

370 PENNANT HILLS RD, PENNANT HILLS

ARCHITECTURE DRAWINGS - DEVELOPMENT APPLICATION

DRAWING LIST

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ABBREVIATION KEY

AC	AIR CONDITIONER
BAL	BALUSTRADE
BAL-G	BALUSTRADE GLASS
BCA	BUILDING CODE OF AUSTRALIA
BO-T	BOLLARD - TRAFFIC
BY	BICYCLE
CONC	CONCRETE
ENS	ENSUITE
EX	EXISTING
FEN	FENCE
FL	FLOOR LEVEL (FINISHED)
FSR	FLOOR SPACE RATIO
GC	GARBAGE CHUTE
GFA	GROSS FLOOR AREA
HR	HANDRAIL
LDRY	LAUNDRY
MC	MOTORCYCLE SPACE
RES	RESIDENTIAL PARKING
RL	REDUCED LEVEL
SC	STORAGE CAGE
SC-O	STORAGE CAGE - OVERHEAD
SKL	SKYLIGHT
TOW	TOP OF WALL
Txx	TREE NUMBER (REFER TO ARBORIST REPORT)
W-H	HIGHLIGHT WINDOW
x BR APT	NO. BEDROOM APARTMENT

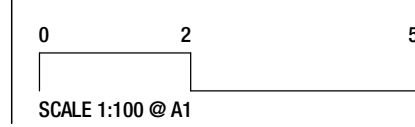


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1	ISSUE FOR DA	CA	13/05/22
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Notes

Legend

Key Plan



Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title
COVER SHEET

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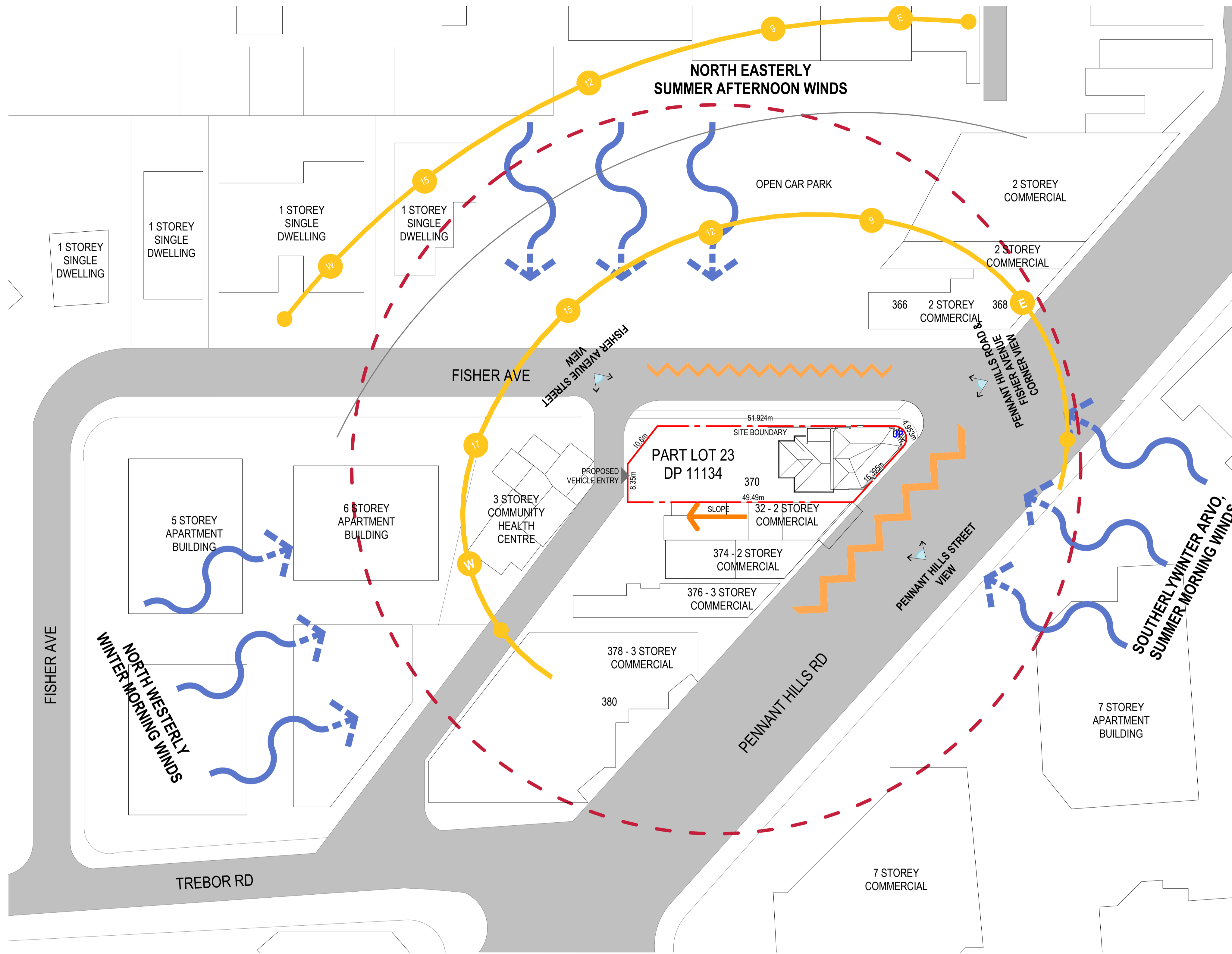
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Nominated Architects
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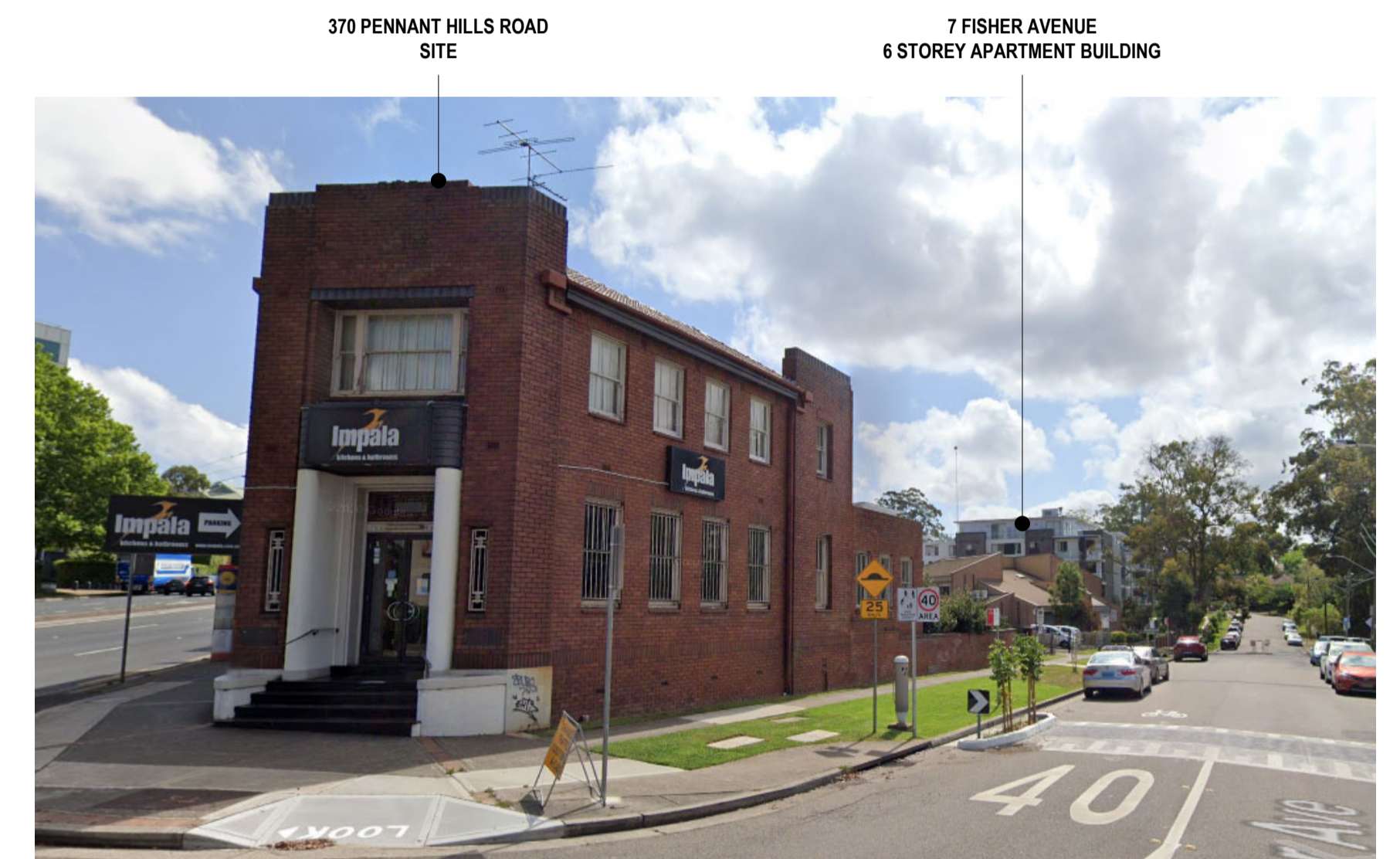
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1 SITE ANALYSIS PLAN



PENNANT HILLS ROAD STREET VIEW



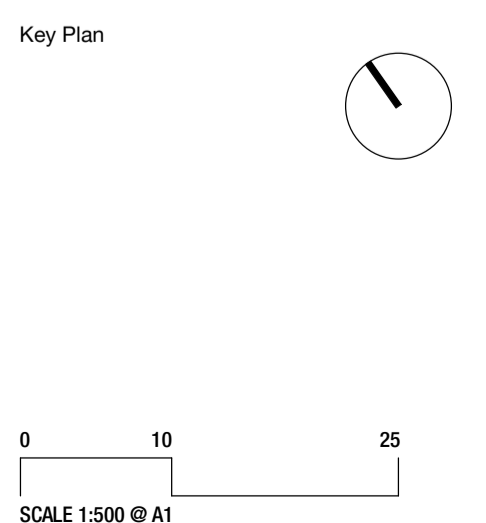
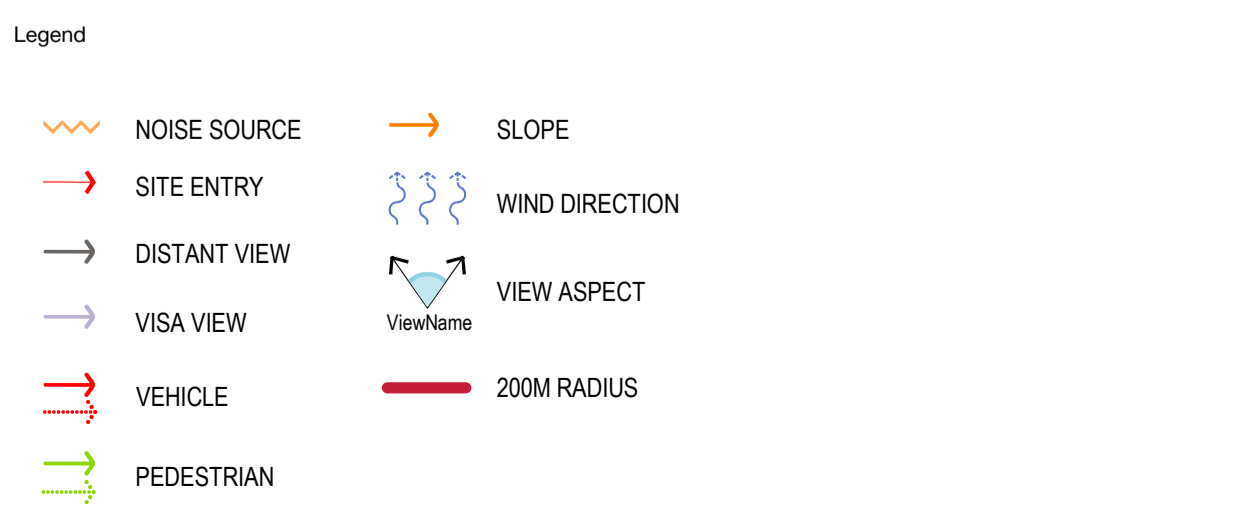
PENNANT HILLS ROAD & FISHER AVENUE CORNER VIEW



FISHER AVENUE STREET VIEW

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Legend	
	NOISE SOURCE
	SITE ENTRY
	DISTANT VIEW
	VISA VIEW
	VEHICLE
	PEDESTRIAN
	SLOPE
	WIND DIRECTION
	VIEW ASPECT
	200M RADIUS



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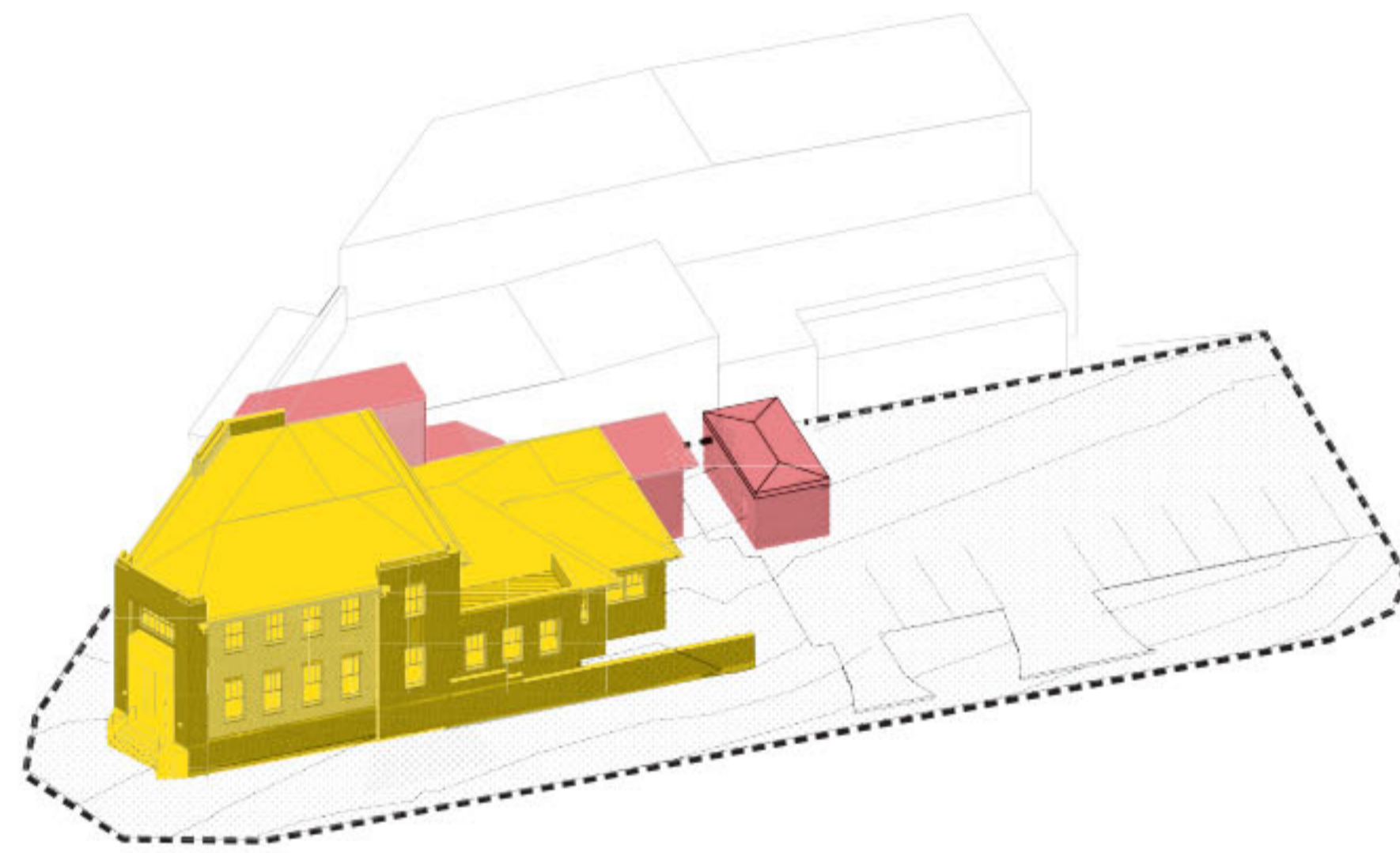
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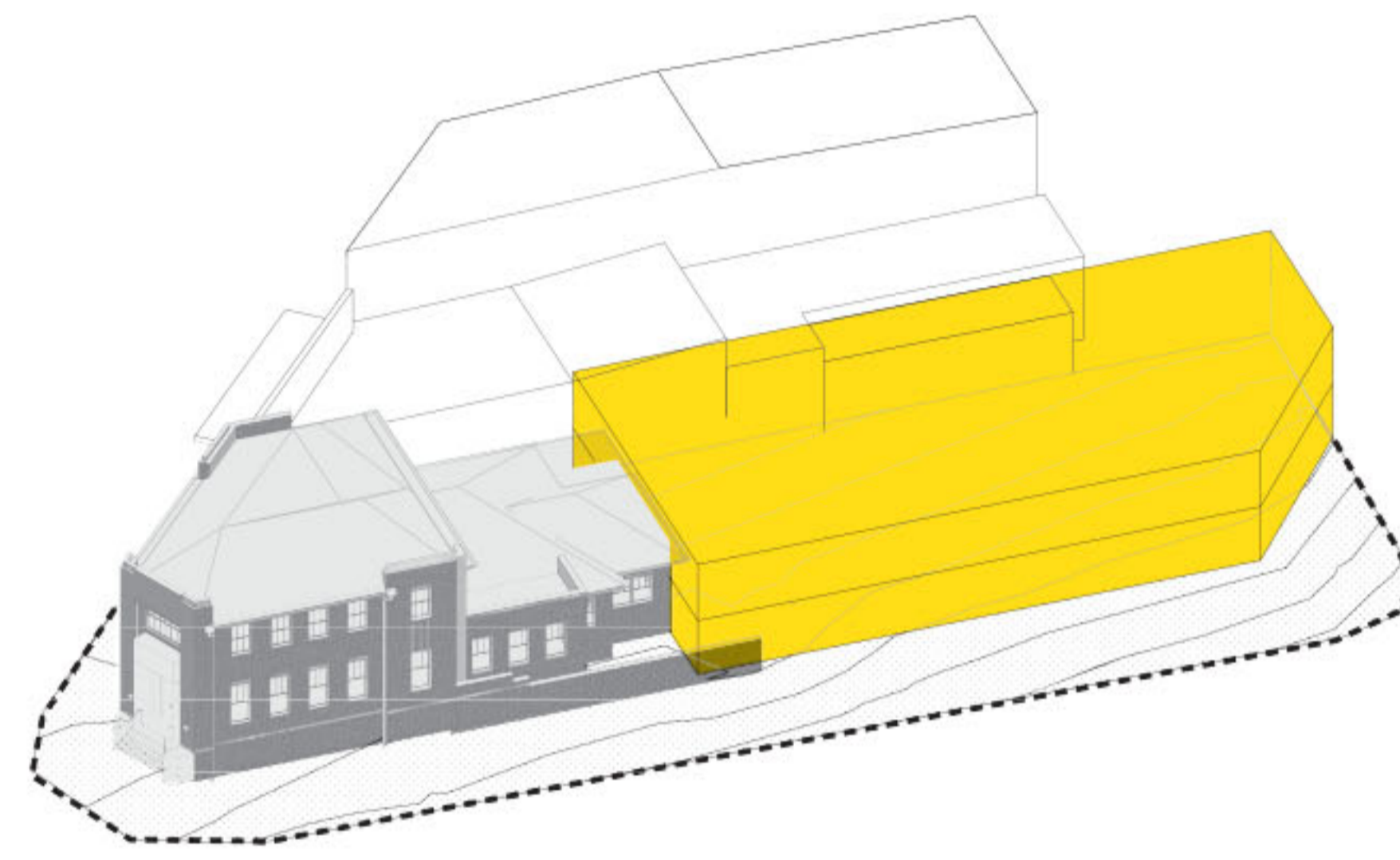
Nominated Architects
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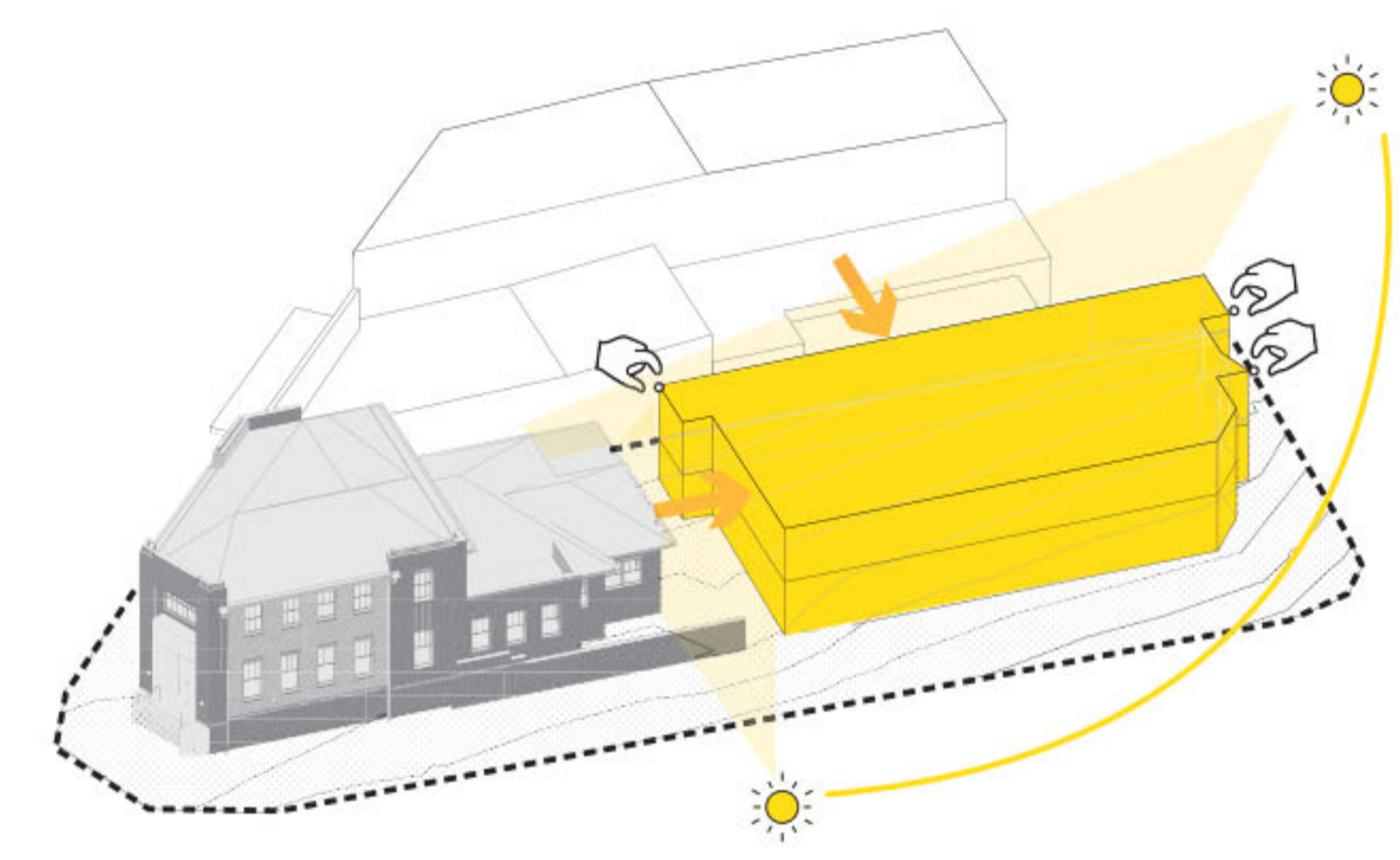
PRESERVE HERITAGE BUILDING

