE	<i>Banksia oncidifolia</i>	Heath Banksia	10	3m	200mm	-
BB	<i>Banksia integrifolia</i>	Heath Banksia	10	1.5m	200mm	-
BV	<i>Banksia viridula</i>	Heath Myrtle	6	2m	200mm	-
CC	<i>Callistemon citrinus</i>	Bankswort	2	2.5m	200mm	-
DR	<i>Drosera rotundifolia</i>	Bladderwort	65	0.4m	140mm	-
DK	<i>Dichroa repens</i>	Kilnsey Weed	22	prostrate	140mm	-
HT	<i>Hebebronia violacea</i>	Native Staspanilla	46	1m	140mm	-
LL	<i>Lomandra longifolia</i>	Mat Rush	11	0.3m	140mm	-
LS	<i>Lomandra spicata</i>	Native Spade	11	0.3m	140mm	-
SA	<i>Syzygium australe</i> 'Pinnacle'	Dwarf Lilli Pilli	11	3m	200mm	-
VH	<i>Viburnum hederae</i>	Native Violet	35	0.1m	140mm	-

SCHEDULE OF EXISTING TREES

KEY	BOTANICAL NAME	HEIGHT X SPREAD	RETAIN/REMOVE
1.	<i>Carex sempervirens</i>	10 x 4m	Remove
1A.	<i>Thuja plicata</i>	6 x 1m	Remove
2.	<i>Carex sempervirens</i> 'lyonelli'	4 x 2m	Remove
3.	<i>Alnus palustris</i>	3 x 2m	Retain
4.	<i>Alnus palustris</i>	3 x 2m	Retain
5.	<i>Liquidambar styraciflua</i>	12 x 8m	Remove
6.	<i>Alnus palustris</i> 'Alles'	7 x 6m	Retain
6A.	<i>Ulmus glaberrimus</i>	7 x 6m	Retain
6B.	<i>Coronilla gummifera</i>	14 x 8m	Retain
7.	<i>Cornus alantica</i>	12 x 8m	Retain
8.	<i>Alnus palustris</i>	12 x 8m	Retain
9.	<i>Anacardium occidentale</i>	16 x 8m	Retain
10.	<i>Anacardium occidentale</i>	16 x 8m	Retain
11.	<i>Syzygium australe</i>	6 x 2m	Retain
12.	<i>Syzygium australe</i>	6 x 2m	Retain

NOTE: Also refer to Arboricultural Impact Report prepared by Ross Jackson, Jackson Nature Works for Trees No. 1-12.

ATTACHMENT 5 - ITEM 1

ATTACHMENT/S

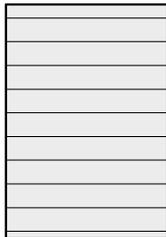
REPORT NO. LPP54/22

ITEM 2

- 1. LOCALITY PLAN**
- 2. ARCHITECTURAL PLANS**
- 3. SHADOW DIAGRAMS**

ATTACHMENT 2 - ITEM 2

Finishes Details



EXTERNAL WALL CLADDING
 TYPE: WEATHERTEX
 STYLE: WEATHERGROOVE 75mm SMOOTH
 COLOUR: DULUX 'LEXICON' [QUARTER WHITE]



COLOUR: DULUX 'LEXICON' [QUARTER WHITE]



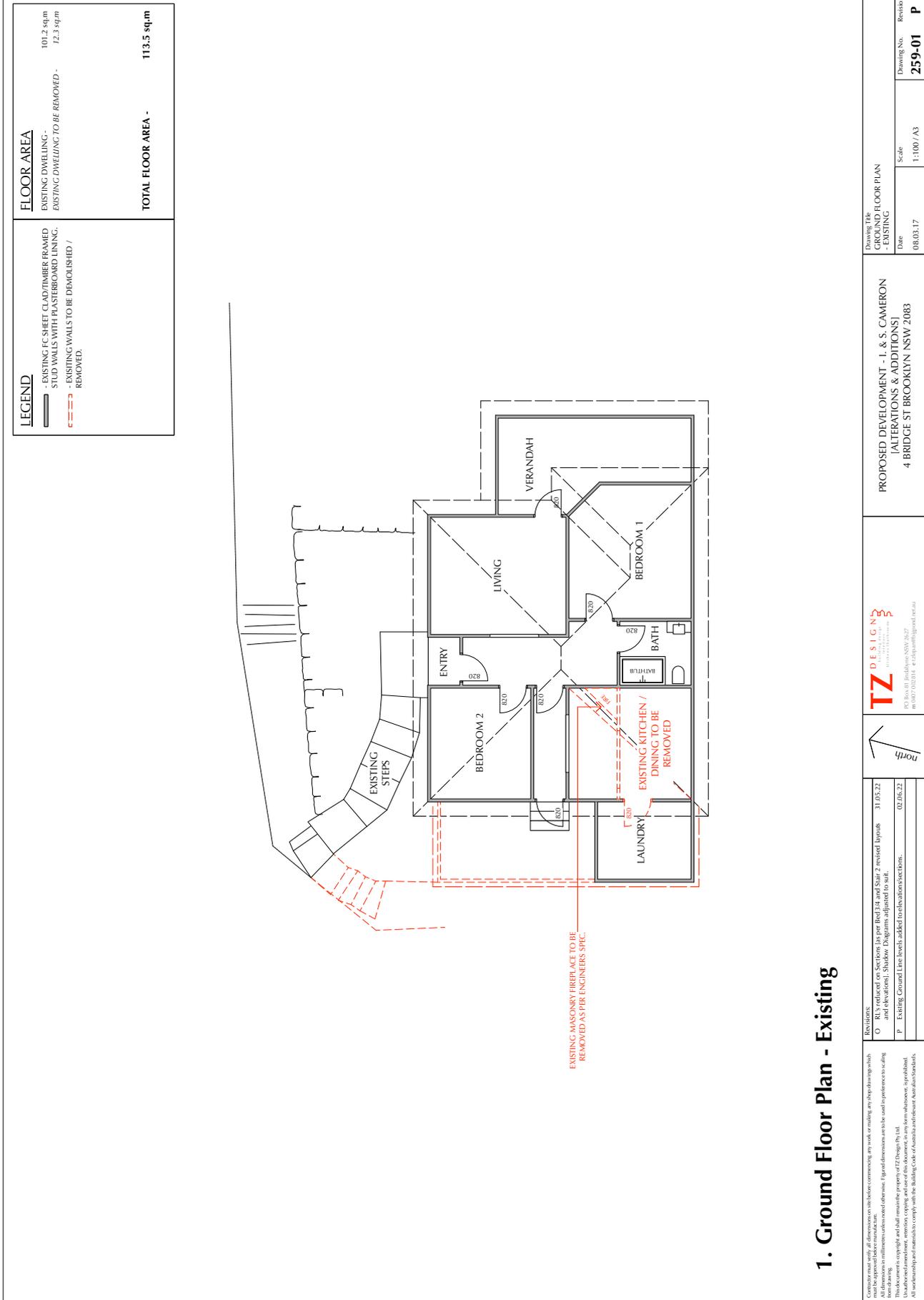
ROOF & GUTTER
 TYPE: COLORBOND
 STYLE: CONTEMPORARY RANGE
 COLOUR: SURFMIST



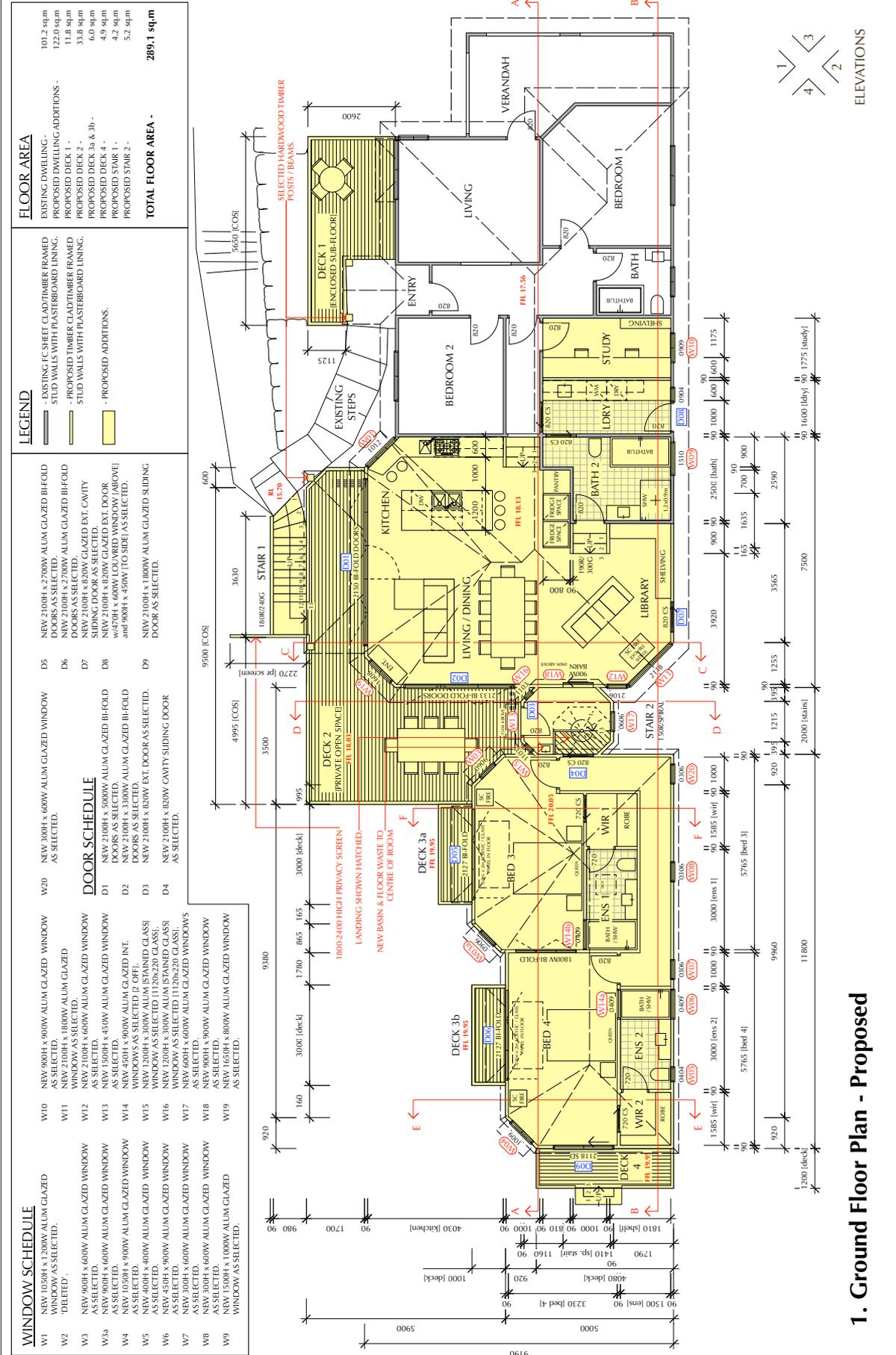
ALUMINIUM WINDOW/DOOR FRAMES
 TYPE: POWDERCOAT
 STYLE: -
 COLOUR: SURFMIST



DECKING
 TYPE: MERBAU HARDWOOD
 STYLE: -
 COLOUR: NATURAL OIL/SEAL FINISH AS SELECTED



ATTACHMENT 2 - ITEM 2



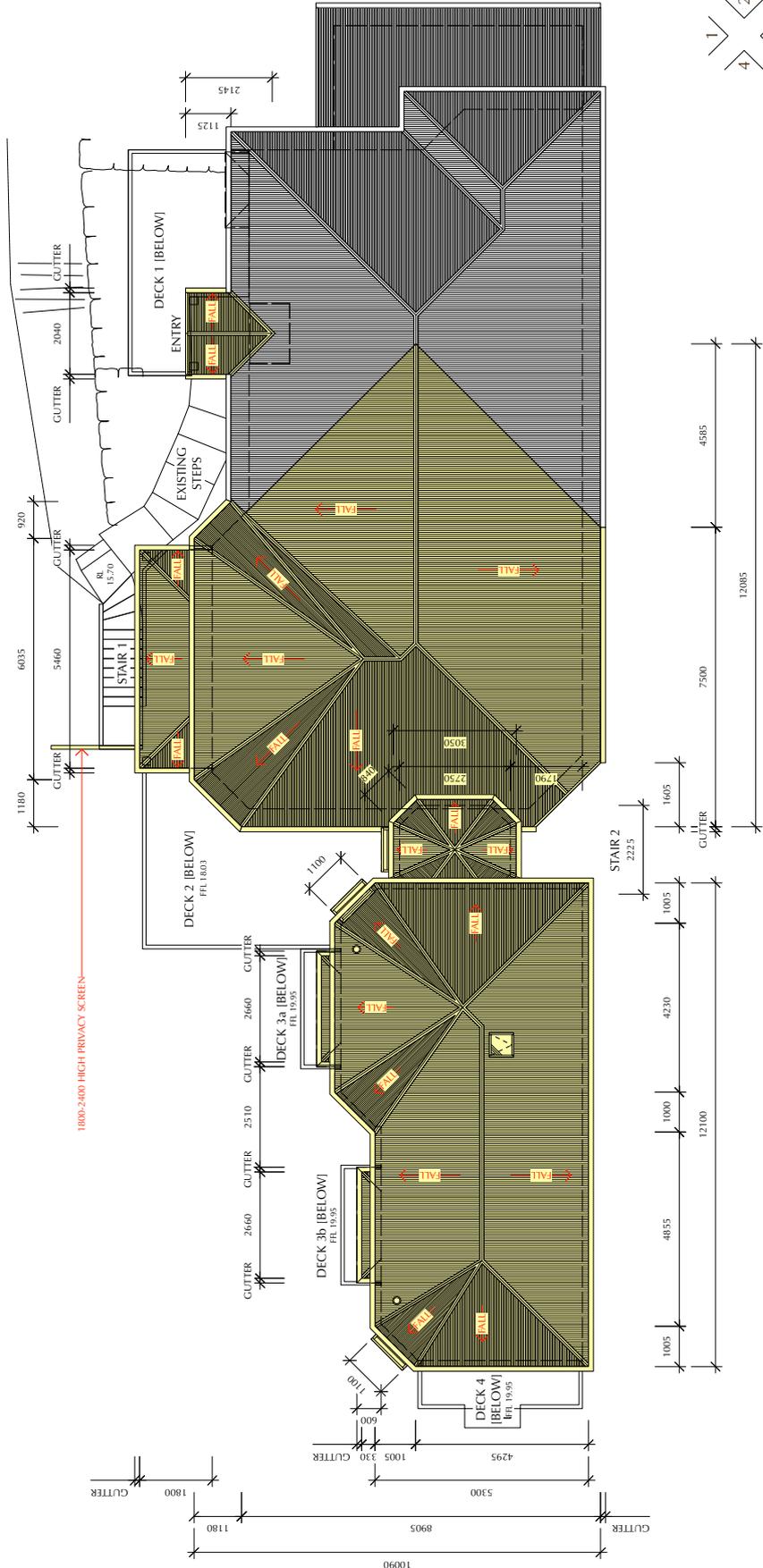
<p>Drawing Title: PROPOSED DEVELOPMENT - I. & S. CAMERON (ALTERATIONS & ADDITIONS) 4 BRIDGE ST BROOKLYN NSW 2083</p>	
Date: 08.03.17	Scale: 1:100 / A3
Drawing No. 259-02	Revision: P

1. Ground Floor Plan - Proposed

Revisions:
 O RLY's reduced on sections (as per Bed 3a and Stair 2 revised layouts and elevations). Shadow Diagrams adjusted to suit.
 P Existing Ground Line levels added to bedrooms sections.

ATTACHMENT 2 - ITEM 2

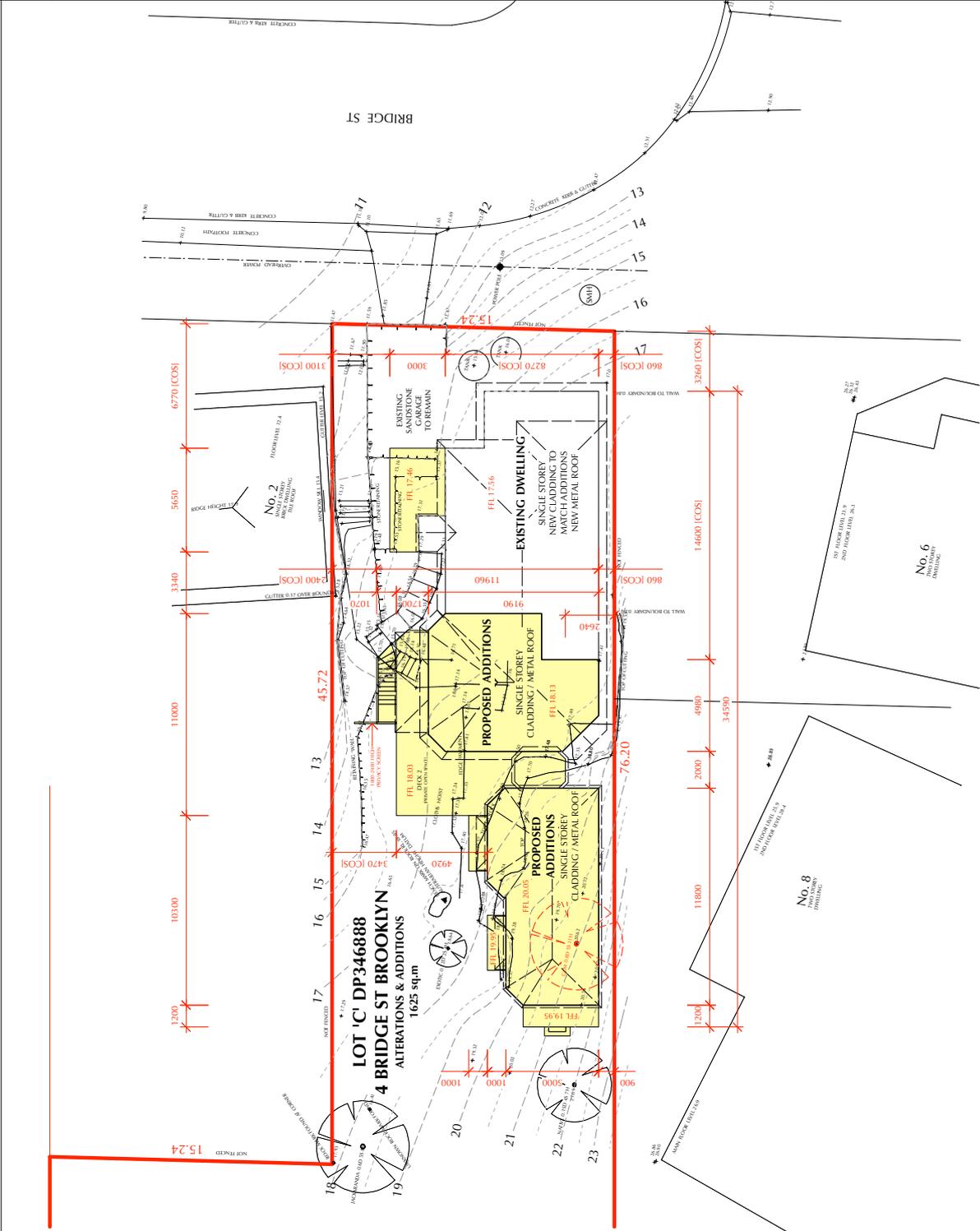
ROOF AREA	
EXISTING DWELING -	90.2 sqm
PROP DWELING ADDITIONS -	95.2 sqm
PROP DWELING ADDITIONS (BED 3 & 4) -	68.9 sqm
PROPOSED ENTRY -	3.5 sqm
PROPOSED DECK 2 -	9.8 sqm
PROPOSED DECK 3 & 4 -	2.6 sqm
PROPOSED STAIR 2 -	6.0 sqm
TOTAL ROOF AREA -	276.2 sqm