Identify and analyse existing heritage building to be preserved. Minor elements of existing heritage selected for demolition.



INITIAL MASSING ON SITE

Remaining site area available for development identified following demolition



SETBACKS FOR LIGHT AND PRIVACY

Setbacks to the rear boundary and the existing heritage building for resident privacy and light. To increase solar access within the residences, the sides of the massing are peeled to allow additional light to enter and for articulation of building form.

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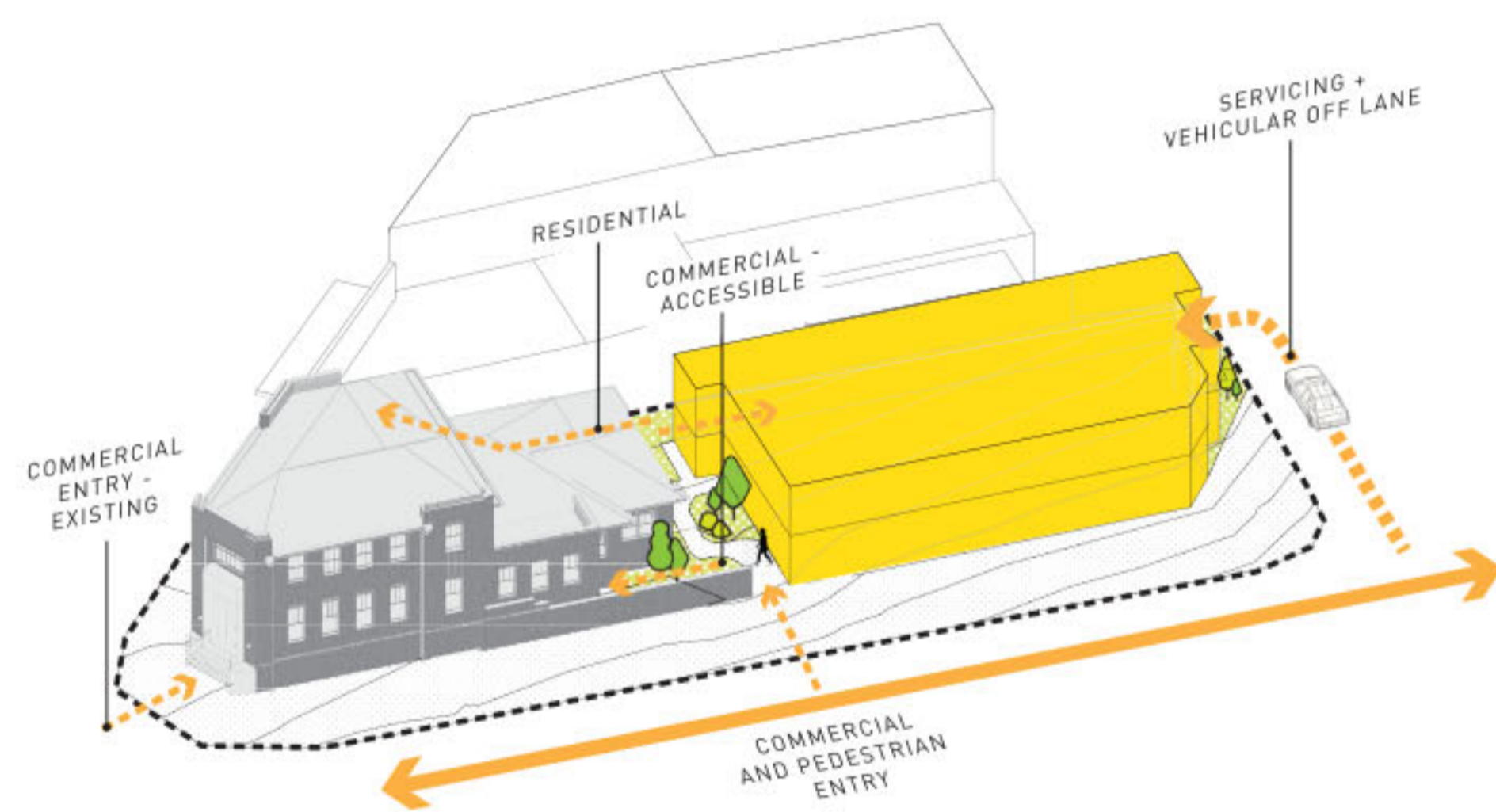
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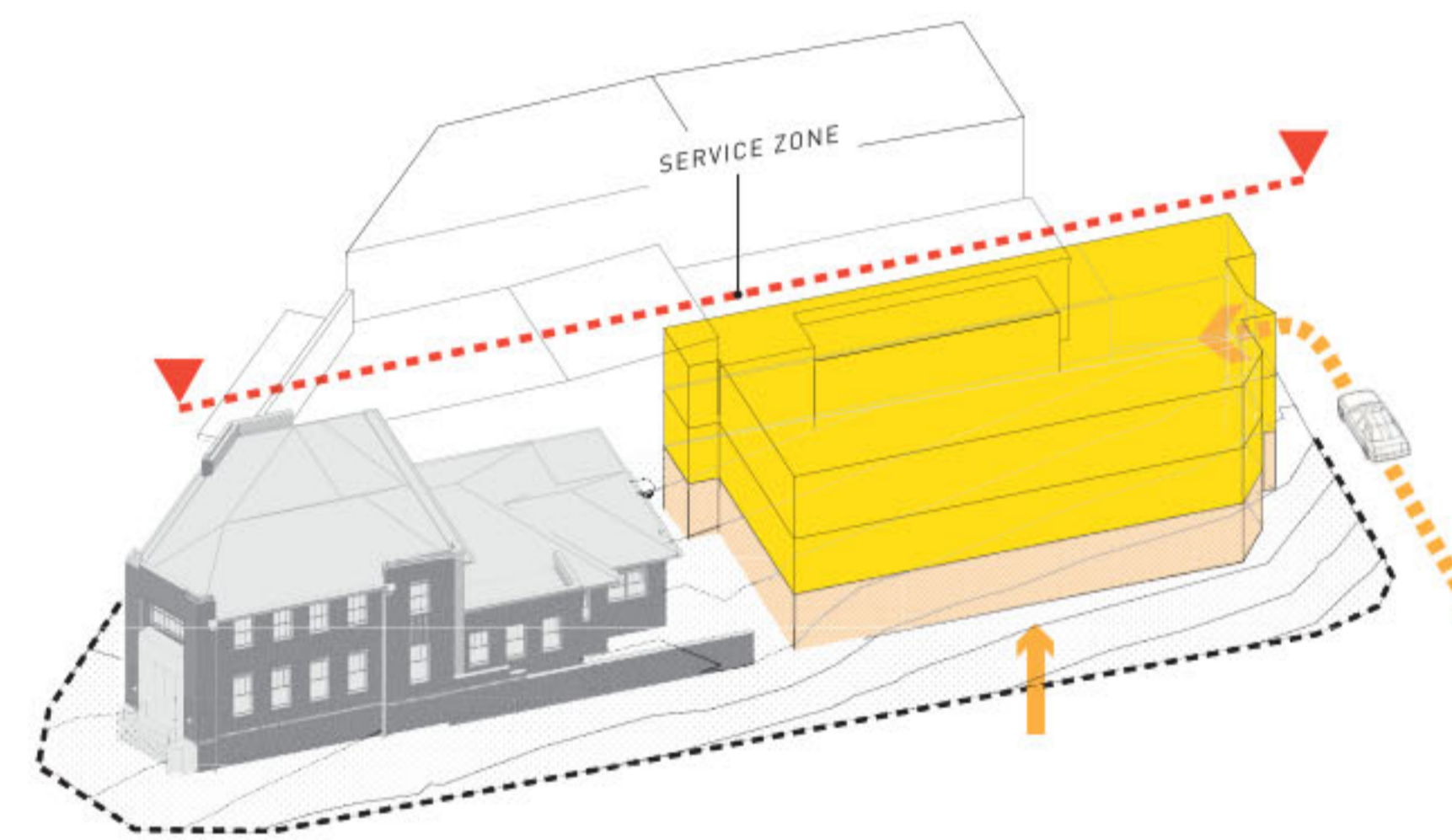
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IMPROVE STREET FRONTAGE & AMENITY

Responding to the existing street scape, the form looks to maximise its street frontage by relocating the driveway off the lane entry, thereby improving pedestrian safety. The one pedestrian entry point for both commercial and residential residents from Fisher Ave between both buildings, via a green courtyard.



GROUND FLOOR CAR PARKING

Due to the constrained width of the site, a basement ramp cannot be accommodated. Therefore the parking is situated on ground level and is screened behind a treated facade. The building form maintains the 10.5m LEP height control.

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Drawing Title			
CONCEPT DIAGRAMS - 02			
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NTS	DA		
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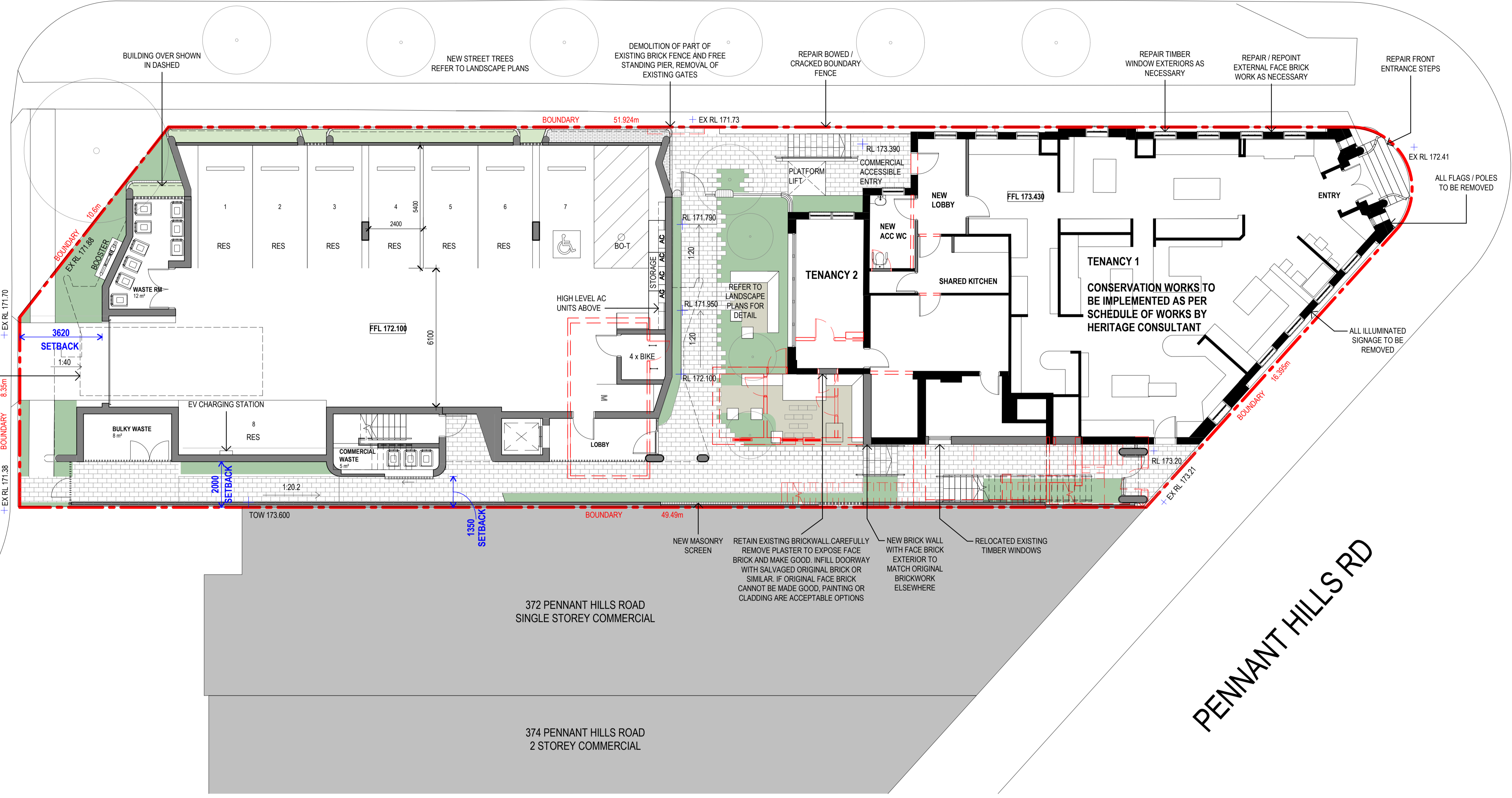
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FISHER AVE

LANEWAY

PENNANT HILLS RD

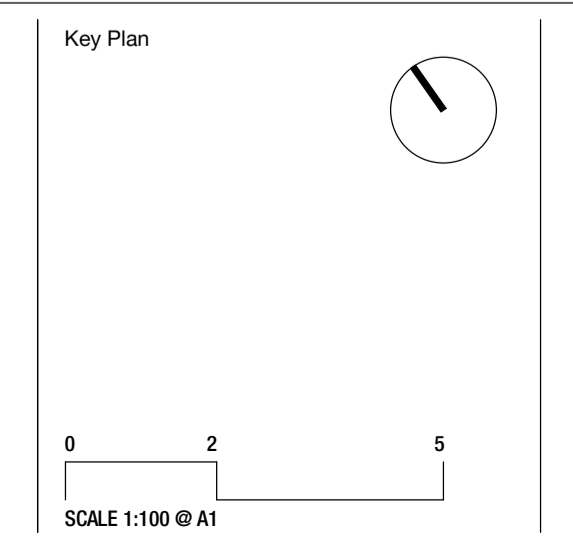


1 GROUND FLOOR
1:100

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Legend	
	DEMOLISHED EXISTING WALL
	NEW WALL
	CEILING FAN



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PENNANT HILLS**

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Drawing Title			
FLOOR PLAN - GROUND FLOOR			
Scale @ A1 1:100	Checked By CAn	Approved By CAR	Project Status DA
Sheet Created JUNE 2021	Discipline A	Drawing Number DA-110	Drawn By CAn
Project No. 2021035	Discipline A	Drawing Number DA-110	Revision 2

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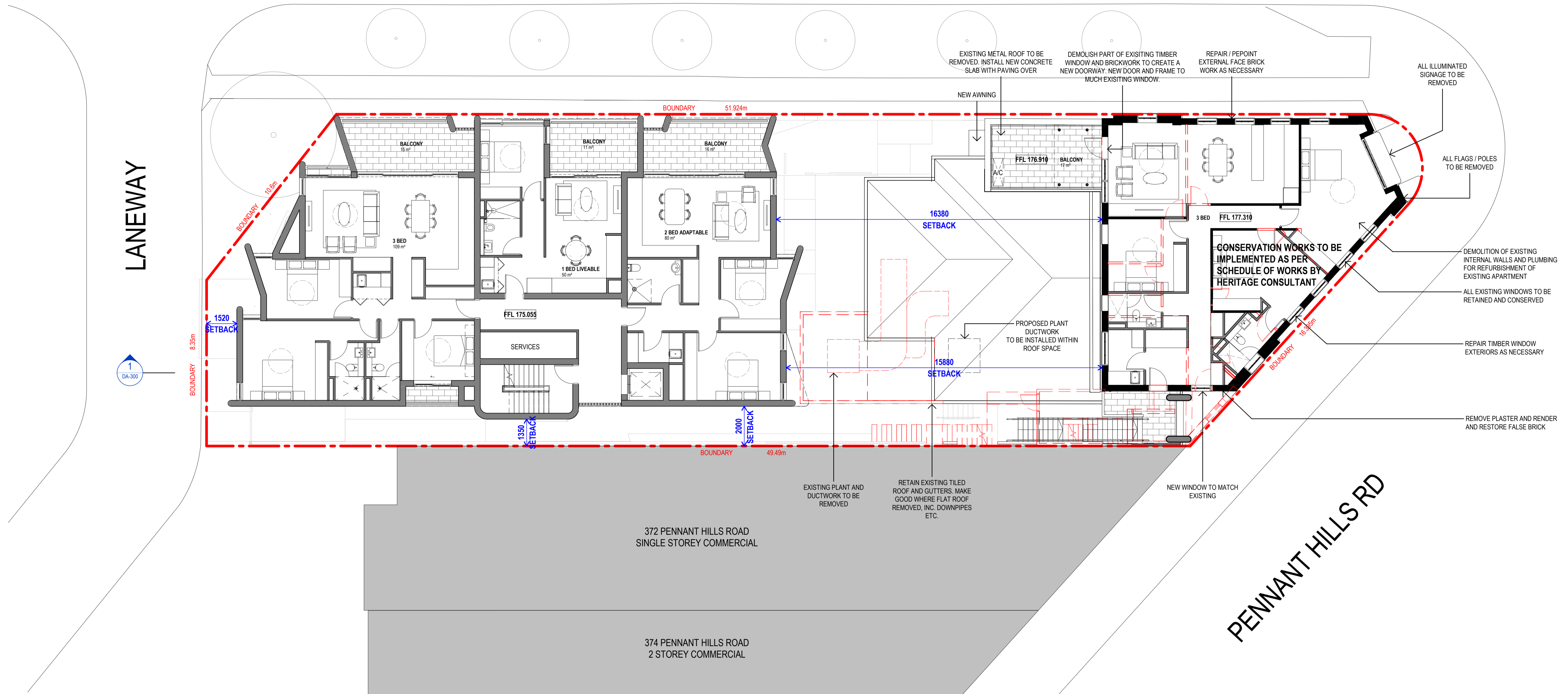
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FISHER AVE