1. Roof Plan - Proposed

Drawing Title ROOF PLAN - PROPOSED		Drawing No. 259-03 P	
Date 08.03.17		Scale 1:100 / A3	
Drawing Title PROPOSED DEVELOPMENT - I. & S. CAMERON (ALTERATIONS & ADDITIONS) 4 BRIDGE ST BROOKLYN NSW 2083		Revision P	
Revisions: O - R/LY reflected on sections (as per Bed 2, 3 and Stair 2 revised layouts and elevations). Shadow Diagrams adjusted to suit. P - Existing Ground Line levels added to elevations sections.		Revision 31.05.22 02.06.22	

ATTACHMENT 2 - ITEM 2



Drawing Title SITE PLAN		Drawing No. 259-04	
Date 08.03.17		Scale 1:200 / A3	
Revision P		Date 08.03.17	
PROPOSED DEVELOPMENT - I. & S. CAMERON (ALTERATIONS & ADDITIONS) 4 BRIDGE ST BROOKLYN NSW 2083			

TZ DESIGN
 5/5-10/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000

North

Revisions: O RLY reduced on sections (as per Red 2,4 and Star 2 revised layouts and elevations). Shadow Diagrams adjusted to suit. P Existing Ground line levels added to elevations/sections.	31.05.22 02.06.22
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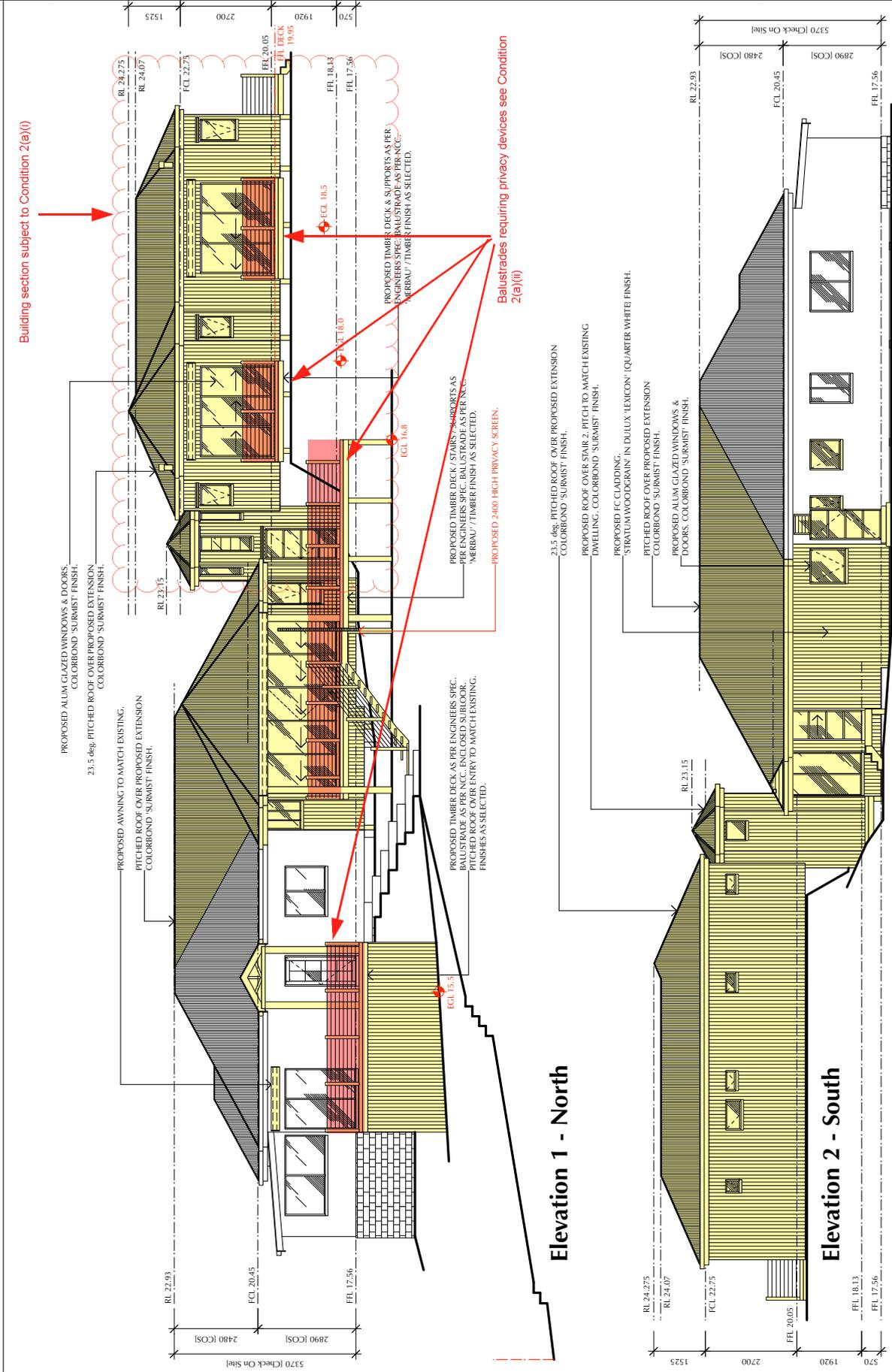
ATTACHMENT 2 - ITEM 2

FLOOR AREA	
TOTAL DWELLING -	218.6 sqm
DECK 1, 2, 3 & 4 -	61.8 sqm
STAIR 1 & 2 -	9.4 sqm
EXISTING GARAGE -	20.0 sqm
TOTAL GROSS FLOOR AREA -	317.8 sqm
SITE AREA -	1625 sqm
TOTAL DWELLING -	219 sqm
FLOOR SPACE RATIO -	0.14:1
TOTAL GROSS FLOOR AREA -	317.8 sqm
DRIVEWAY AREA -	N/A
TOTAL GROUND COVER -	317.8 sqm
SITE COVER -	20%
TOTAL LANDSCAPED AREA -	1323 sqm
SITE RATIO -	80%
PRIVATE OPEN SPACE -	1000 sqm
TOTAL CAR SPACES -	1 car space

LEGEND	
[E]	- ELEC
[WM]	- WATER METER
[SW]	- STORMWATER
[S]	- SEWER
[HW]	- HOT WATER SYSTEM
[T]	- TELSTRA
[H]	- HYDRANT
[G]	- GAS
[P]	- POWER POLE
[T]	- EXISTING TREESHURUBS
[R]	- EXISTING TREESHURUBS TO BE REMOVED