LANEWAY

PENNANT HILLS RD

372 PENNANT HILLS ROAD
SINGLE STOREY COMMERCIAL

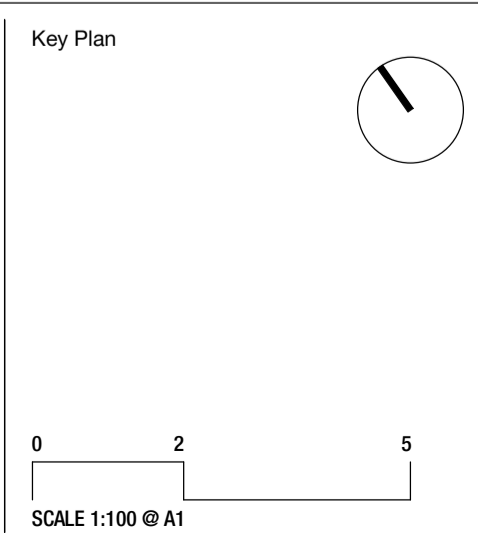
374 PENNANT HILLS ROAD
2 STOREY COMMERCIAL

1 LEVEL 1
1:100

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	NEW WALL
	CEILING FAN



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Drawing Title			
FLOOR PLAN - LEVEL 1			
Scale @ A1 1:100	Checked By CAn	Approved By CAr	Project Status DA
Sheet Created JUNE 2021	Discipline A	Drawing Number DA-111	Drawn By CAn
Project No. 2021035	Discipline A	Drawing Number DA-111	Revision 2

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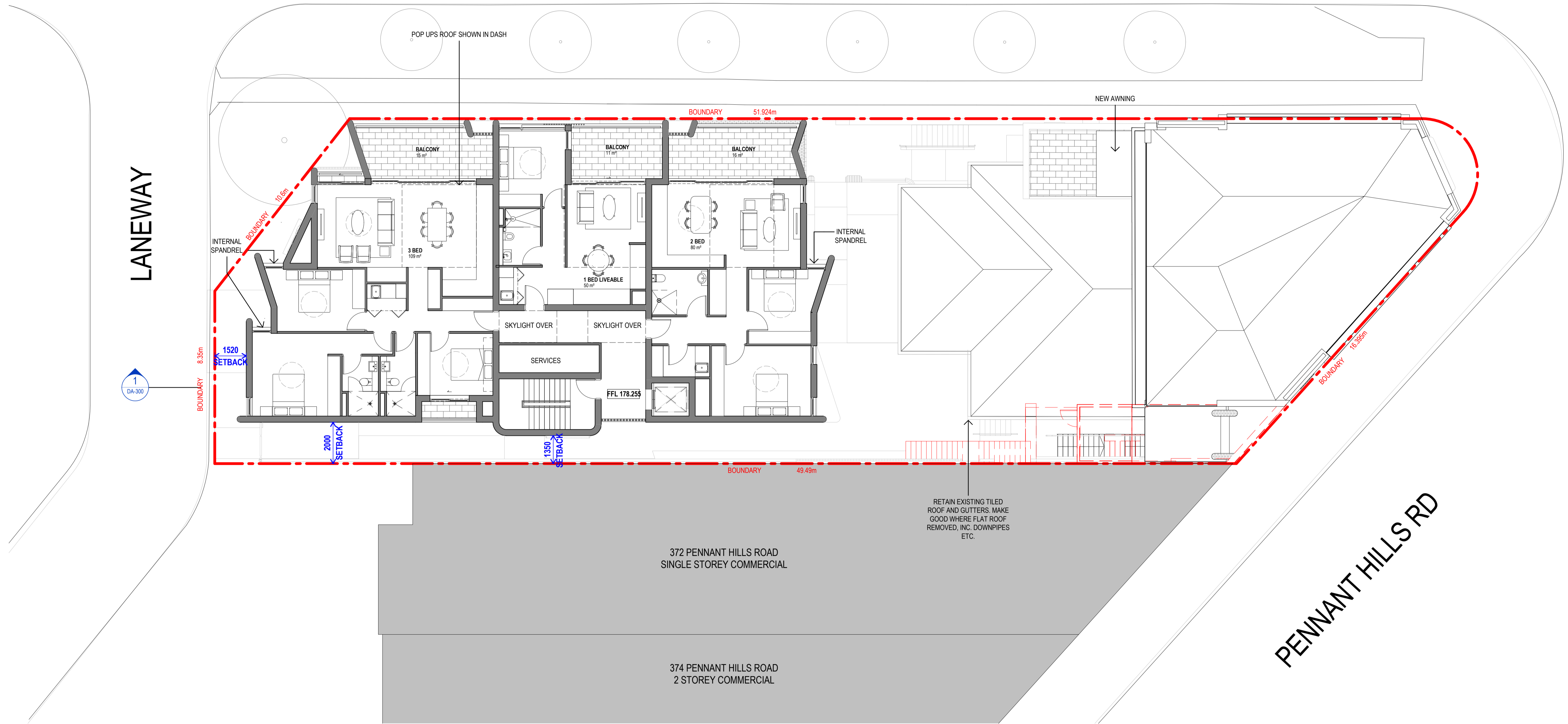
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FISHER AVE



LANEWAY

1
DA-300

372 PENNANT HILLS ROAD
SINGLE STOREY COMMERCIAL

374 PENNANT HILLS ROAD
2 STOREY COMMERCIAL

PENNANT HILLS RD

1 LEVEL 2
1:100

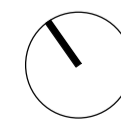
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Legend

- DEMOLISHED EXISTING WALL
- NEW WALL
- CEILING FAN

Key Plan



0 2 5
SCALE 1:100 @ A1

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**370 PENNANT HILLS RD,
PENNANT HILLS**

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FLOOR PLAN - LEVEL 2

Scale @ A1
1:100

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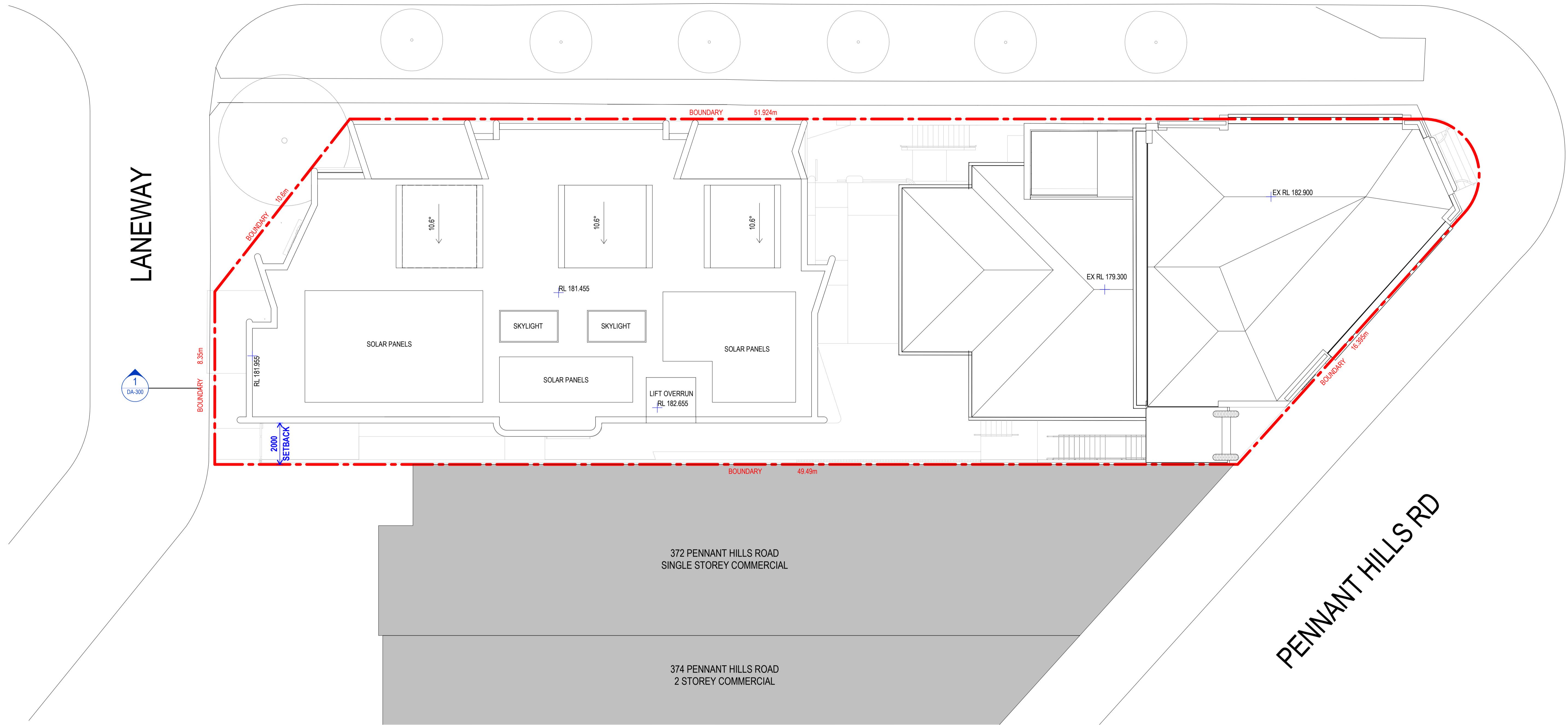
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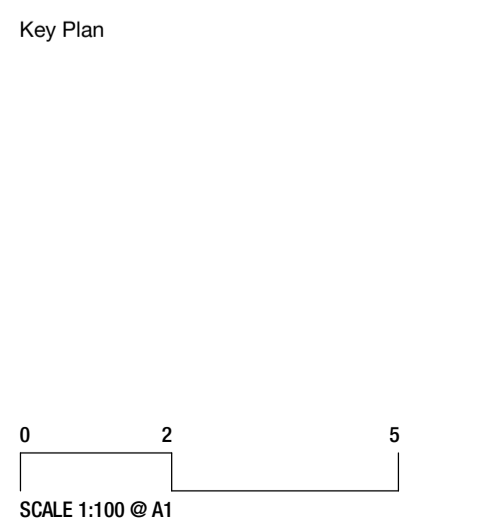
1 ROOF PLAN

1 : 100

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ROOF & SITE PLAN			
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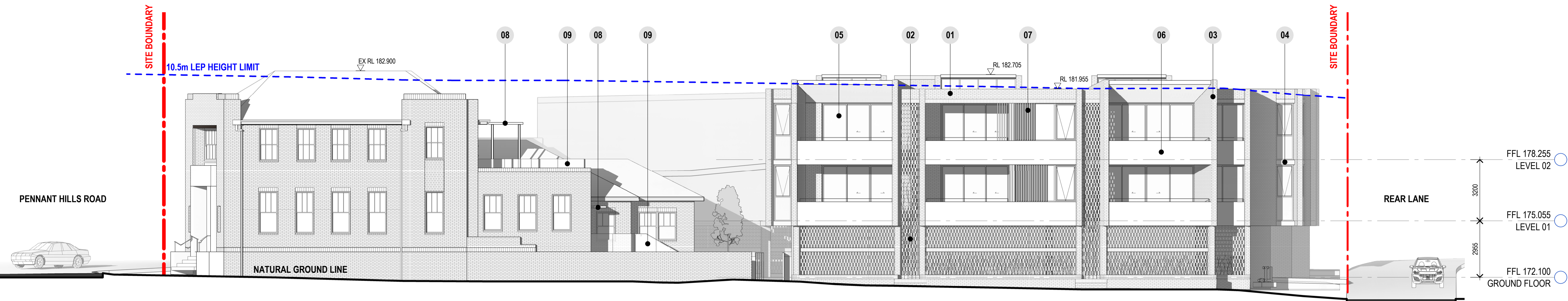
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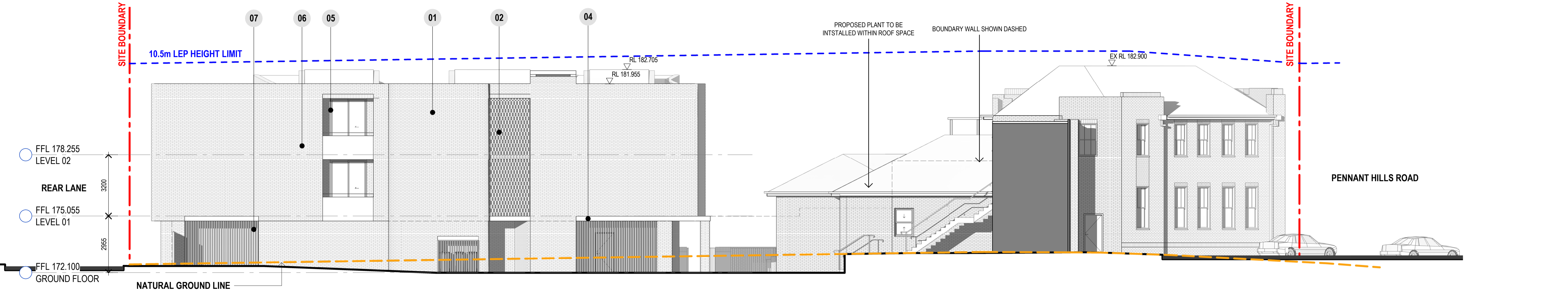
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1 NORTH ELEVATION
1:100



2 SOUTH ELEVATION
1:100

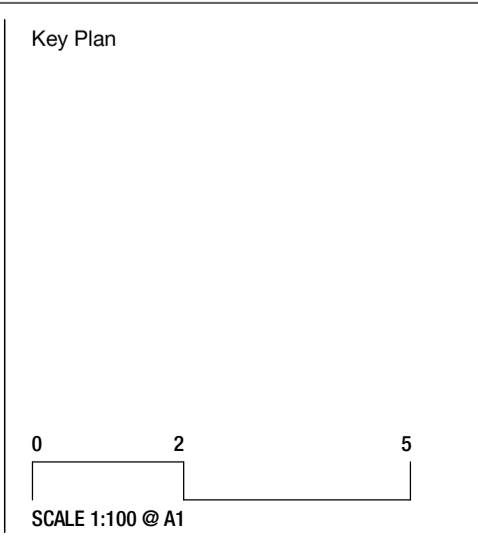
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NORTH & SOUTH ELEVATIONS			
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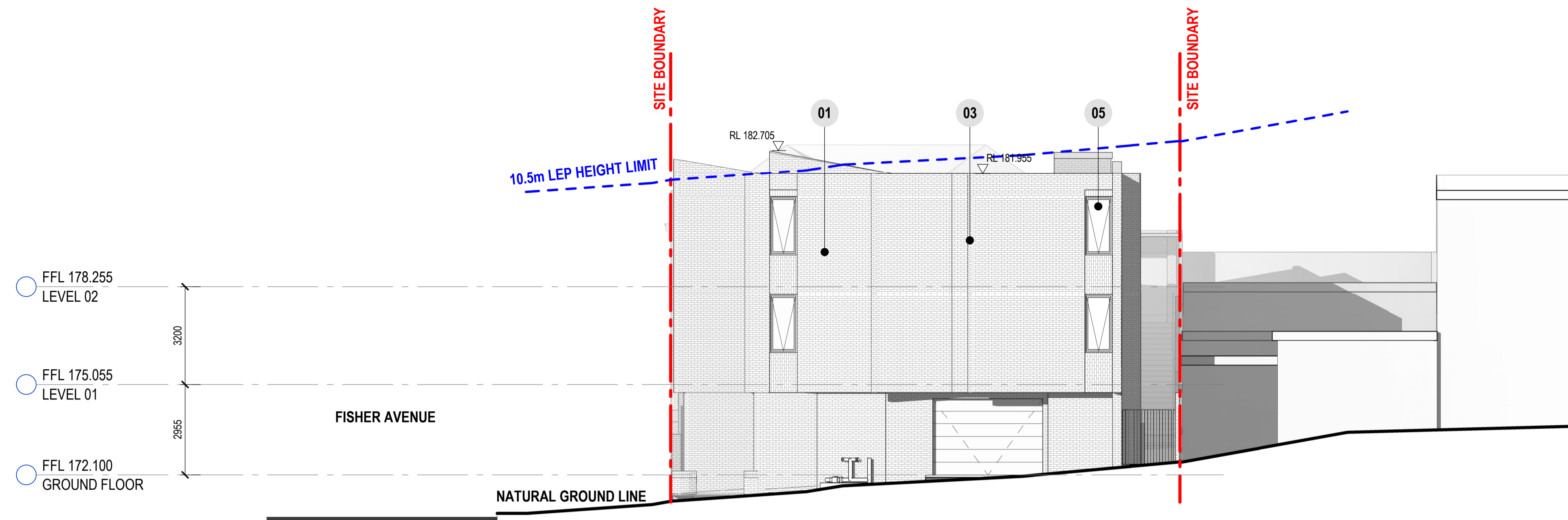
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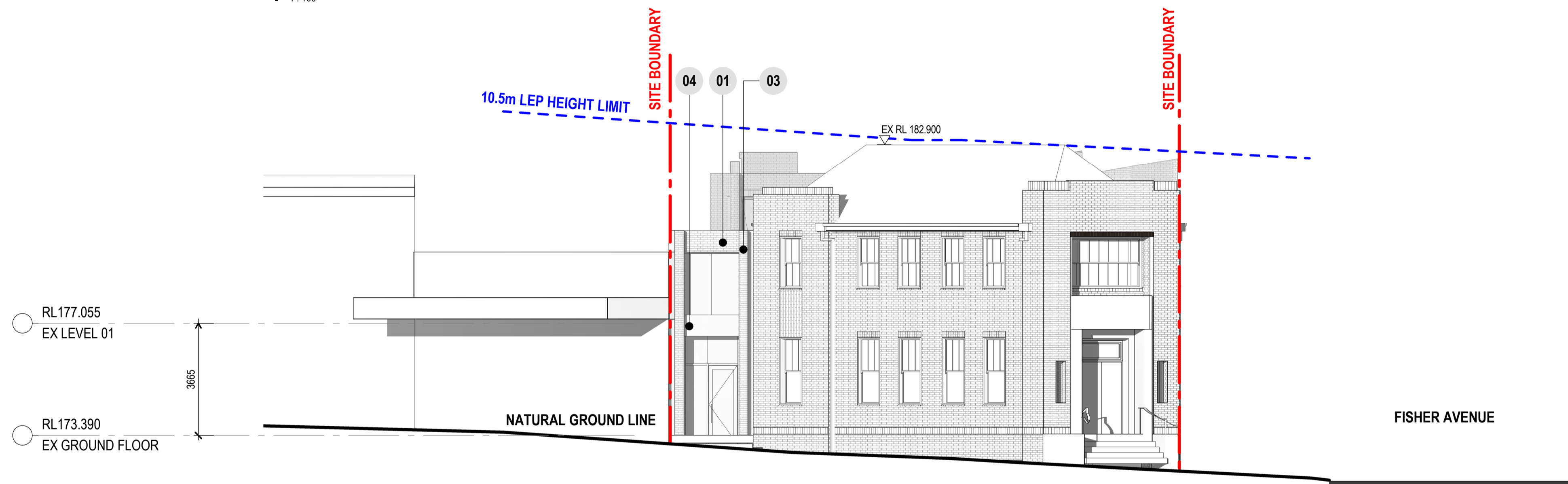
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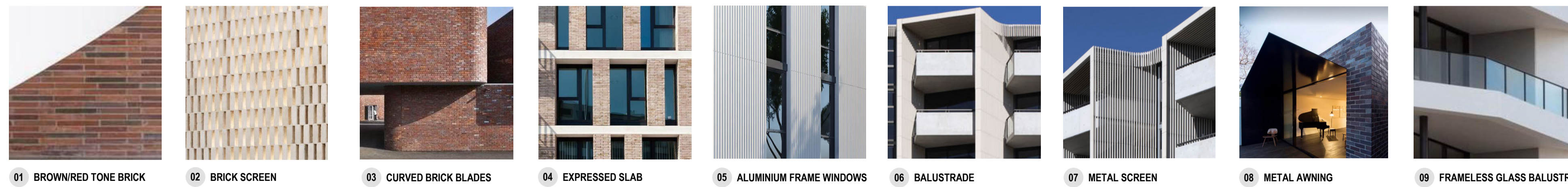