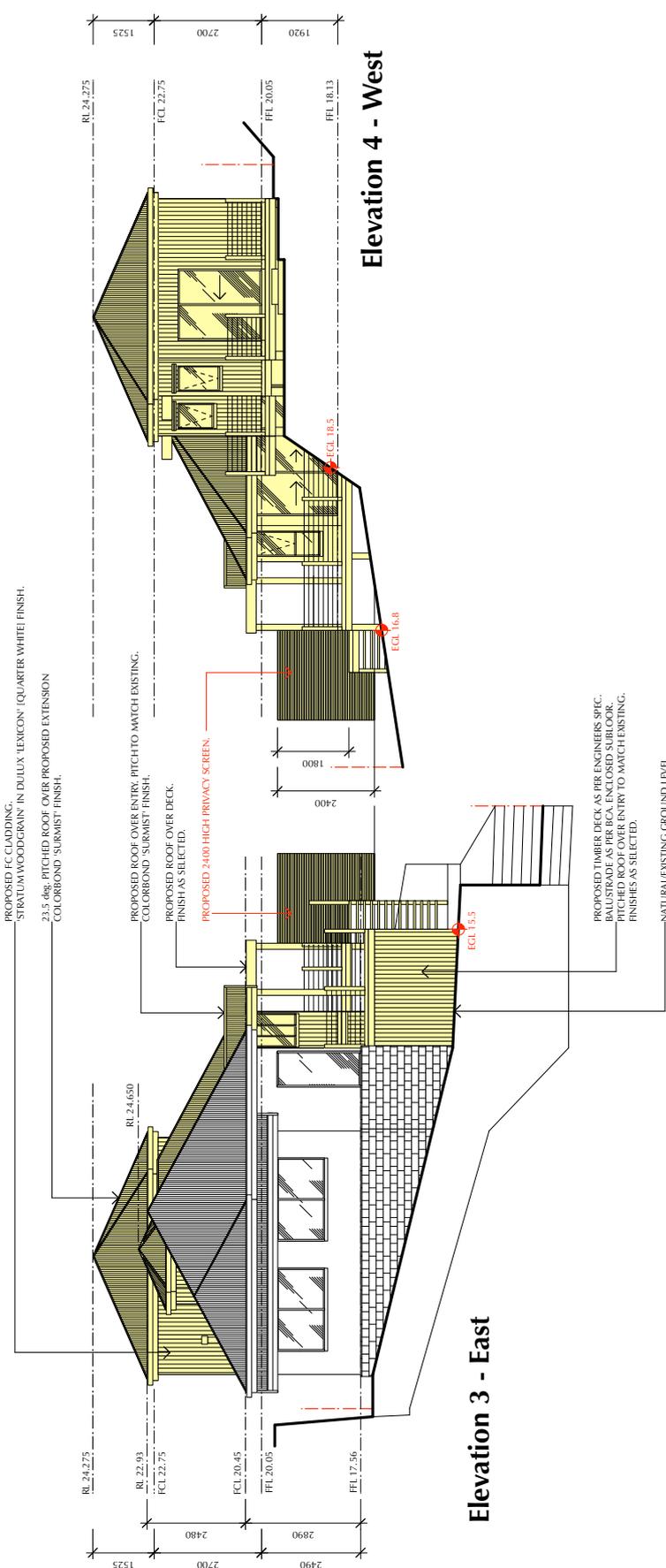
1. Site Plan

Consultor may verify all dimensions on site before commencing any work or making any drawings which must be prepared before construction.
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 It is to be used for the purposes stated above and shall not be used for any other purpose.
 All workmanship and materials to comply with the Building Code of Australia and relevant State standards.



Drawing Title ELEVATIONS 1 & 2	Date 08.03.17	Scale 1:100 / A3	Drawing No. 259-05	Revision P
TZ DESIGN 50/50 Pitt Street, Sydney NSW 2000 PH: 02 9231 8114 E: info@tzdesign.com.au				
Revisions: O R/LY reflected on sections (as per Ref 2,4 and Star 2 revised layouts and elevations). Shadow Diagrams adjusted to suit. P Existing Ground line levels added to elevations/sections.	31.05.22 02.06.22			

ATTACHMENT 2 - ITEM 2



Drawing Title	ELEVATIONS 3 & 4
Date	08.03.17
Scale	1:100 / A3
Drawing No.	259-06
Revision	P

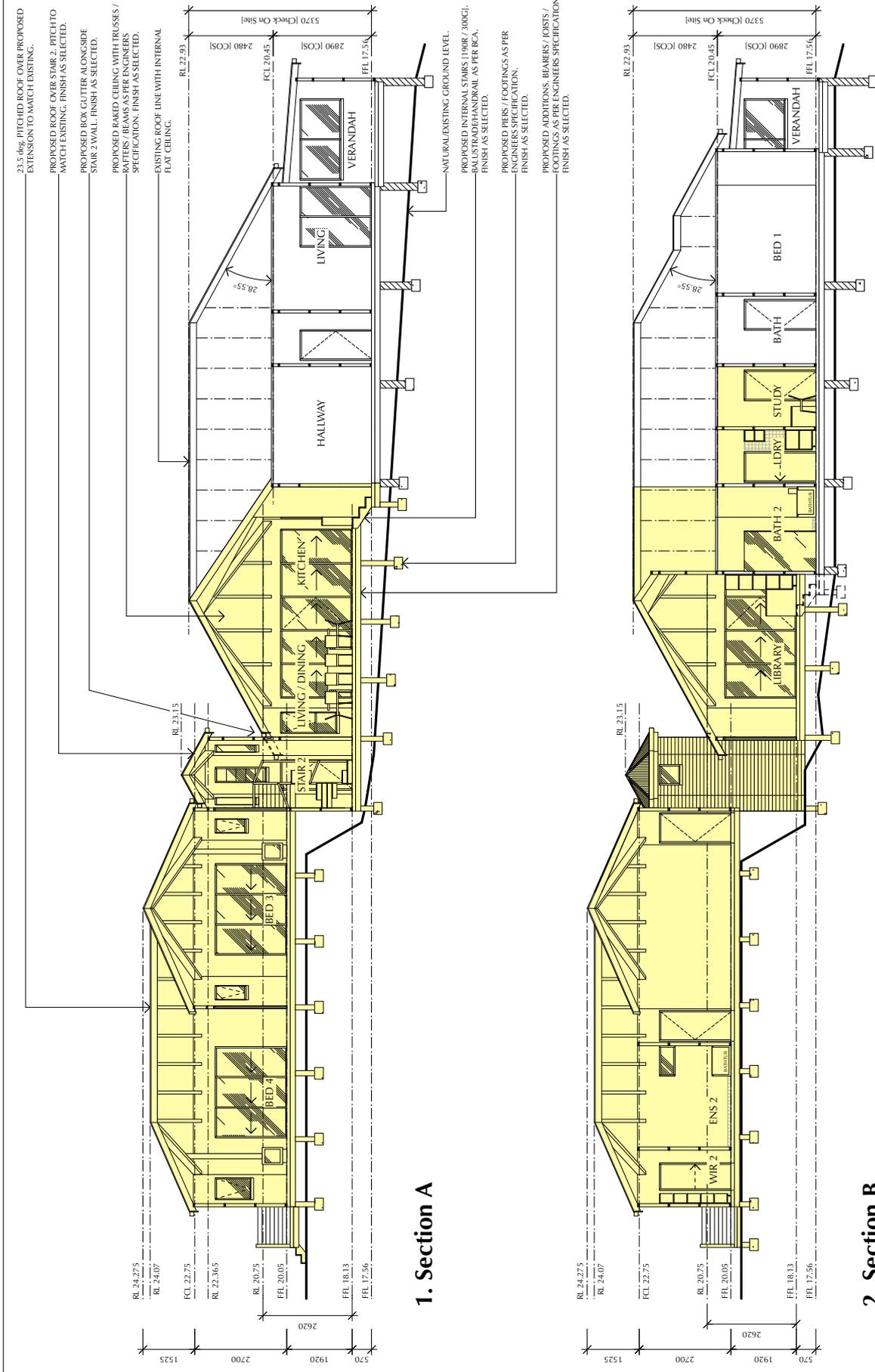
PROPOSED DEVELOPMENT - I. & S. CAMERON
(ALTERATIONS & ADDITIONS)
4 BRIDGE ST BROOKLYN NSW 2083



Revisions:	
O - R/LY reflected on sections (as per Bed 1,4 and Start 2 revised layouts and elevations). Shadow Diagrams adjusted to suit.	31.05.22
P - Existing Ground line levels added to elevations/sections.	02.06.22

Consultor must verify all dimensions on site before commencing any work or making any shop drawings which must be approved before construction.
Figures and dimensions are to be used in preference to scaling from drawing.
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All workmanship and materials to comply with the Building Code of Australia and relevant Australian standards.

ATTACHMENT 2 - ITEM 2



23.5 deg. PITCHED ROOF OVER PROPOSED EXTENSION TO MATCH EXISTING.
 PROPOSED ROOF OVER STAIR 2, RICH TO MATCH EXISTING. FINISH AS SELECTED.
 PROPOSED BOX GUTTER ALONGSIDE STAIR 2 WALL. FINISH AS SELECTED.
 PROPOSED RAKED CEILING WITH TRUSSES / RAFTERS. FINISH AS SELECTED.
 EXISTING ROOF LINE WITH INTERNAL FLAT CEILING.
 RL 24.275
 RL 24.07
 FCL 22.75
 RL 22.365
 RL 20.75
 FFL 20.05
 FFL 18.13
 FFL 17.56
 2620
 1525
 2700
 1920
 570

1. Section A

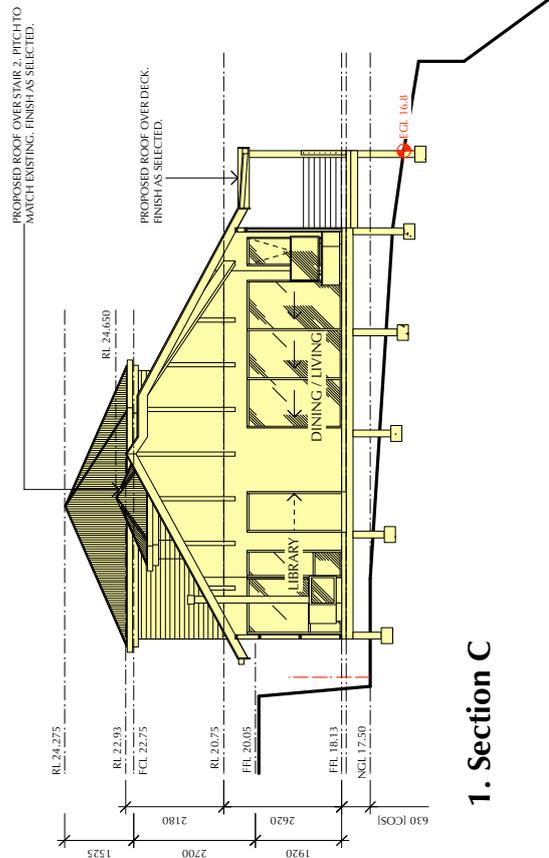
RL 24.275
 RL 24.07
 FCL 22.75
 RL 20.75
 FFL 20.05
 FFL 18.13
 FFL 17.56
 2620
 1525
 2700
 1920
 570