1 WEST ELEVATION
1 : 100



2 EAST ELEVATION
1 : 100

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WEST & EAST ELEVATIONS

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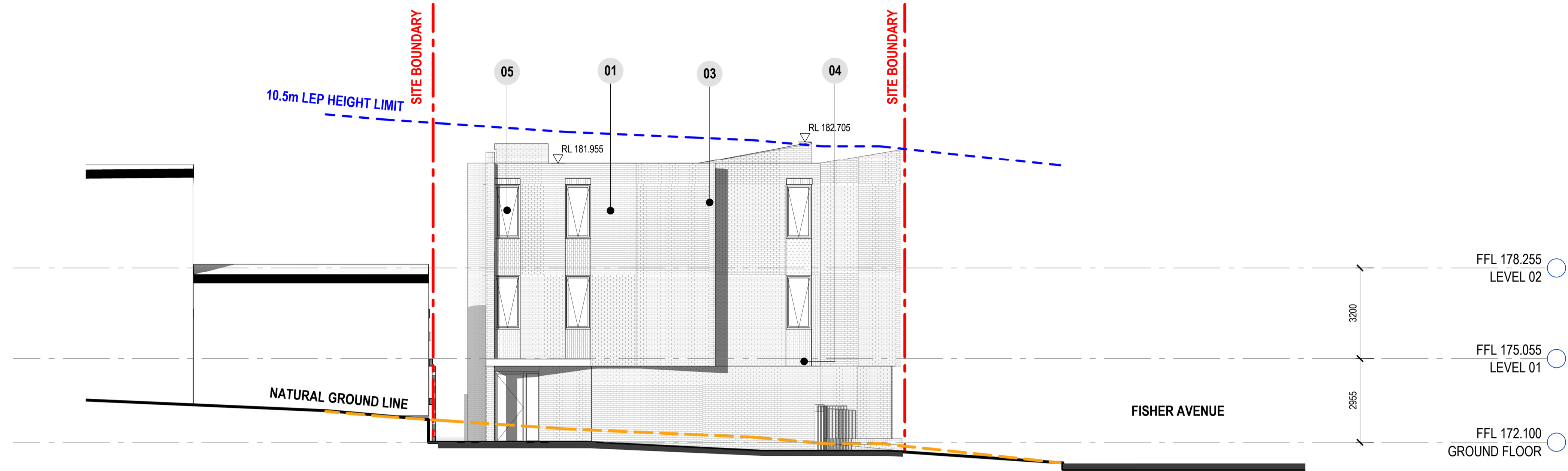
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1 EAST ELEVATION - 2
1 : 100

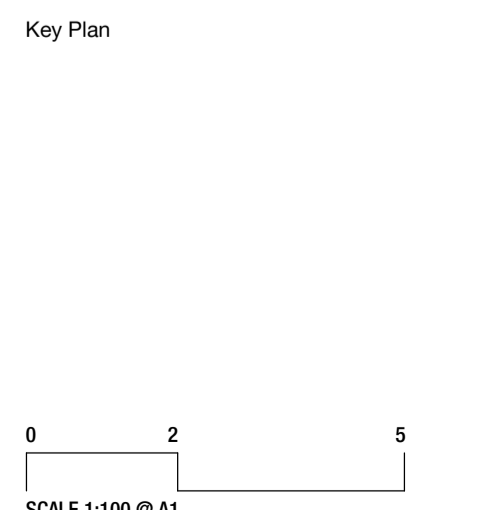
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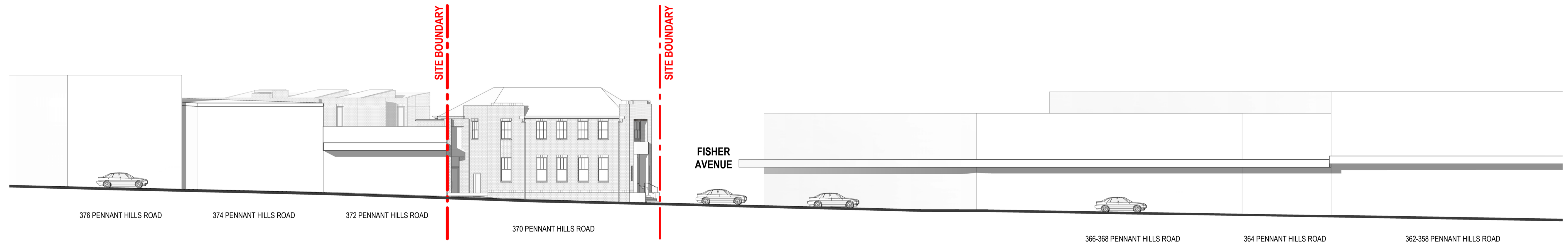
Jackson Teece (Queensland) Pty Ltd
Trading as Jackson Teece
ABN 87 113 377 012

Nominated Architects
Damian Barker (4465), Daniel Hudson (4261)

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1 FISHER AVENUE STREET ELEVATION
1 : 200

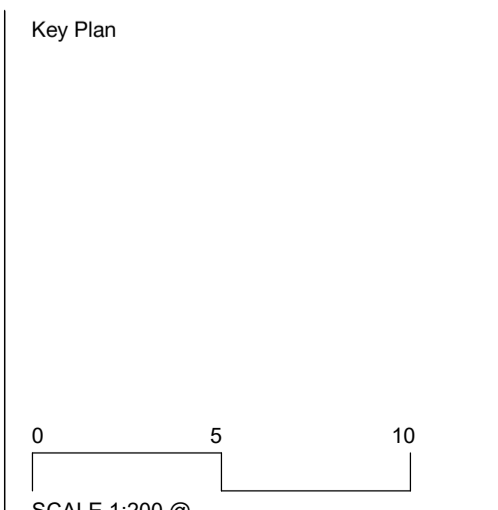


2 PENNANT HILLS ROAD STREET ELEVATION
1 : 200

Rev.	Description	Issued By	Date
1	ISSUE FOR DA	CA	13/05/22
2	REVISED DA	CA	20/09/22

Notes

Legend



Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title			
STREET ELEVATION			
Scale @ A1	Project Status		
1 : 200	DA		
Sheet Created	Checked By	Approved By	Drawn By
MARCH 2022	CAn	CAr	EC
Project No.	Discipline	Drawing Number	Revision
2021035	A	DA-203	2

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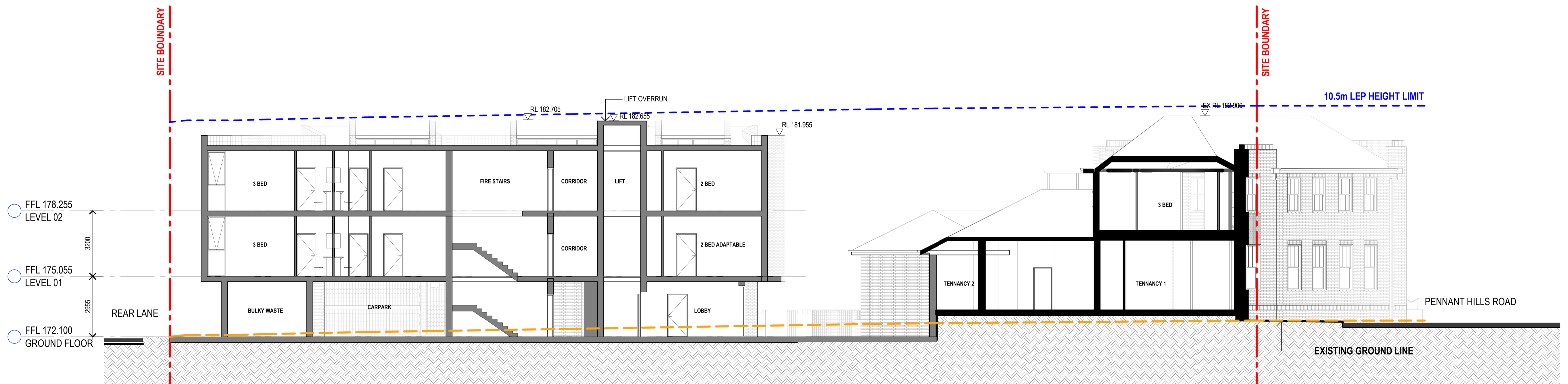
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brisbane@jacksonteece.com

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1 SITE SECTION
1 : 100

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1	ISSUE FOR DA	CA	13/05/22
2	REVISED DA	CA	20/09/22

Notes

Legend

Key Plan

0 2 5
SCALE 1:100 @ A1

Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title
SITE SECTION

Scale @ A1
1 : 100

Sheet Created
JUL 2021

Project No.
2021035

Checked By
CAn

Discipline
A

Approved By
CAr

Drawing Number
DA-300

Drawn By
SR

Revision
2

Project Status
DA

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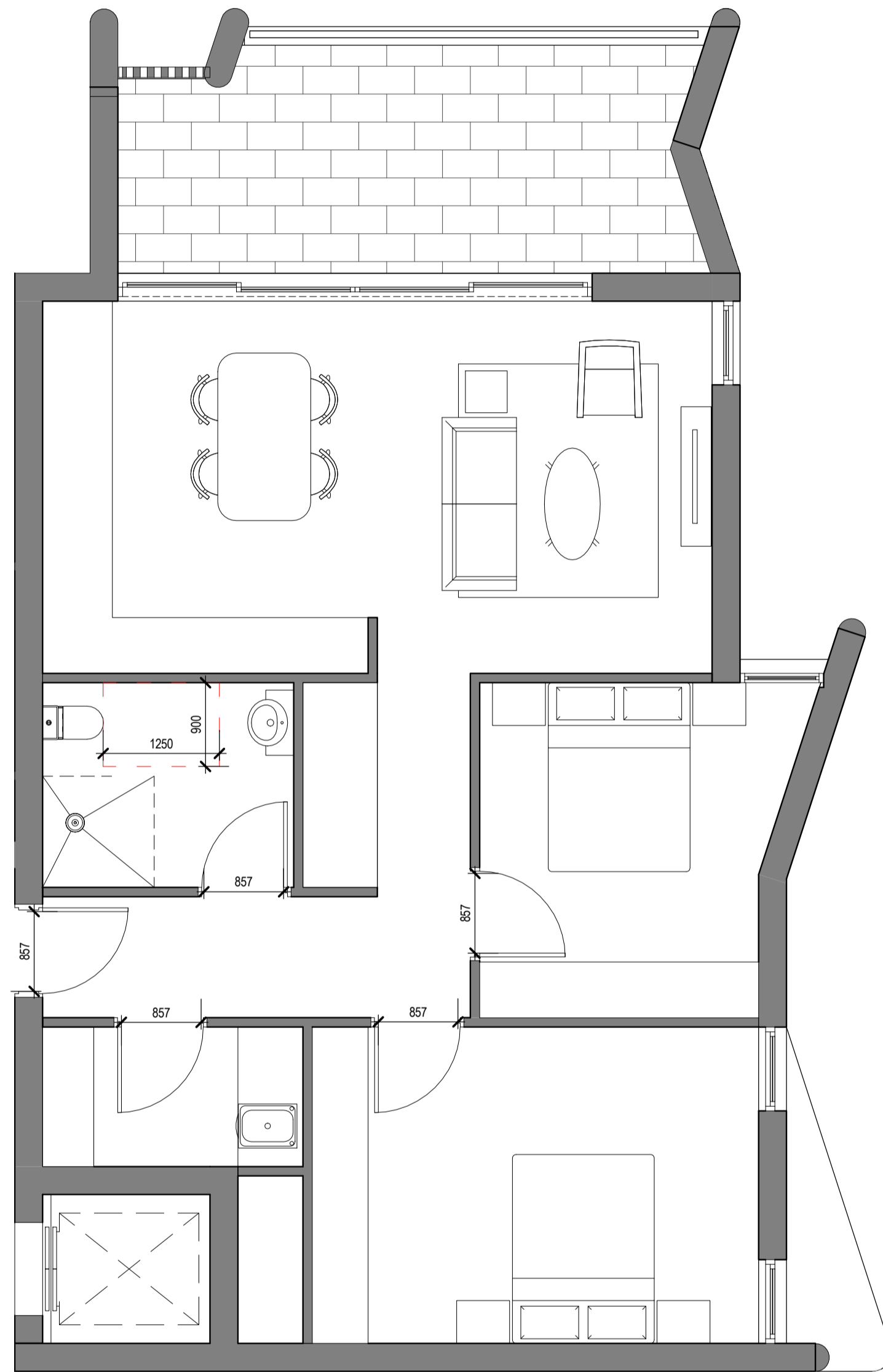
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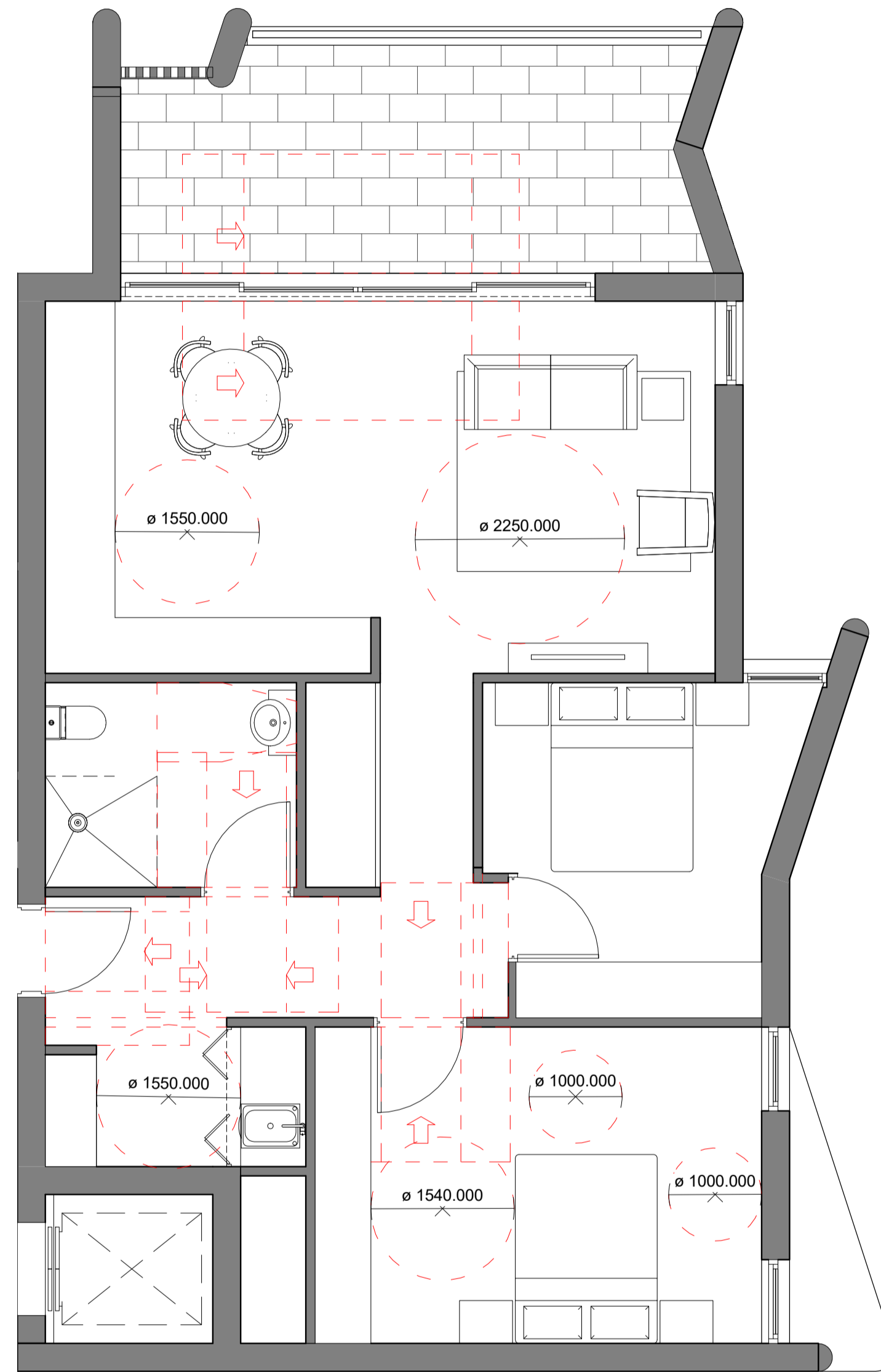
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Nominated Architects
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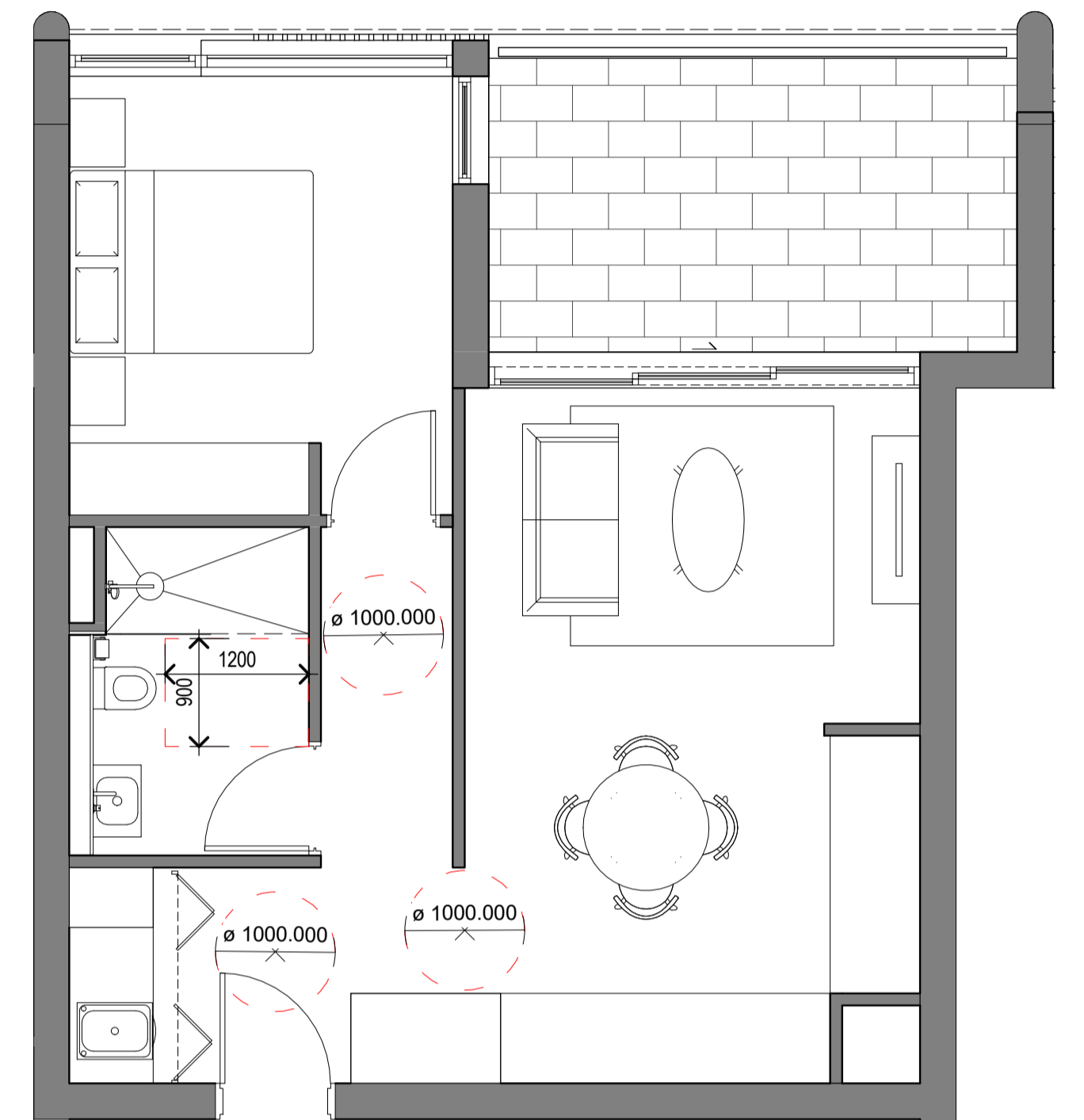
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1 PRE-ADAPT - 2 BED
1 : 50