2. Section B

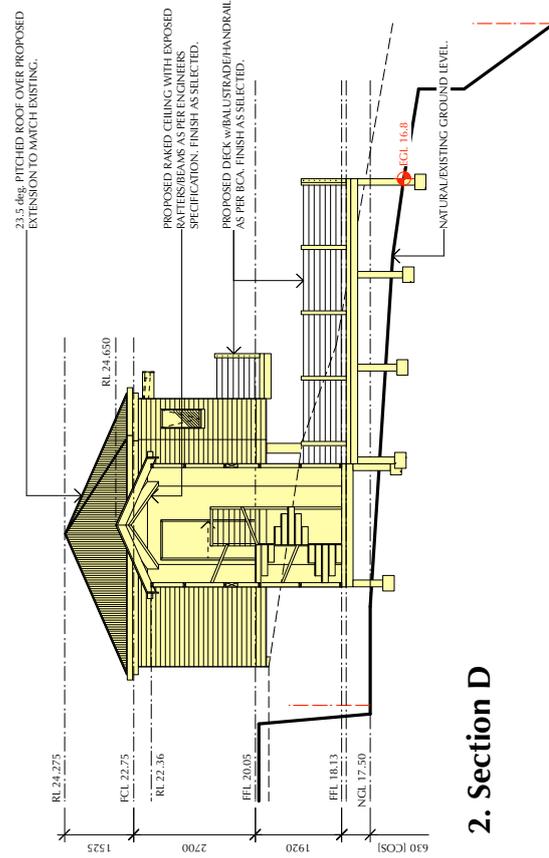
NATURAL/EXISTING GROUND LEVEL.
 PROPOSED INTERNAL STAIRS (100R / 300G). FINISH AS SELECTED.
 PROPOSED PIERS / FOOTINGS AS PER ENGINEERS SPECIFICATION. FINISH AS SELECTED.
 PROPOSED ADDITIONS, BEARERS / JOISTS / FOOTINGS AS PER ENGINEERS SPECIFICATION. FINISH AS SELECTED.

Drawing Title SECTIONS A & B		Date 08.03.17	Scale 1:100 / A3	Drawing No. 259-07	Revision P
PROPOSED DEVELOPMENT - I. & S. CAMERON (ALTERATIONS & ADDITIONS) 4 BRIDGE ST BROOKLYN NSW 2083		Revision 08.03.17			
TZDESIGN 50 Pitt Street, Sydney NSW Ph: 02 9231 4111 e: info@tzdesign.com.au		Revision 02.06.22			
Revisions: O RLY reduced on sections (as per Bed 3,4 and Stair 2 revised layouts and elevations). Shadow Diagrams adjusted to suit. P Existing Ground line levels added to elevations/sections.		Revision 31.05.22			
Contractor note: verify all dimensions on site before commencing any work or making any shop drawings which must be approved by the council. This document is copyright and shall remain the property of TZ Design Pty Ltd. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of TZ Design Pty Ltd. All workmanship and materials to comply with the Building Code of Australia and relevant Australian standards.		Revision 02.06.22			

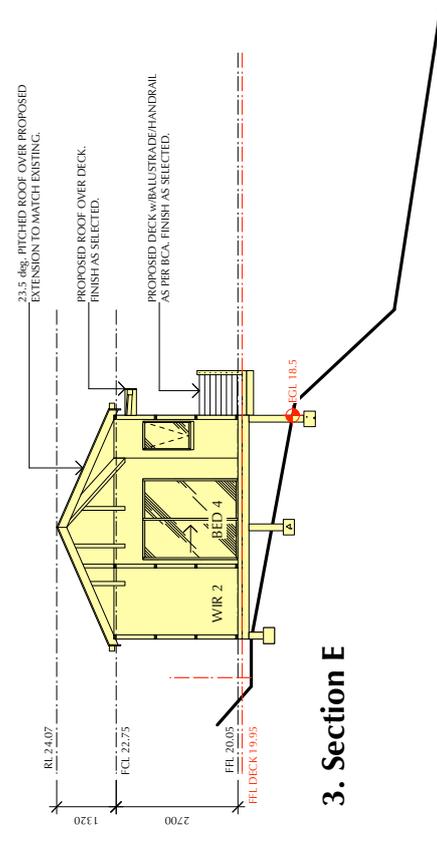
ATTACHMENT 2 - ITEM 2



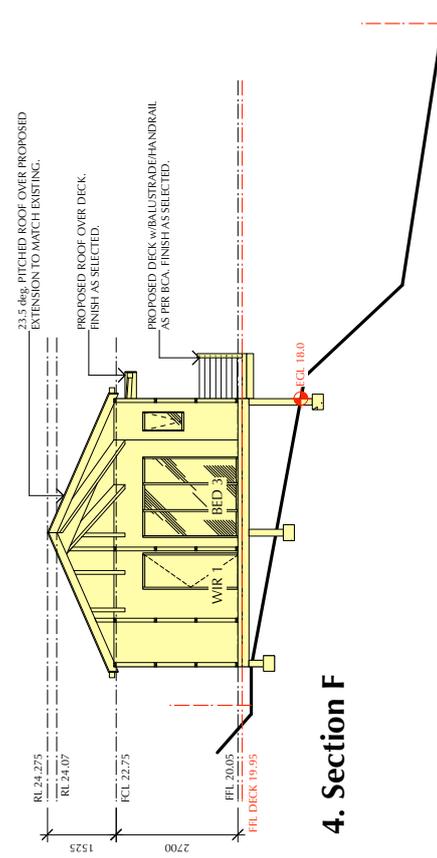
1. Section C



2. Section D



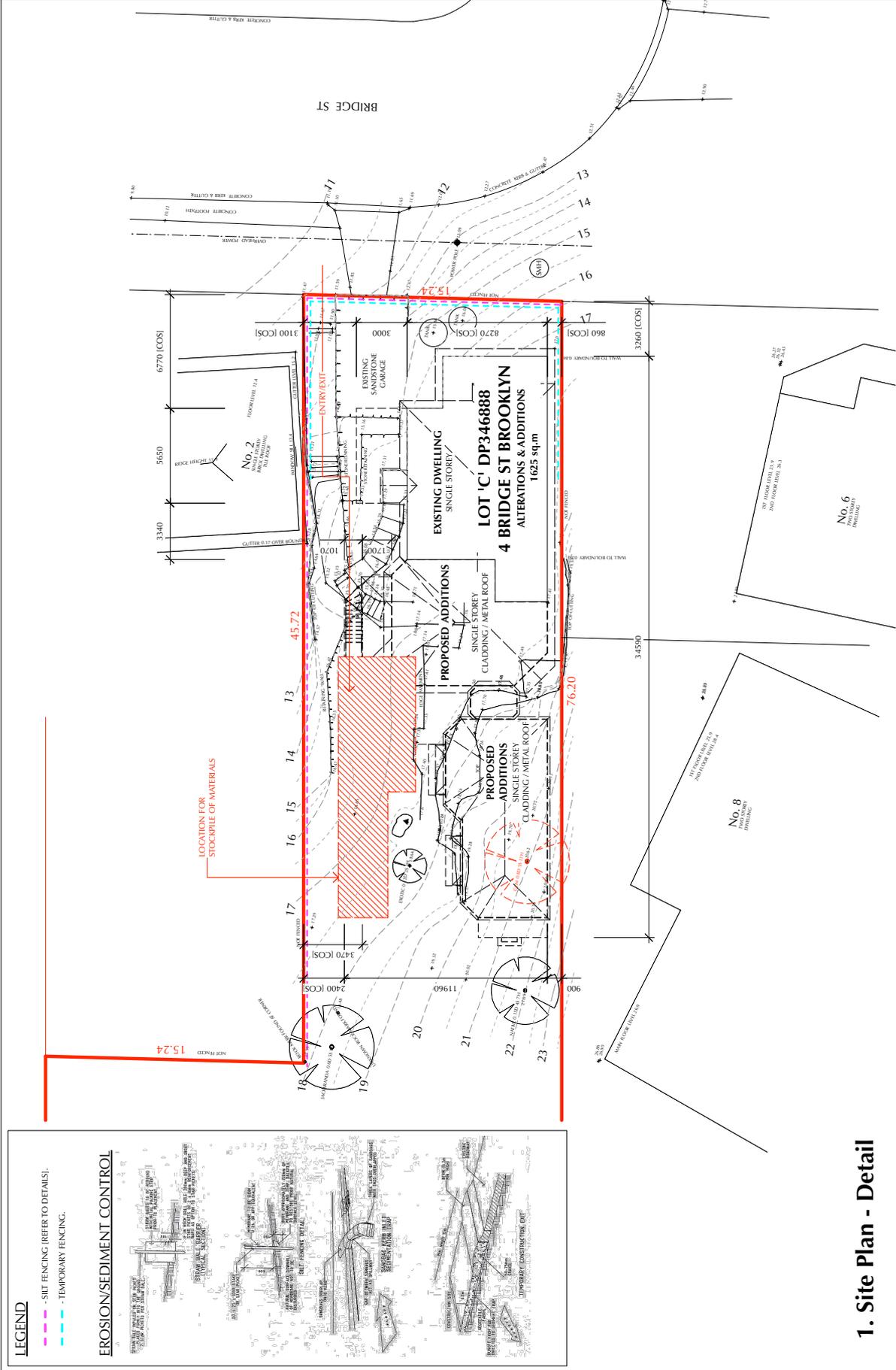
3. Section E



4. Section F

<p>Consultor must verify all dimensions and levels before commencing any work or making any drawings which must be approved before construction.</p> <p>Dimensions and levels are to be taken from the finished ground level unless otherwise stated. Elevation markers are to be used in preference to ceiling levels.</p> <p>Thicknesses of walls and slabs are the property of T2 Design Pty Ltd.</p> <p>Dimensions and levels are to be taken from the finished ground level unless otherwise stated. Elevation markers are to be used in preference to ceiling levels.</p> <p>All workmanship and materials to comply with the Building Code of Australia and relevant Australian Standards.</p>	<p>Revisions:</p> <p>O - R/LY reduced on sections (as per Bed 3,4 and Stair 2 revised layouts and elevations). Shadow Diagrams adjusted to suit.</p> <p>P - Existing Ground Line levels added to elevations/sections.</p>	<p>TZ DESIGN</p> <p>50, Macquarie Street, Sydney NSW 2000 ph: 02 9231 8111 e: t2design@t2design.com.au</p>	<p>Drawing Title: SECTIONS C & D</p> <p>Date: 08.03.17</p> <p>Scale: 1:100 / A3</p> <p>Drawing No.: 259-08</p> <p>Revision: P</p>
	<p>PROPOSED DEVELOPMENT - I & S. CAMERON (ALTERATIONS & ADDITIONS)</p> <p>4 BRIDGE ST BROOKLYN NSW 2083</p>	<p>31.05.22</p> <p>02.06.22</p>	<p>31.05.22</p> <p>02.06.22</p>

ATTACHMENT 2 - ITEM 2

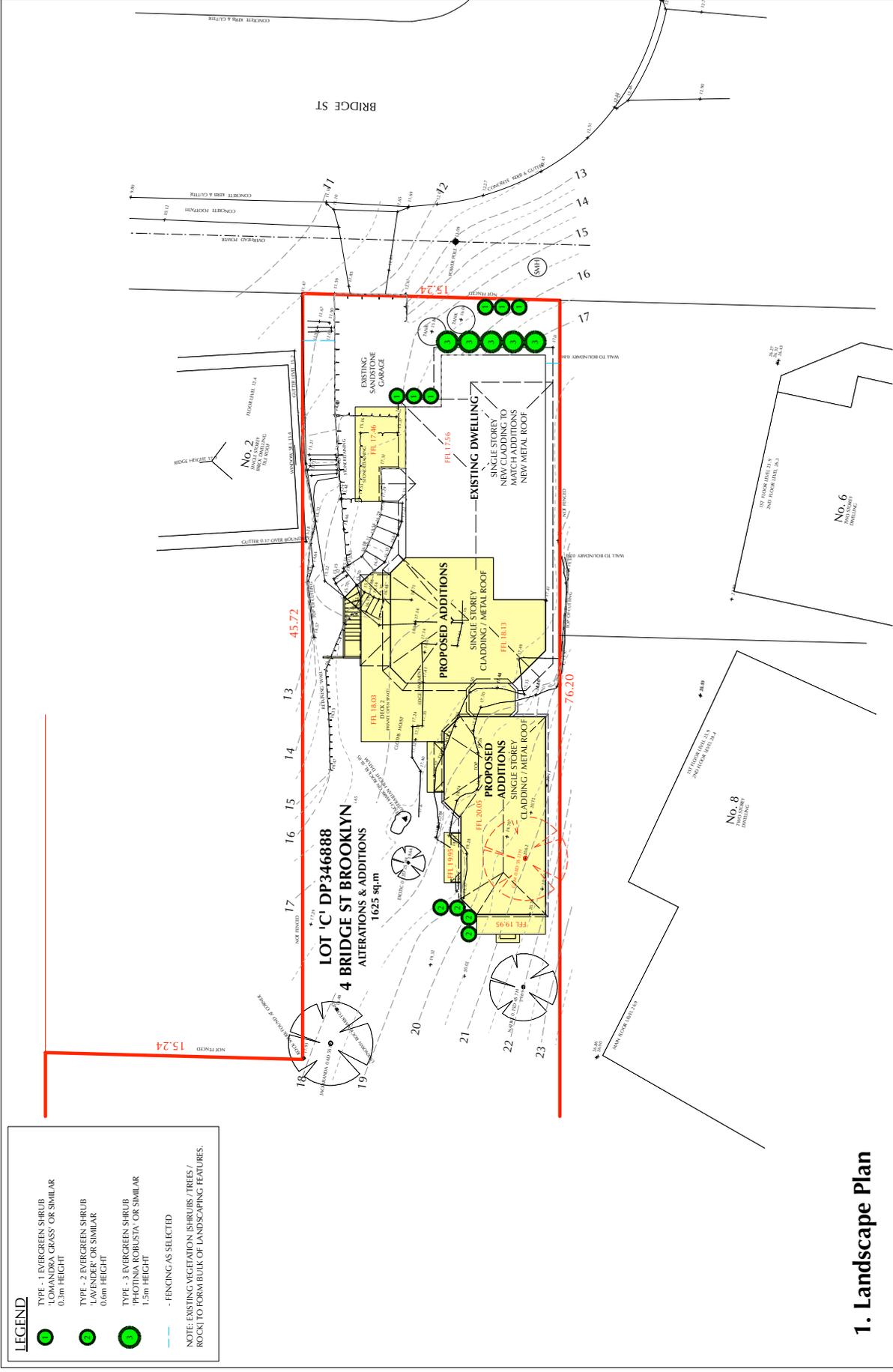


Drawing Title SITE PLAN - DETAIL		Drawing No. 259-09	
Date 08.03.17		Scale 1:200 / A3	
Revisions O RLY's revised on sections (as per Ref 2, 4 and Start 2 revised layout and elevations). Shadow Diagrams adjusted to suit. P Existing Ground line levels added to elevations/sections.		Proposed Development - I. & S. CAMERON (ALTERATIONS & ADDITIONS) 4 BRIDGE ST BROOKLYN NSW 2083	



1. Site Plan - Detail

ATTACHMENT 2 - ITEM 2



LEGEND

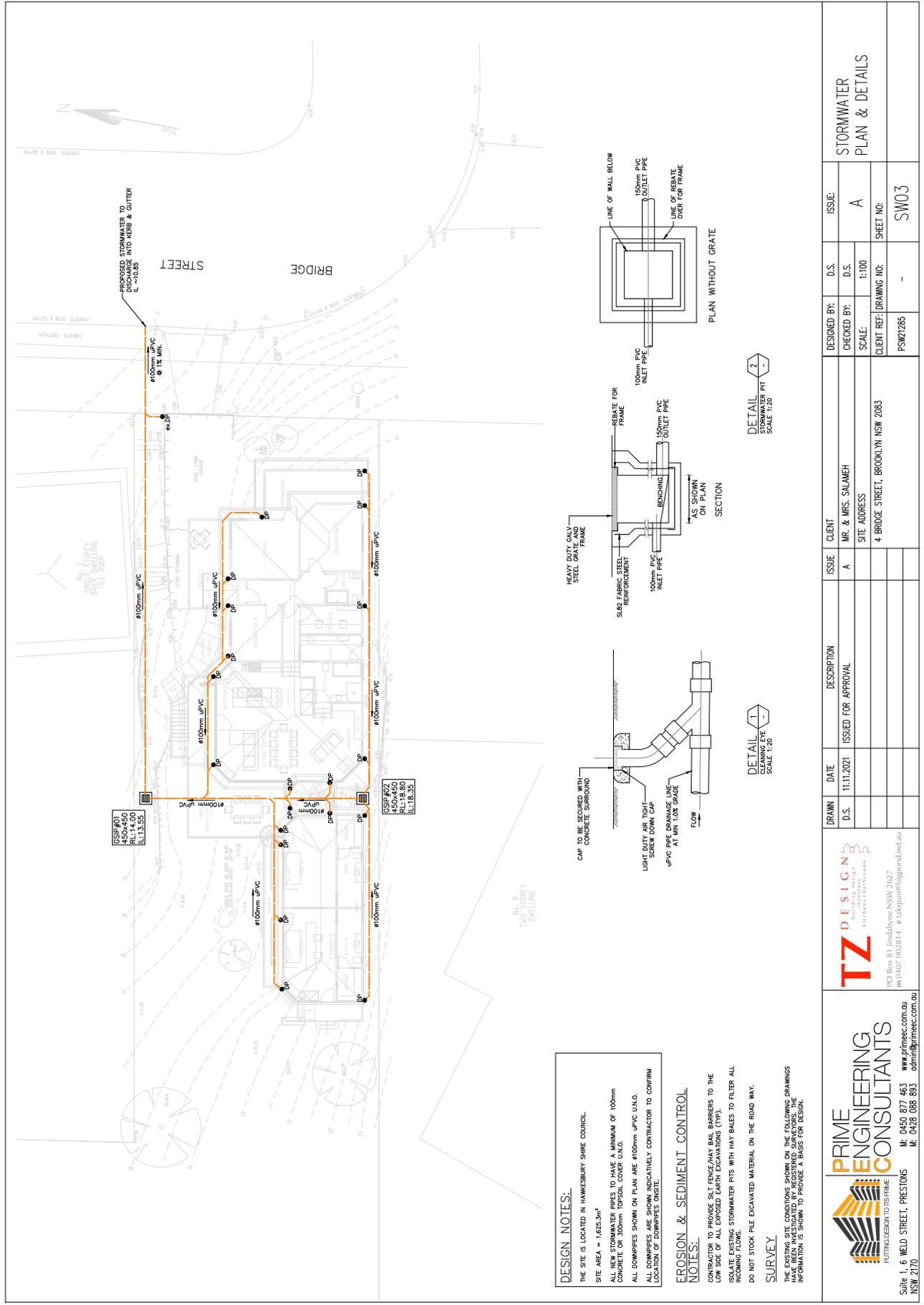
- TYPE - 1 EVERGREEN SHRUB
GUMBAK, GRASS OR SIMILAR
0.3m HEIGHT
- TYPE - 2 EVERGREEN SHRUB
LAVENDER OR SIMILAR
0.6m HEIGHT
- TYPE - 3 EVERGREEN SHRUB
PHOTINIA KOBUSIA OR SIMILAR
1.5m HEIGHT
- FENCING AS SELECTED

NOTE: EXISTING VEGETATION (SHRUBS / TREES / ROCK) TO FORM BULK OF LANDSCAPING FEATURES.