2 POST-ADAPT - 2 BED
1 : 50



3 LIVEABLE - 1 BED
1 : 50

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1	ISSUE FOR DA	CA	13/05/22
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Notes

Legend

Key Plan

Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title
**ADAPTABLE & LIVEABLE APARTMENT
LAYOUTS**

Scale @ A1	Checked By	Approved By	Project Status
1 : 50	CAn	CAR	DA
Sheet Created	Discipline	Drawing Number	Drawn By
MAR 2022	A	DA-500	EC
Project No.	Discipline	Drawing Number	Revision
2021035	A	DA-500	2

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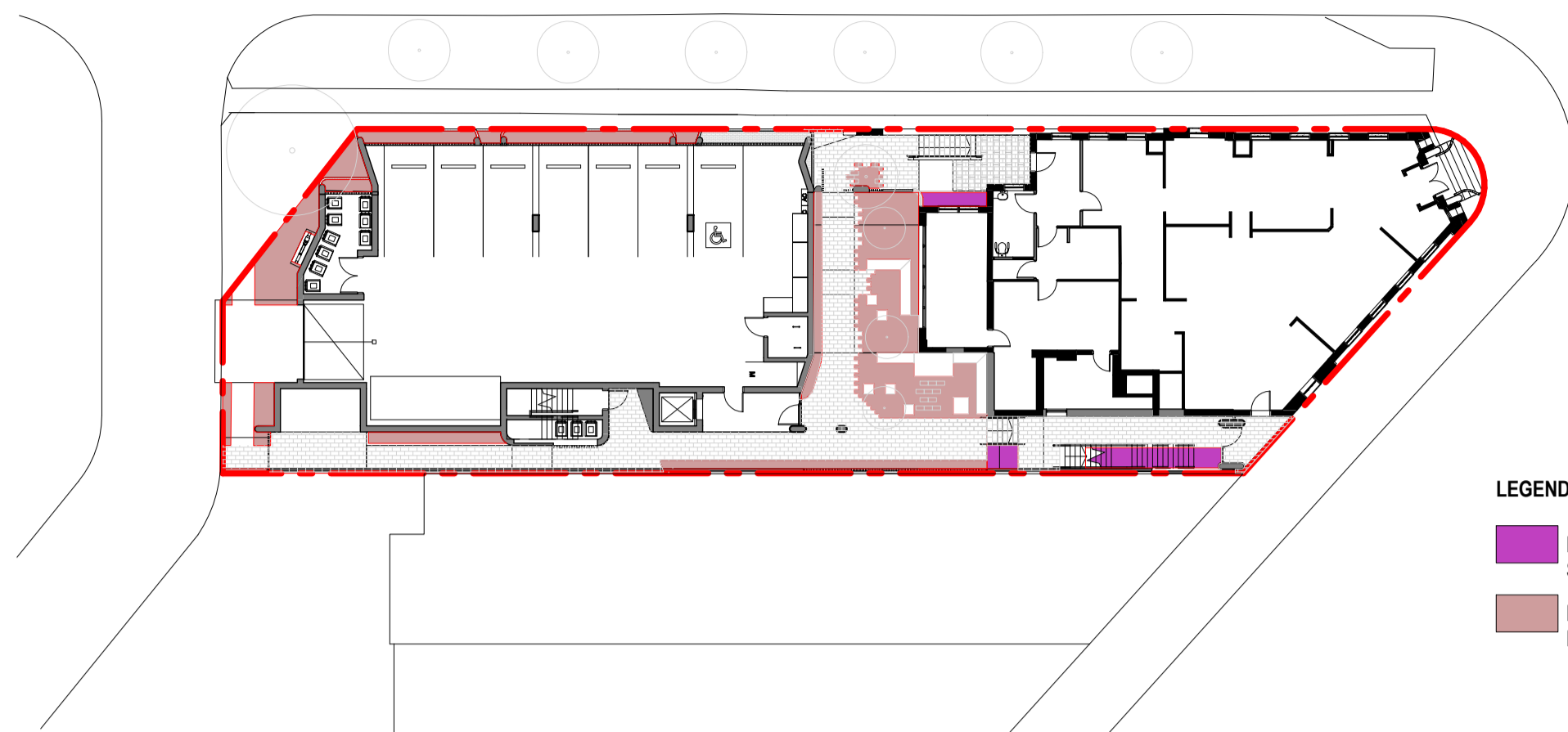
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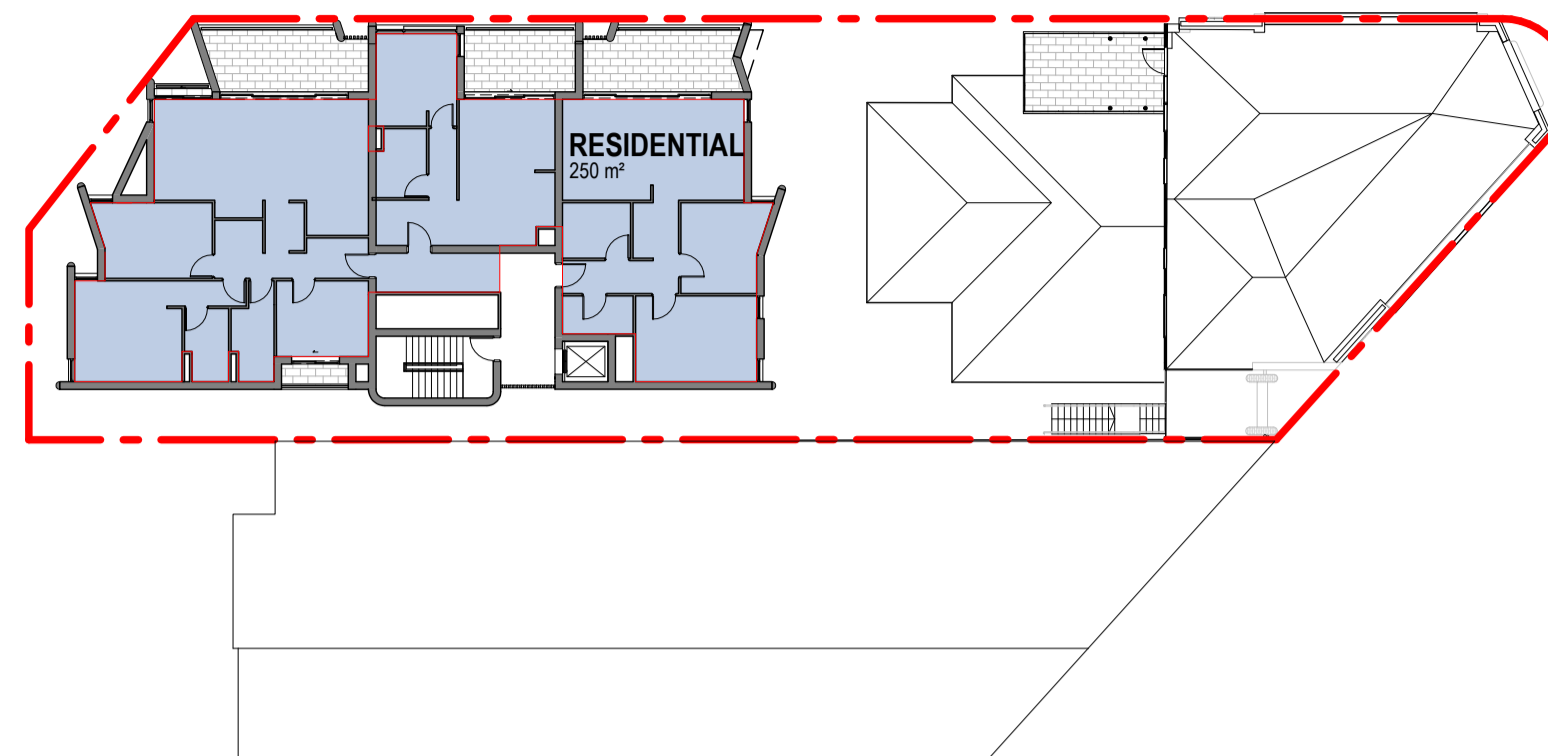
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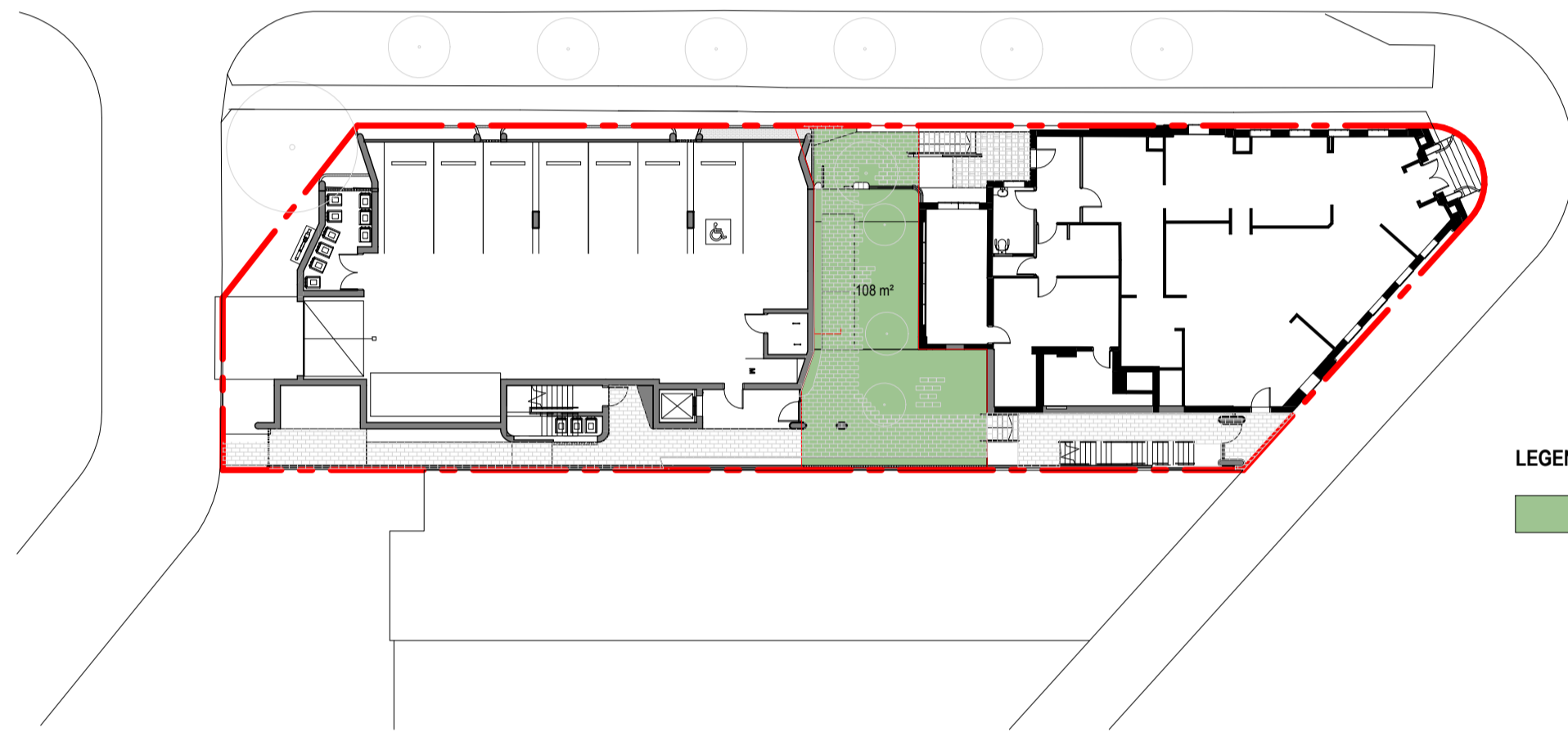