1. Landscape Plan

Revisions: O RLY reduced on sections (as per Red 2,4 and Start 2 revised layouts and elevations). Shadow Diagrams adjusted to suit. P Existing Ground line levels added to elevations sections.	31.05.22
	02.06.22
TZ DESIGN 55/56 Pitt Street, Sydney NSW 1510 Ph: 02 9231 0211 E: tzdesign@optusnet.com.au	
PROPOSED DEVELOPMENT - I & S. CAMERON (ALTERATIONS & ADDITIONS) 4 BRIDGE ST BROOKLYN NSW 2083	
Drawing Title LANDSCAPE PLAN	Drawing No. 259-10 P
Date 08.03.17	Scale 1:200 / A3

ATTACHMENT 2 - ITEM 2



DESIGN NOTES:
 THE SITE IS LOCATED IN HAWKESBURY SHIRE COUNCIL
 SITE AREA = 1425.3m²
 ALL NEW STORMWATER PIPES TO HAVE A MINIMUM OF 100mm CONCRETE OR 300mm TOPSOIL COVER (T.O.C).
 ALL DOWNPIPES SHOWN ON PLAN ARE #100mm uPVC U.N.O.
 ALL DOWNPIPES ARE SHOWN INDICATIVELY CONTRACTOR TO CONFIRM LOCATION OF DOWNPIPES ON SITE.

EROSION & SEDIMENT CONTROL NOTES:
 CONTRACTOR TO PROVIDE SILT FENCE/MAY BALE BARRIERS TO THE LOW SIDE OF ALL EXPOSED EARTH EXCAVATIONS (TYP).
 ISOLATE EXISTING STORMWATER PITS WITH MAY BALES TO FILTER ALL INCOMING FLOWS.
 DO NOT STOCK PILE EXCAVATED MATERIAL ON THE ROAD WAY.

SURVEY
 THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS ARE BASED ON THE SURVEY INFORMATION PROVIDED TO PRIME ENGINEERING CONSULTANTS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN.

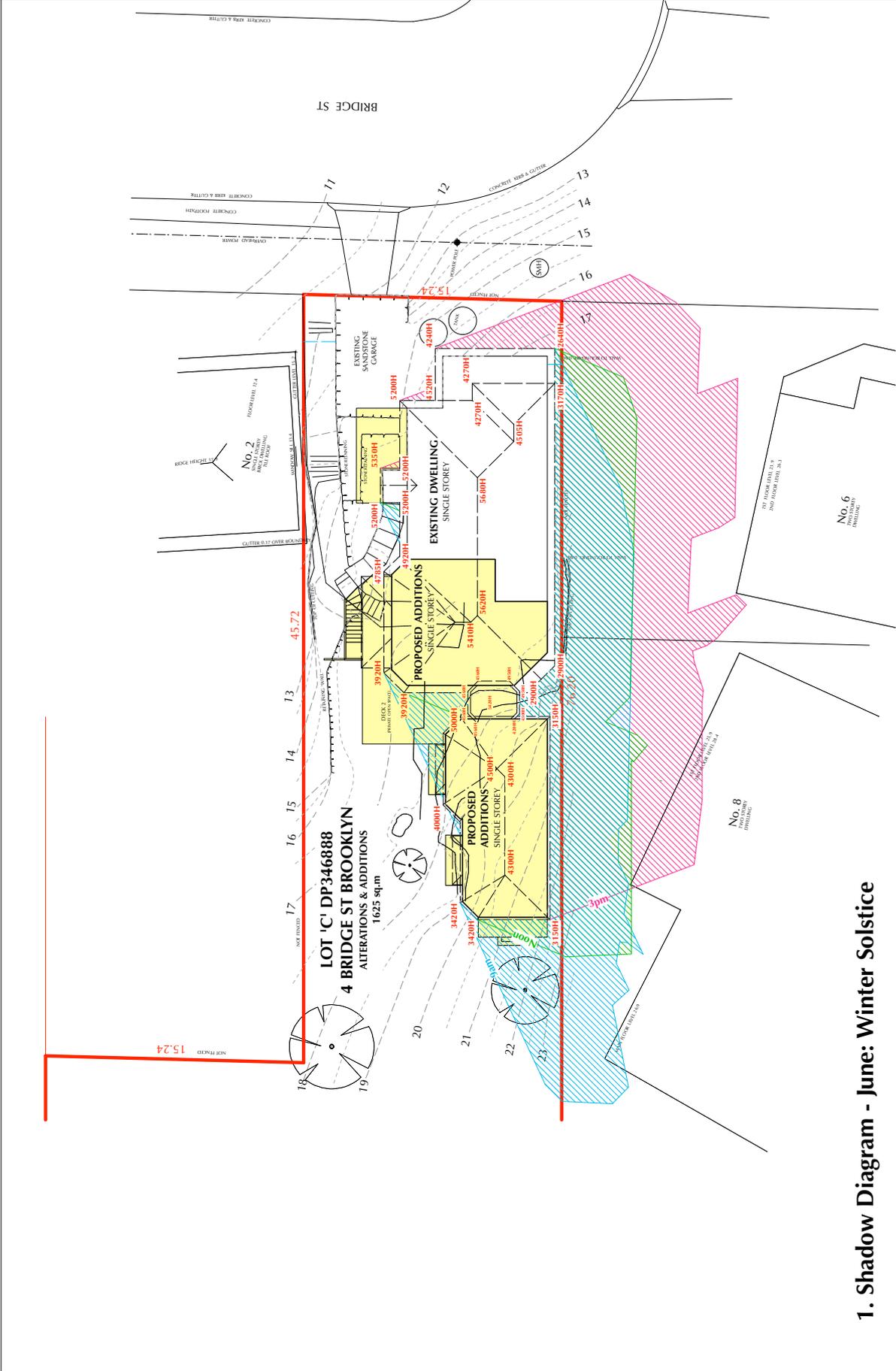
PRIME ENGINEERING CONSULTANTS
 PUTTING DESIGN TO USE
 Suite 1, 6 WELD STREET, PRESTONS NSW 2170
 M: 0450 877 463 www.primeec.com.au
 M: 0428 688 893 admin@primeec.com.au

TZ DESIGN
 ARCHITECTURE & INTERIORS
 PO Box 81 Jindabyne NSW 2627
 m 0407 002814 e tzk@tzdesign.net.au

DRAWN	DATE	DESCRIPTION	ISSUE	CLIENT	DESIGNED BY:	D.S.	ISSUE:
D.S.	11.11.2021	ISSUED FOR APPROVAL	A	MR. & MRS. SALAMEH	CHECKED BY:	D.S.	A
				4 BRIDGE STREET, BROOKLYN NSW 2083	SCALE:	1:100	
					CLIENT REF: DRAWING NO:		SHEET NO:
					PSW/2285		SW03