LEGEND
 DEEP SOIL COMMERCIAL SITE
 DEEP SOIL TO RESIDENTIAL SITE

1 DEEP SOIL
1 : 300

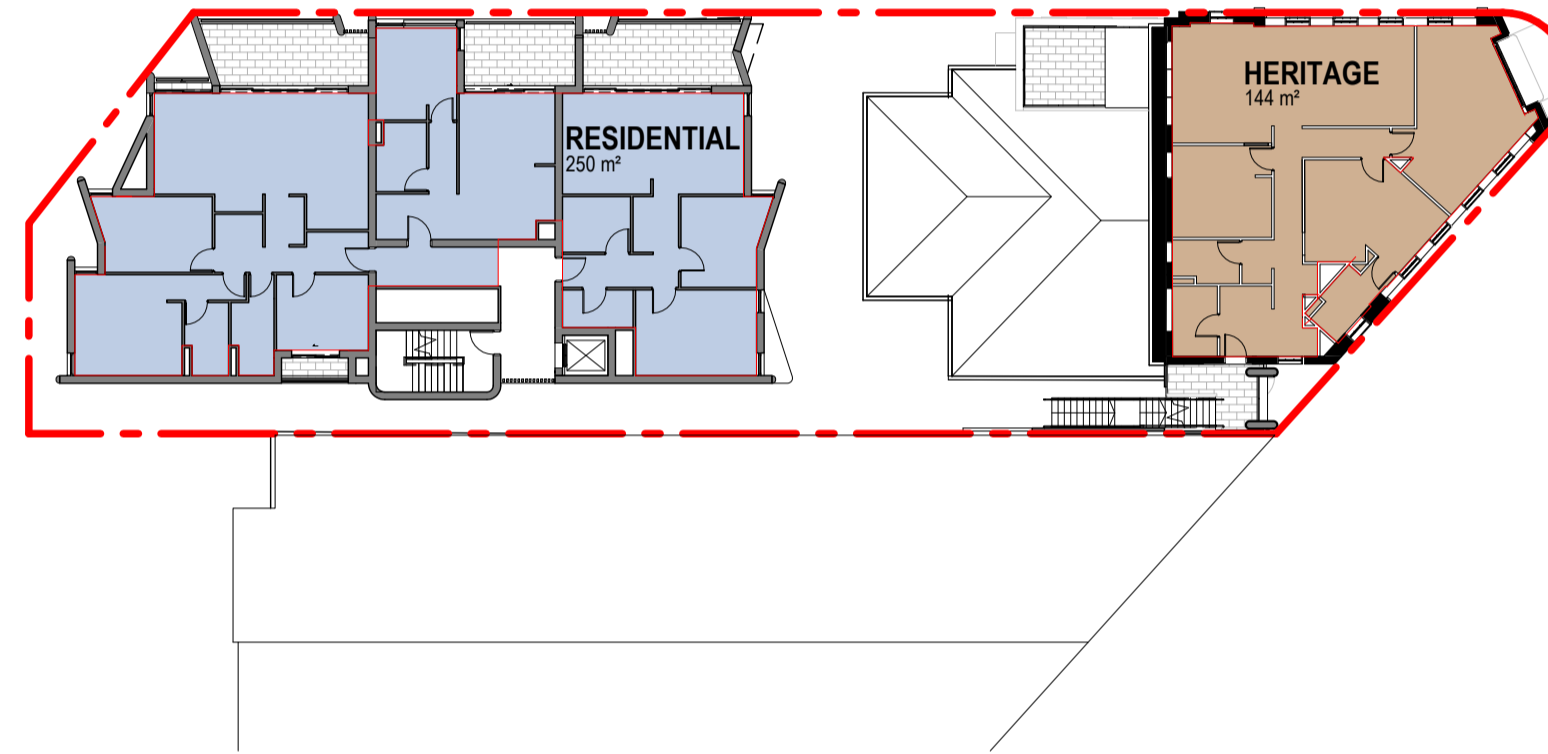


3 LEVEL 2 GFA
1 : 300

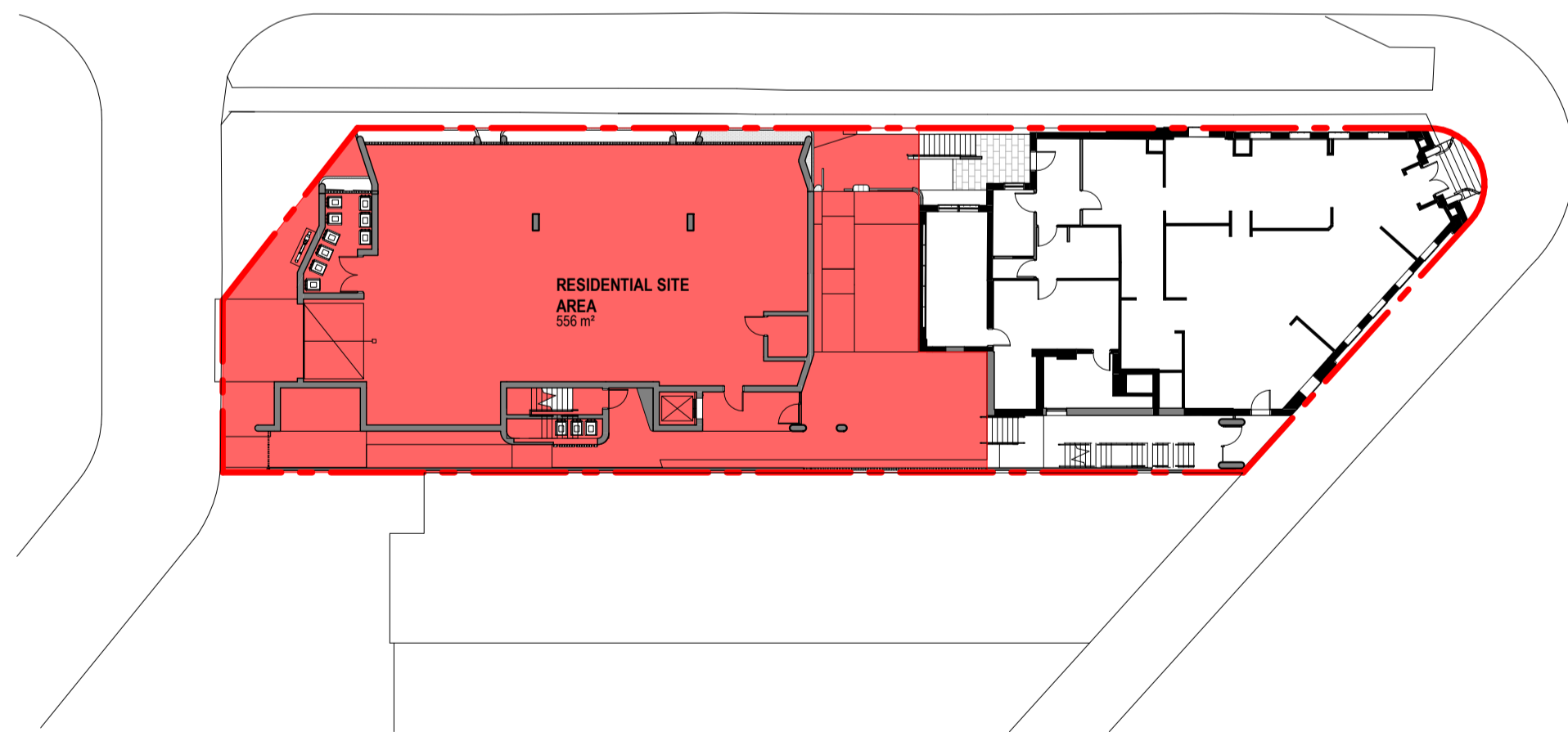


LEGEND
 COMMUNAL OPEN SPACE

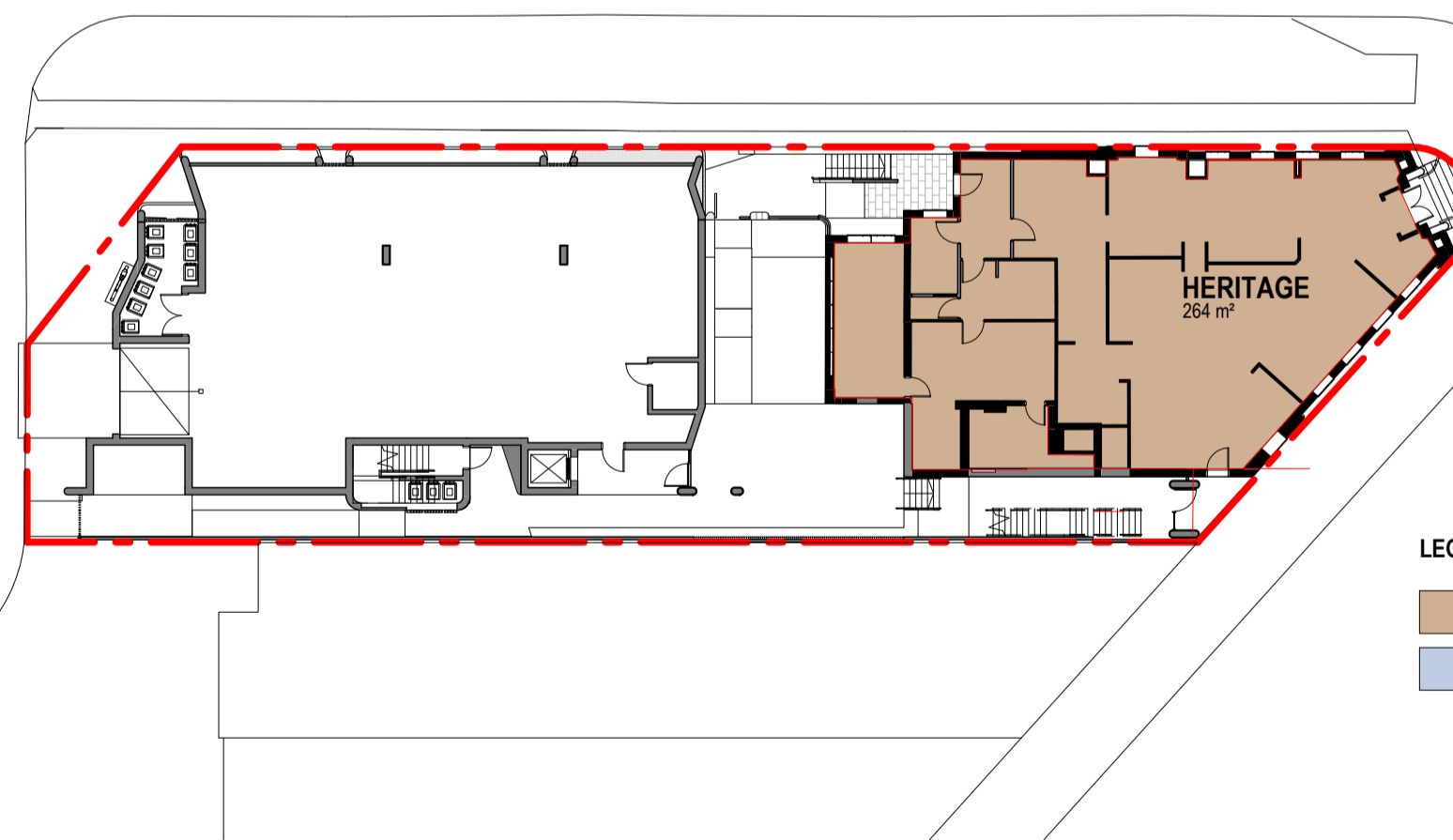
2 COMMUNAL OPEN SPACE
1 : 300



4 LEVEL 1 GFA
1 : 300



6 RESIDENTIAL SITE AREA
1 : 300



LEGEND - GFA
 HERITAGE
 RESIDENTIAL

5 GROUND FLOOR GFA
1 : 300

SITE AREA
916.8 m²

AREA SCHEDULE (GFA)

BUILDING TYPE	GFA
GROUND FLOOR	
HERITAGE	264 m ²
LEVEL 01	
RESIDENTIAL	250 m ²
HERITAGE	144 m ²
LEVEL 02	
RESIDENTIAL	250 m ²
TOTAL GFA	907 m²

FSR CALCULATION MAXIMUM FSR 1:1

SITE AREA	TOTAL GFA	FSR
916.8 m ²	907 m ²	0.99 : 1

DEEP SOIL CALCULATION

DEEP SOIL SPACE REQUIRED = 37.5m² (7% OF SITE AREA) MINIMUM

AREA NAME	SITE AREA	AREA	% DEEP SOIL
DEEP SOIL TO RESIDENTIAL SITE	556 m ²	75.1 m ²	13.5%
DEEP SOIL WHOLE SITE	916.8 m ²	85.3 m ²	9.3%

COMMUNAL OPEN SPACE CALCULATION

COMMUNAL OPEN SPACE REQUIRED = 134m² (25% OF SITE AREA) MINIMUM

AREA NAME	SITE AREA	AREA	%COS
COMMUNAL OPEN SPACE TO RESIDENTIAL SITE	556 m ²	108 m ²	19.3%
COMMUNAL OPEN SPACE WHOLE SITE	916.8 m ²	108 m ²	11.8%

Amendments

Rev.	Description	Issued By	Date
1	ISSUE FOR DA	CA	13/05/22
2	REVISED DA	CA	20/09/22

Notes

Notes

Legend

Legend

Key Plan

Key Plan

Project
 370 PENNANT HILLS RD,
 PENNANT HILLS

Client
 OMNI OFFICE PRODUCTS PTY LTD

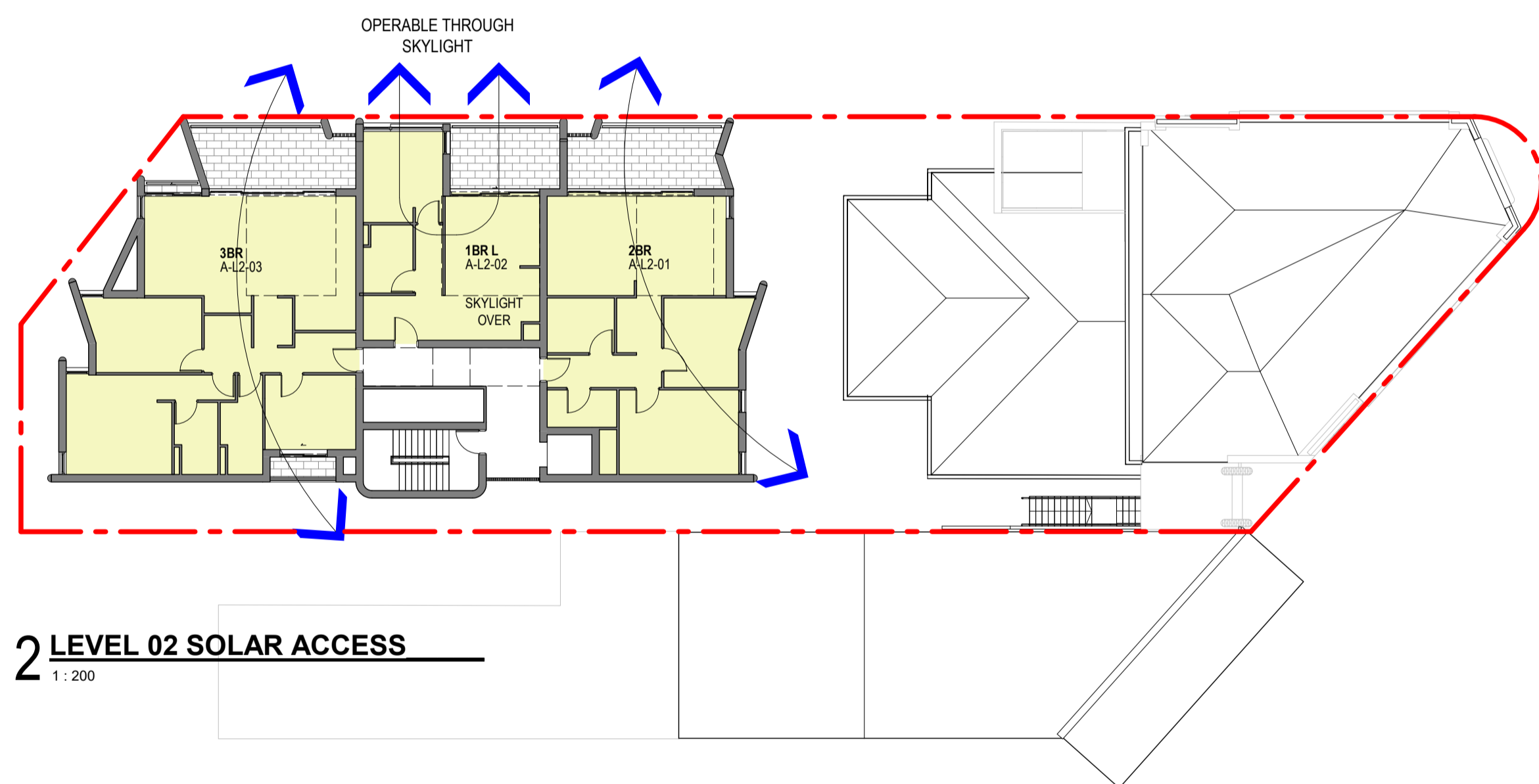
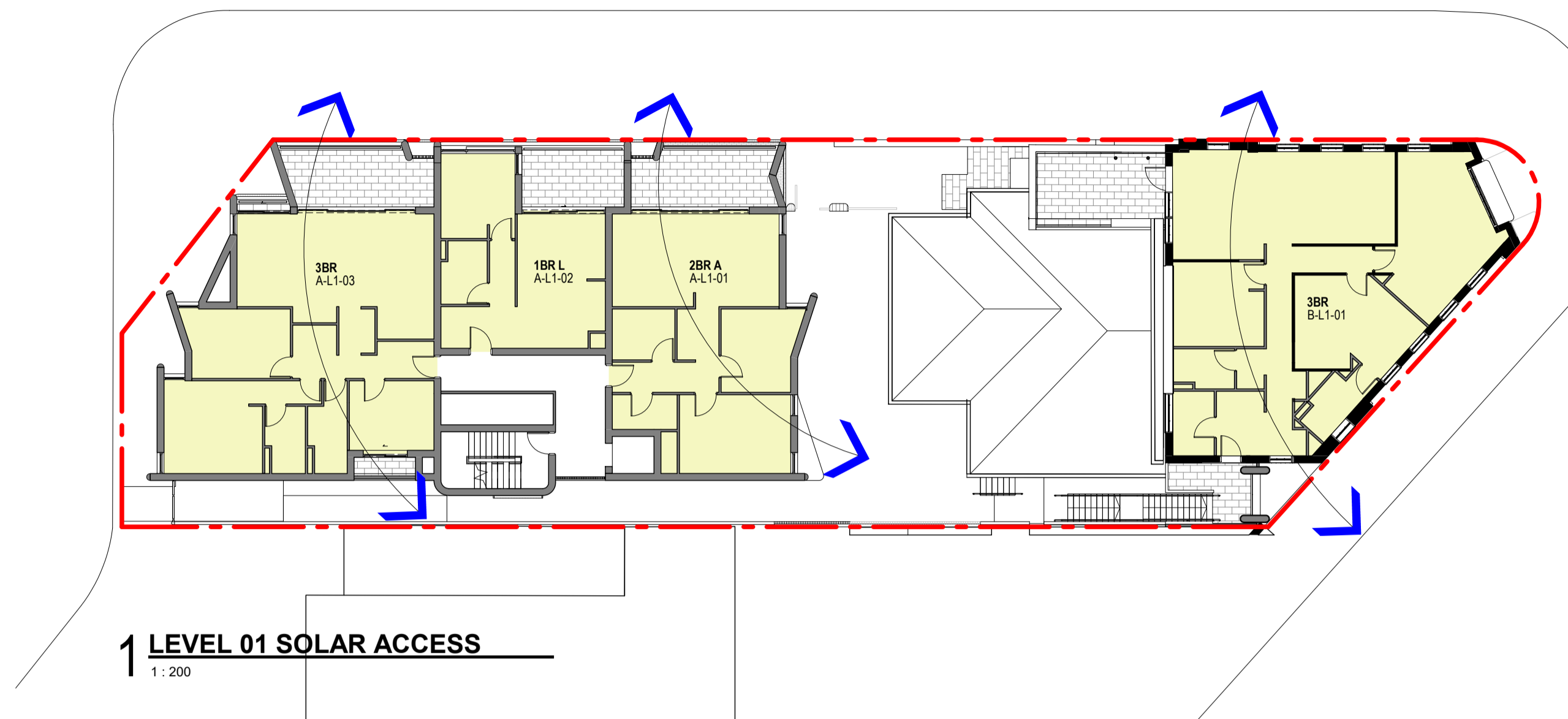
Drawing Title
 AREA PLANS

Scale @ A1	Checked By	Approved By	Project Status
1 : 300	CAr	CAr	DA
Sheet Created	Discipline	Drawing Number	Drawn By
JAN 2022	A	DA-600	SR
Project No.	Discipline	Drawing Number	Revision
2021035	A	DA-600	2

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Nominated Architects
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APARTMENT DESIGN GUIDE												
APT. NO	APT. TYP	INTERNAL AREA	CROSS VENTILATION	2 HOURS SOLAR ACCESS TO LIVING	2 HOURS SOLAR ACCESS TO POS	2 HOURS SOLAR ACCESS TO LIVING & POS	NO SOLAR ACCESS TO LIVING & POS	STORAGE			POS AREA	POS DEPTH
								ADG	ADG	ADG		
		MINIMUM 1 B - 50m ² 2 B - 75m ² 3 B - 99m ²	MINIMUM 60%	MINIMUM 70%	MINIMUM 70%	MINIMUM 70%	MAXIMUM 15%	INTERNAL STORAGE	BASEMENT STORAGE MAXIMUM 50%	TOTAL STORAGE MINIMUM 1 B - 6m ³ 2 B - 8m ³ 3 B - 10m ³	MINIMUM AREA 1B - 8m ² 2B - 10m ² 3B - 12m ²	MINIMUM DEPTH 1B - 2m 2B - 2m 3B - 2.4m
LEVEL 01												
A-L1-01	2 BED ADAPTABLE	80 m ²	Yes	2+	2+	Yes	No	7.8 m ³	2.20 m ³	10.0 m ³	16 m ²	2400
A-L1-02	1 BED LIVEABLE	50 m ²	No	2+	2+	Yes	No	3.1 m ³	2.90 m ³	6.0 m ³	11 m ²	2400
A-L1-03	3 BED	109 m ²	Yes	2+	2+	Yes	No	10.3 m ³	0.00 m ³	10.3 m ³	15 m ²	2400
LEVEL 02												
A-L2-01	2 BED	80 m ²	Yes	2+	2+	Yes	No	7.8 m ³	2.20 m ³	10.0 m ³	16 m ²	2400
A-L2-02	1 BED LIVEABLE	50 m ²	Yes	2+	2+	Yes	No	3.1 m ³	2.90 m ³	6.0 m ³	11 m ²	2400
A-L2-03	3 BED	109 m ²	Yes	2+	2+	Yes	No	10.3 m ³	0.00 m ³	10.3 m ³	15 m ²	2400
EX - LEVEL 01												
B-L1-01	3 BED	143 m ²	Yes	2+	2+	Yes	No	10.8 m ³	0.00 m ³	10.8 m ³	17 m ²	2400

OVERALL SOLAR COMPLIANCE		
TOTAL DWELLINGS	2 HOURS SOLAR ACCESS TO LIVING & POS	NO SOLAR ACCESS TO LIVING
7	7	0
	100.00%	0.00%

OVERALL CROSS VENT COMPLIANCE	
TOTAL DWELLINGS	CROSS VENTILATION
7	6
	86%

PROPOSED BUILDING	SOLAR ACCESS														
	LIVING SPACE						PRIVATE OPEN SPACE								
	09AM	10AM	11AM	12PM	01PM	02PM	TOTAL HRS	09AM	10AM	11AM	12PM	01PM	02PM	TOTAL HRS	
LEVEL 1															
A-L1-01	1	1	1	1	x	x	3	x	1	1	1	1	1	x	4
A-L1-02	1	1	1	1	x	x	3	x	1	1	1	1	1	x	4
A-L1-03	1	1	1	1	1	1	6	x	1	1	1	1	1	x	4
LEVEL 2															
A-L2-01	1	1	1	1	x	x	3	x	1	1	1	1	1	x	4
A-L2-02	1	1	1	1	x	x	3	x	1	1	1	1	1	x	4
A-L2-03	1	1	1	1	1	1	6	x	1	1	1	1	1	x	4

HERIATGE BUILDING	SOLAR ACCESS														
	LIVING SPACE						PRIVATE OPEN SPACE								
	09AM	10AM	11AM	12PM	01PM	02PM	TOTAL HRS	09AM	10AM	11AM	12PM	01PM	02PM	TOTAL HRS	
LEVEL 1															
B-L1-01	1	1	1	1	1	1	6	1	1	1	1	1	1	1	6

Amendments		Issued By	Date
Rev. 1	Description	CA	13/05/22
2	ISSUE FOR DA	CA	20/09/22

Notes

Legend

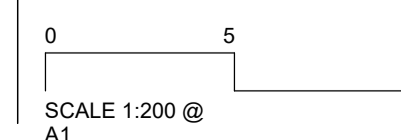
LEGEND - CROSS VENTILATION



LEGEND - DIRECT SOLAR

- 2HR APARTMENTS RECEIVE DIRECT SUN BETWEEN 9AM & 3PM (MINIMUM OF 2 HOURS)
- 0HR APARTMENTS DON'T RECEIVE DIRECT SUN BETWEEN 9AM & 3PM

Key Plan



Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title

**CROSS VENTILATION & SOLAR ACCESS
PLANS & ADG TABLE**

Scale @ A1
1:200

Project Status
DA

Sheet Created
MARCH 2022

Checked By
CAn

Approved By
CAr

Drawn By
EC

Project No.
2021035

Discipline
A

Drawing Number
DA-700

Revision
2

JACKSON TEECE

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Nominated Architects
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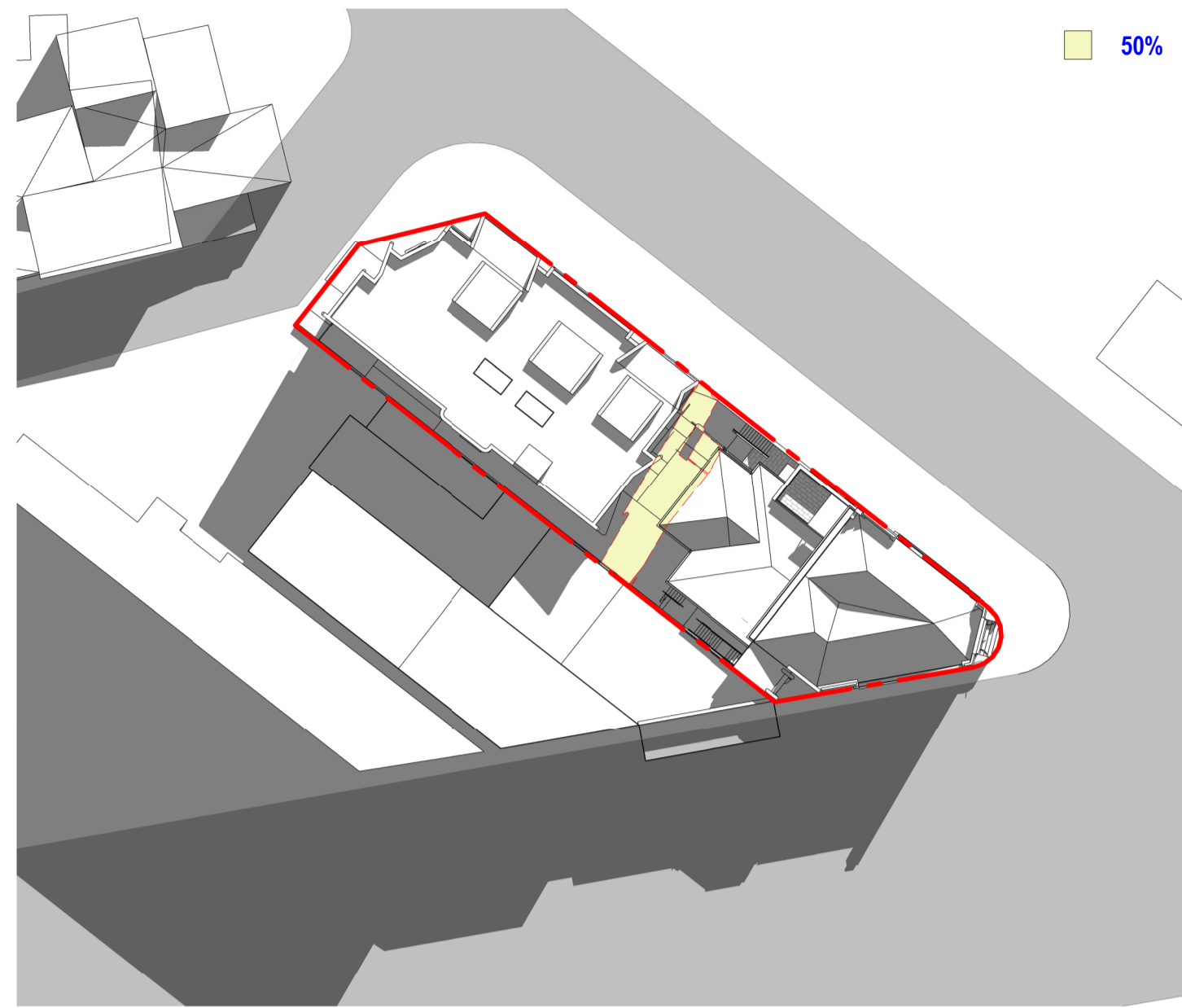
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55.4%