STORMWATER PLAN & DETAILS

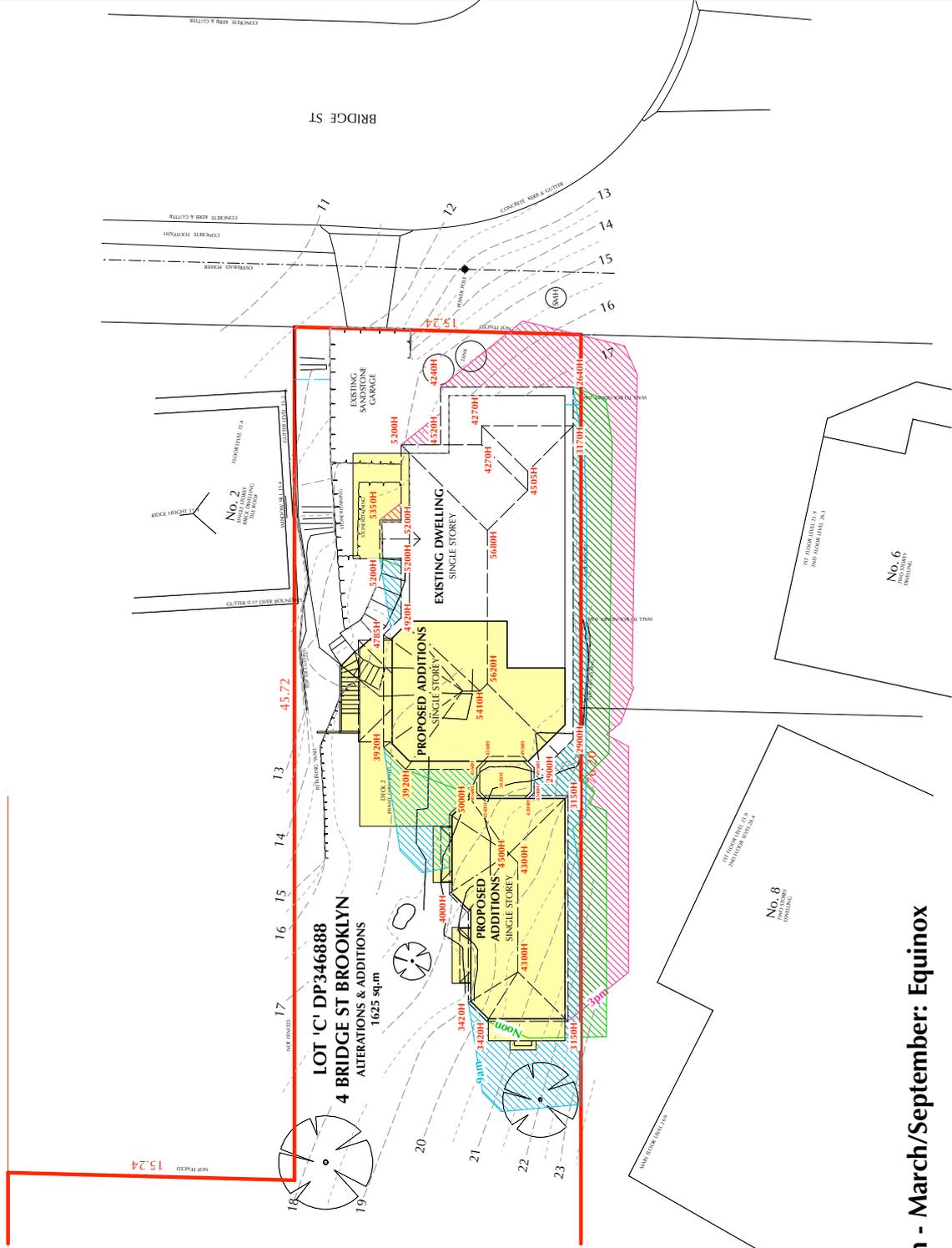
ATTACHMENT 2 - ITEM 2



1. Shadow Diagram - June: Winter Solstice

<p>Computer made only. All dimensions are below commencing any work or making any shop drawings which must be approved before construction.</p> <p>Figured dimensions are to be used in preference to scaling from drawings.</p> <p>Thicknesses comply and shall constitute the property of T2 Design Pty Ltd.</p> <p>All workmanship and materials to comply with the Building Code of Australia and relevant Australian Standards.</p>		<p>Revisions:</p> <p>O R/LY reduced on sections (as per Red 2,4 and Start 2 revised layouts and elevations). Shadow Diagrams adjusted to suit.</p> <p>P Existing Ground line levels added to elevations/sections.</p>	<p>31.05.22</p> <p>02.06.22</p>	<p>DESIGN</p> <p>50, The Old Brickworks, NSW 1587 Ph: 02 9379 0211 E: info@t2design.com.au</p>	<p>PROPOSED DEVELOPMENT - I. & S. CAMERON (ALTERATIONS & ADDITIONS) 4 BRIDGE ST BROOKLYN NSW 2083</p>	<p>Drawing Title SHADOW DIAGRAM - JUNE: WINTER SOLSTICE</p>	<p>Date 08.03.17</p>	<p>Scale 1:200 / A3</p>	<p>Drawing No. 259-12</p>	<p>Revision P</p>
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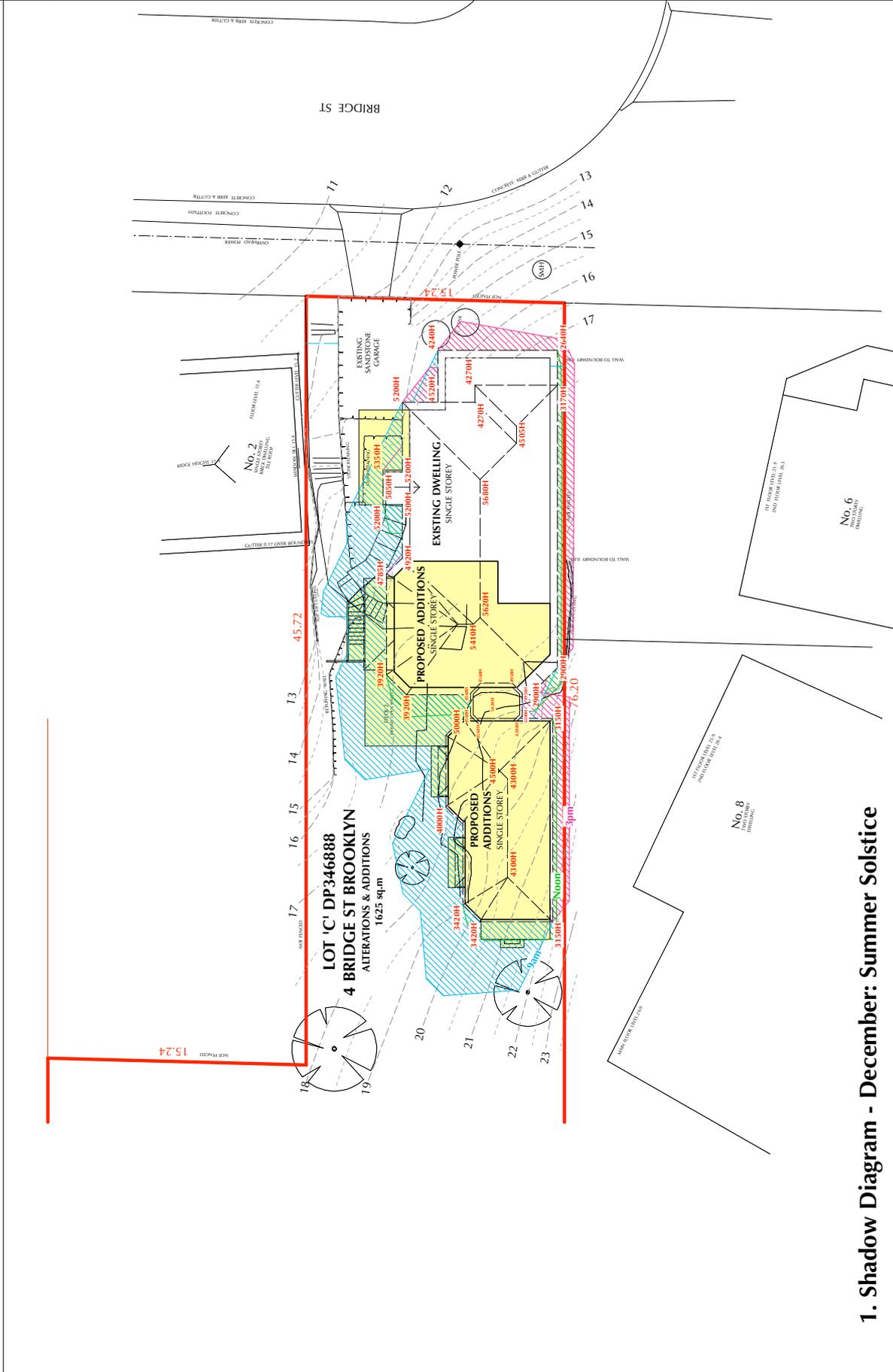
ATTACHMENT 3 - ITEM 2



1. Shadow Diagram - March/September: Equinox

Revisions: O RLY reduced on sections 1a per Bed 2,4 and Start 2 revised layouts and elevations; Shadow Diagrams adjusted to suit. P Existing Ground line levels added to elevations/sections.	31.05.22	31.05.22	Drawing Title: SHADOW DIAGRAM - MARCH/SEPTEMBER: EQUINOX
	02.06.22	02.06.22	Date: 08.03.17
1625 sq.m LOT 'C' DP346888 4 BRIDGE ST BROOKLYN ALTERATIONS & ADDITIONS		PROPOSED DEVELOPMENT - I. & S. CAMERON (ALTERATIONS & ADDITIONS) 4 BRIDGE ST BROOKLYN NSW 2083	
T Z DESIGN 55/56 BRIDGE ST BROOKLYN NSW 2083 PH: 02 9339 3311 E: t.zdesign@tandem.net.au		Scale: 1:200 / A3	Drawing No.: 259-13
		Date: 08.03.17	Revision: P

ATTACHMENT 3 - ITEM 2



1. Shadow Diagram - December: Summer Solstice

Revisions: O RLY reduced on sections 1a per Bed 2,4 and Start 2 revised layouts and elevations; Shadow Diagrams adjusted to suit. P Existing Ground line levels added to elevations/sections.	31.05.22
	02.06.22
TZ DESIGN 50, The City Arcade, NSW 1587 PH: 02 9339 8311 E: t.zdesign@optusnet.com.au	
PROPOSED DEVELOPMENT - I. & S. CAMERON (ALTERATIONS & ADDITIONS) 4 BRIDGE ST BROOKLYN NSW 2083	
Drawing Title SHADOW DIAGRAM - DECEMBER, SUMMER SOLSTICE	Drawing No. 259-14 P
Date 08.03.17	Scale 1:200 / A3

ATTACHMENT 3 - ITEM 2