1 SHADOW DIAGRAM 0900H

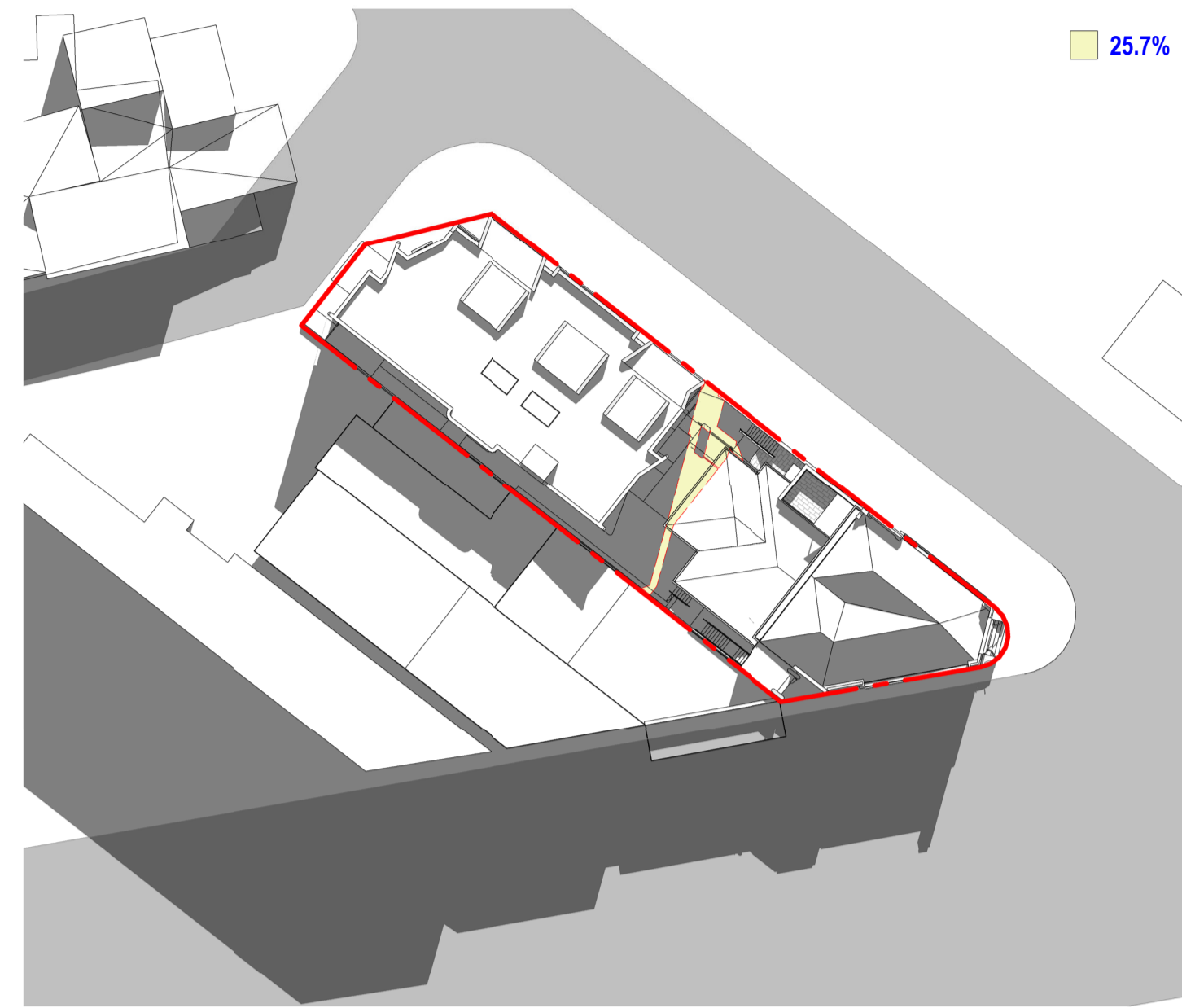
55.4% OF C.O.S RECIEVES DIRECT SUNLIGHT



50%

2 SHADOW DIAGRAM 1000H

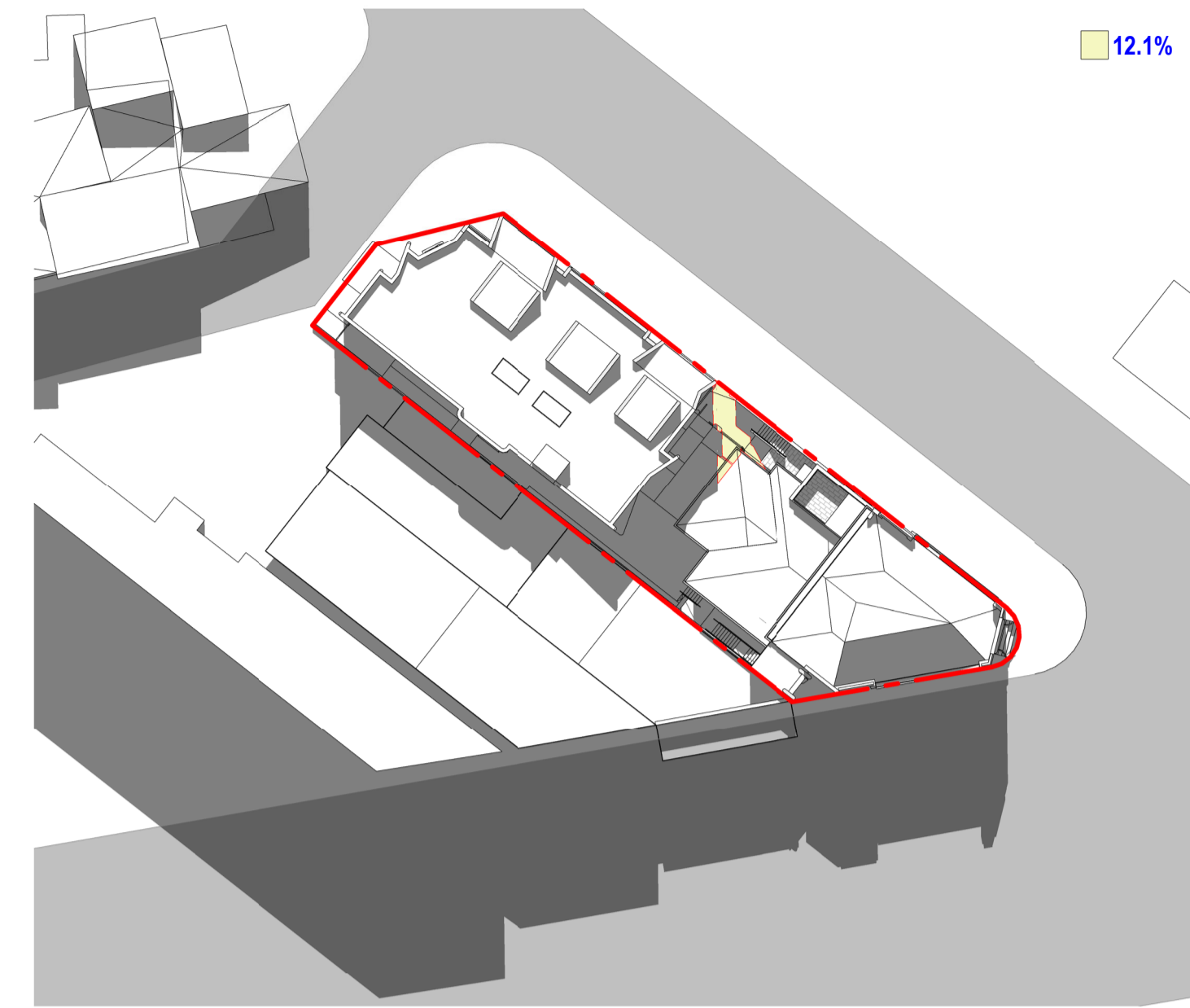
50% OF C.O.S RECIEVES DIRECT SUNLIGHT



25.7%

3 SHADOW DIAGRAM 1100H

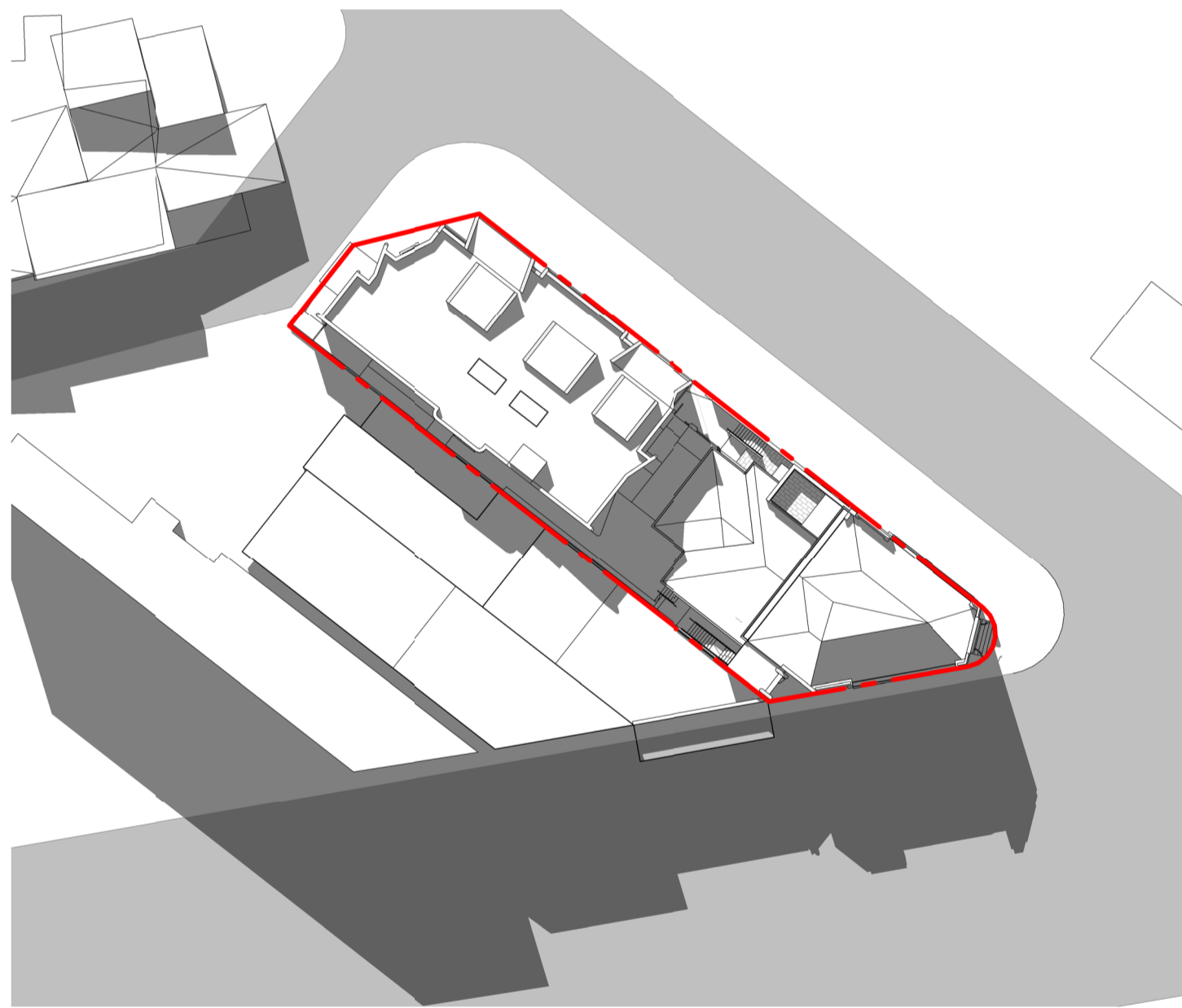
25.7% OF C.O.S RECIEVES DIRECT SUNLIGHT



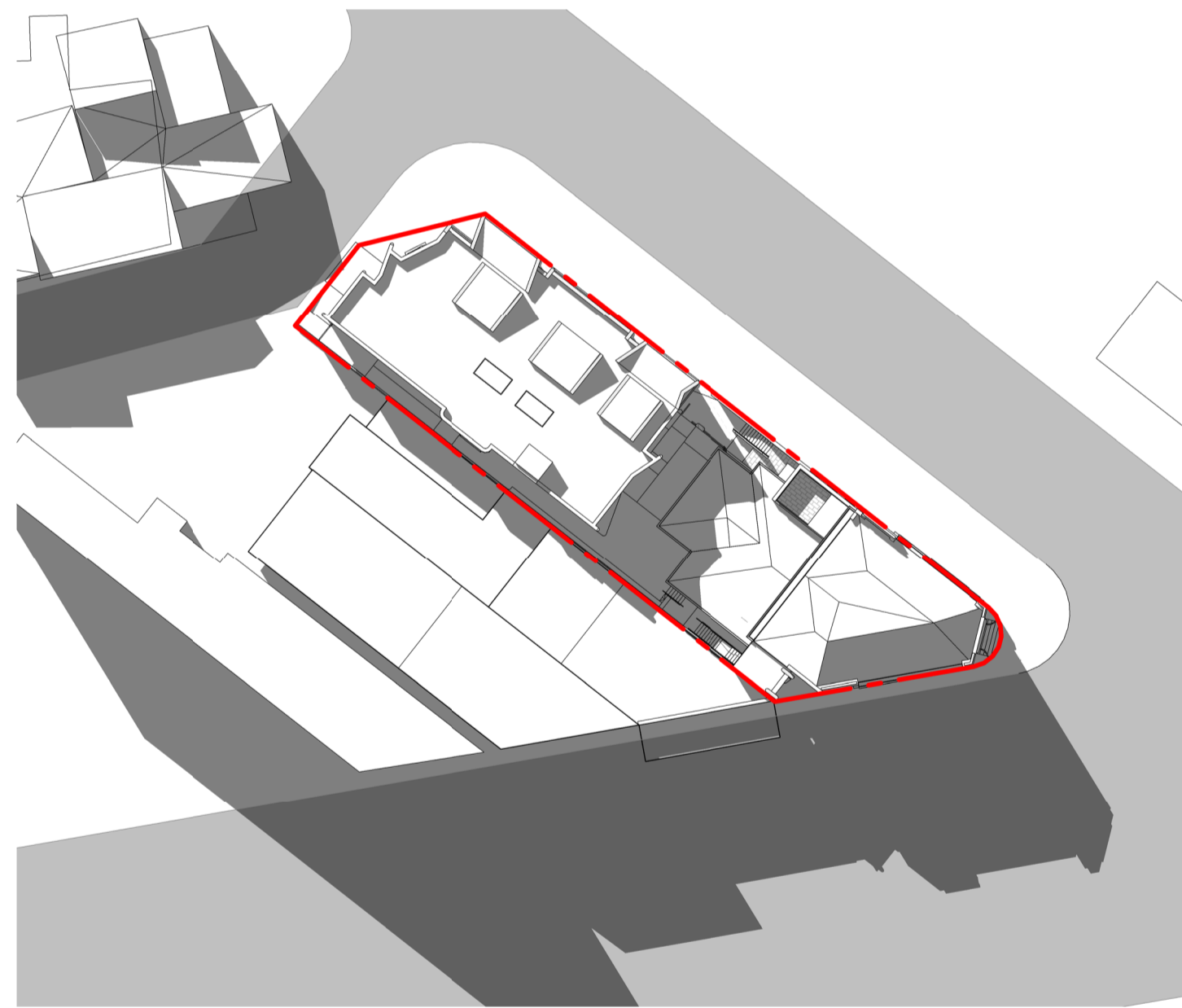
12.1%

4 SHADOW DIAGRAM 1200H

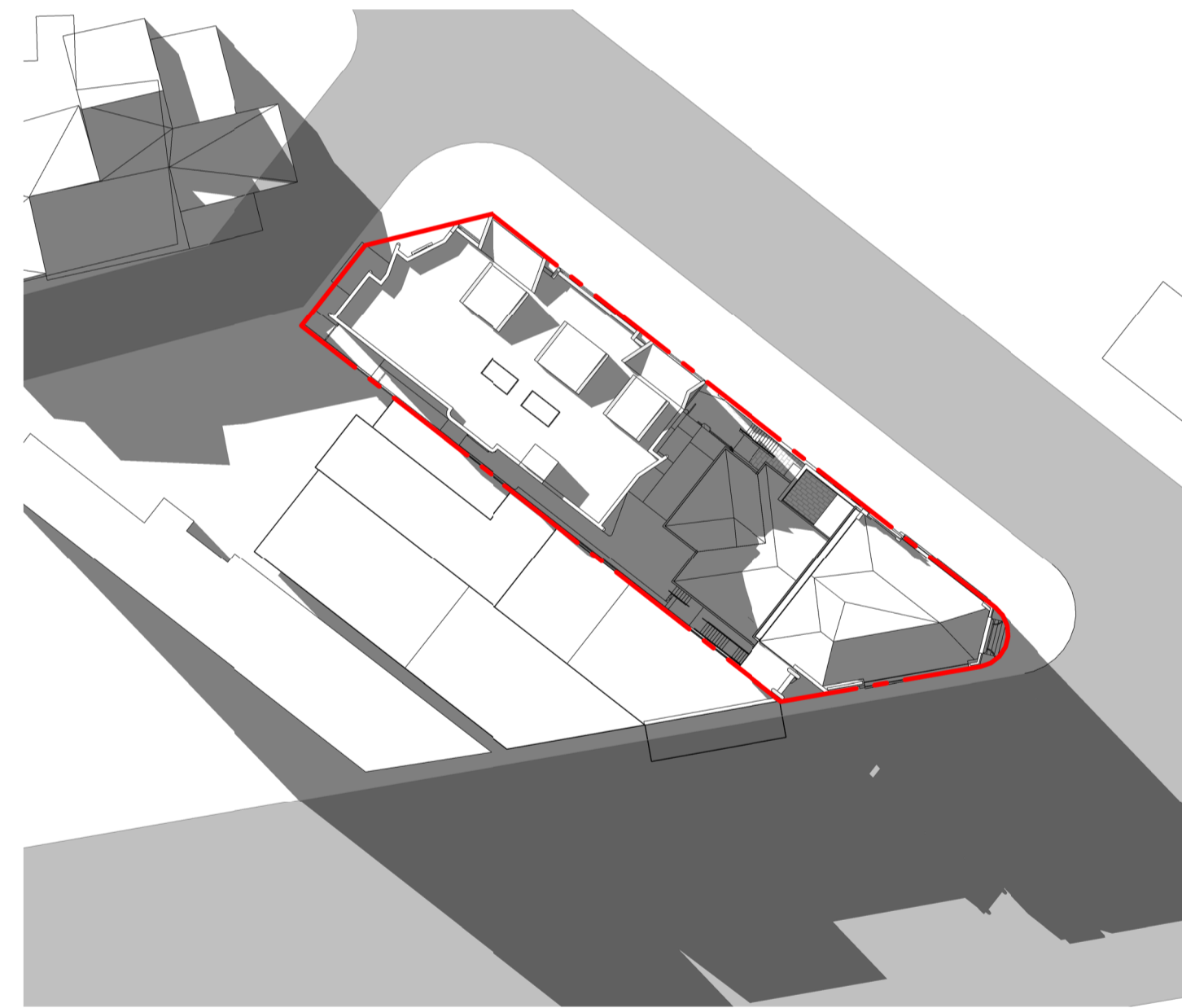
12.1% OF C.O.S RECIEVES DIRECT SUNLIGHT



5 SHADOW DIAGRAM 1300H



6 SHADOW DIAGRAM 1400H



7 SHADOW DIAGRAM 1500H

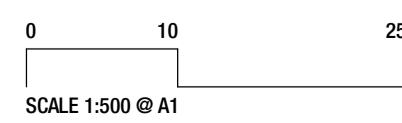
Rev.	Description	Issued By	Date
1	ISSUE FOR DA	CA	13/05/22
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Notes

Legend

- COMMUNAL OPEN SPACE
- DIRECT SUNLIGHT

Key Plan



Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

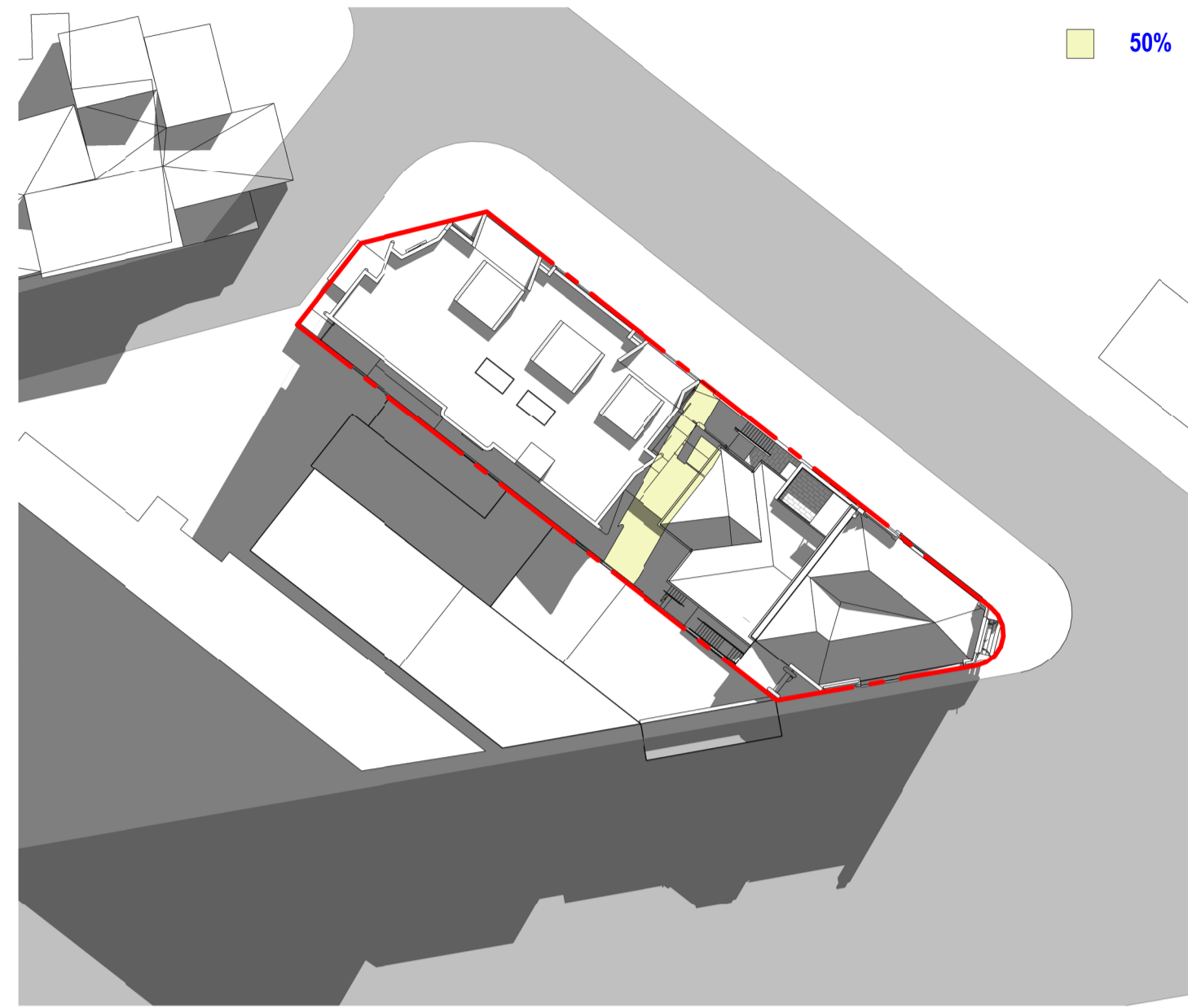
Drawing Title
SHADOW DIAGRAMS 21 JUN 9AM-3PM

Scale @ A1	Checked By	Approved By	Project Status
As indicated	CAn	CAr	DA
Sheet Created	Discipline	Drawing Number	Drawn By
MAR 2022	A	DA-800	EC
Project No.	Discipline	Drawing Number	Revision
2021035	A	DA-800	2

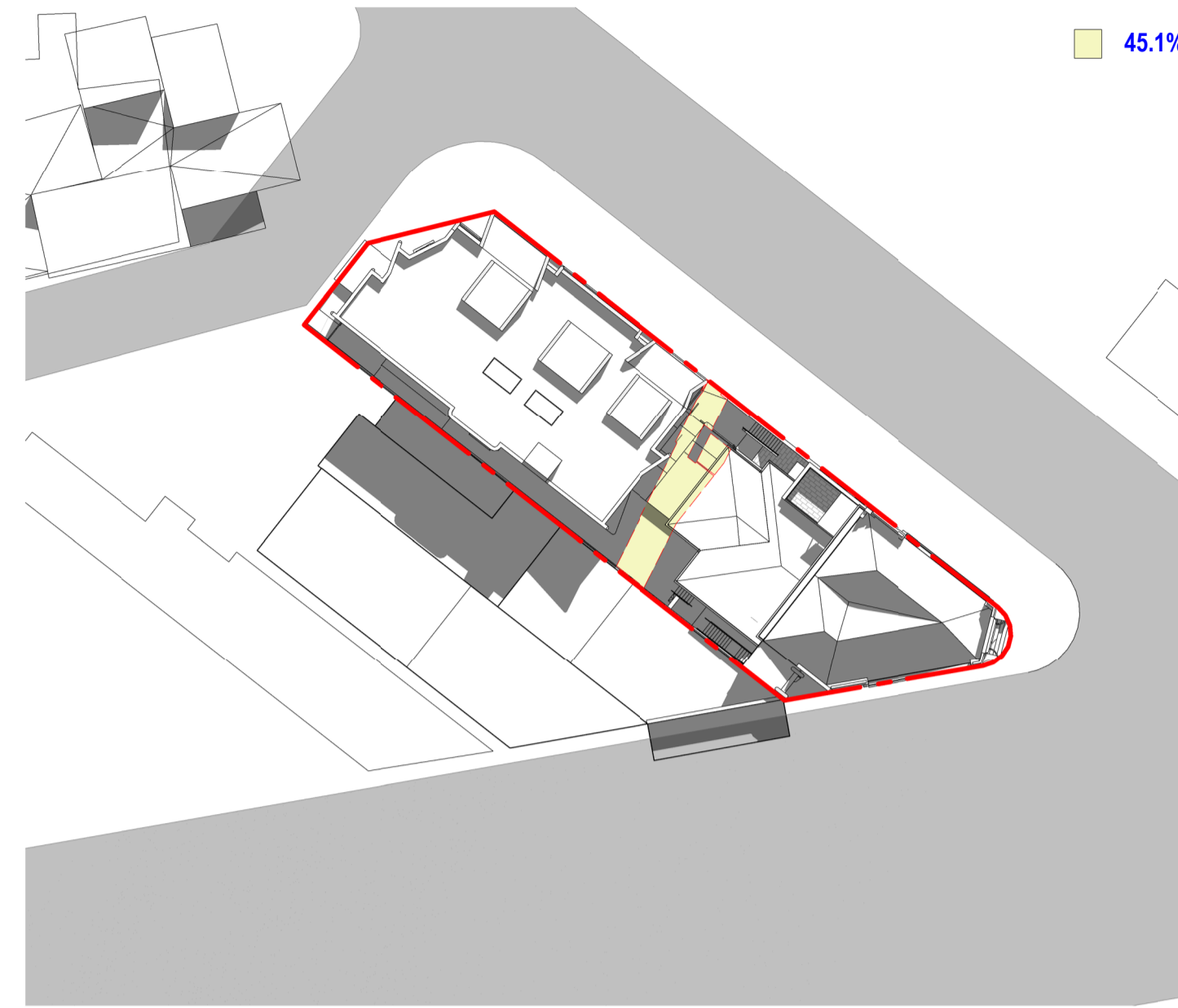
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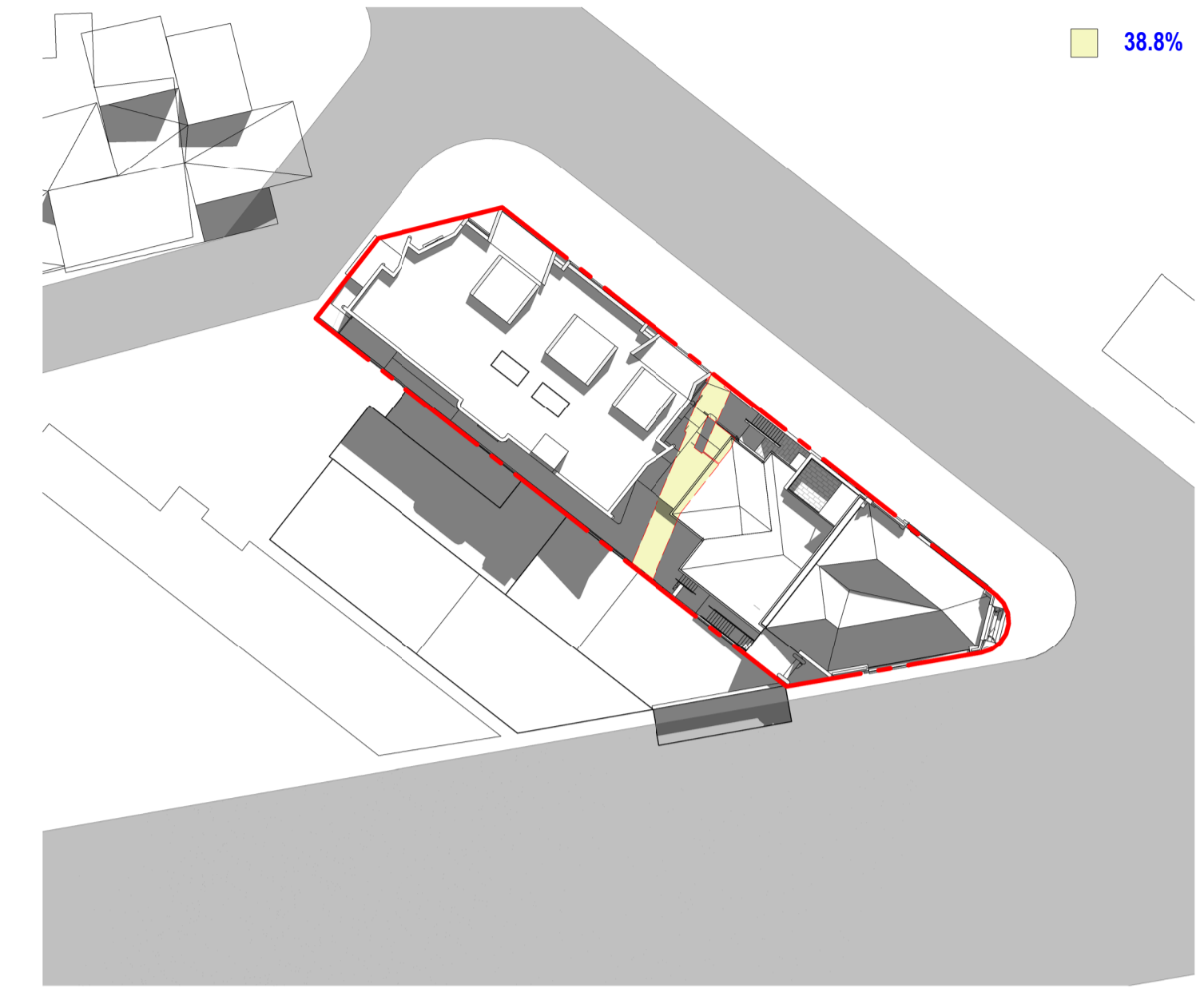
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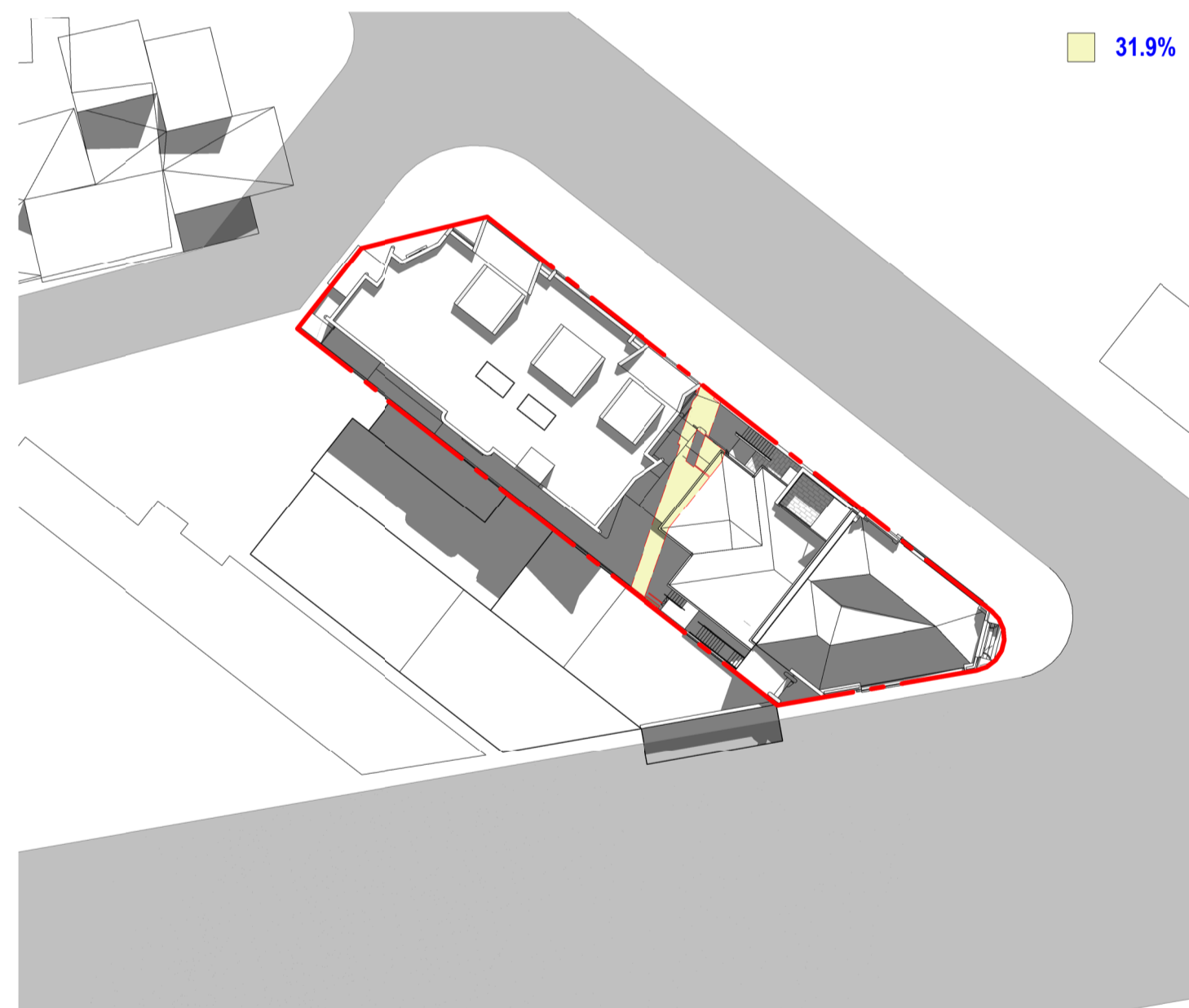
1 SHADOW DIAGRAM 1000H
50% OF C.O.S RECIEVES DIRECT SUNLIGHT



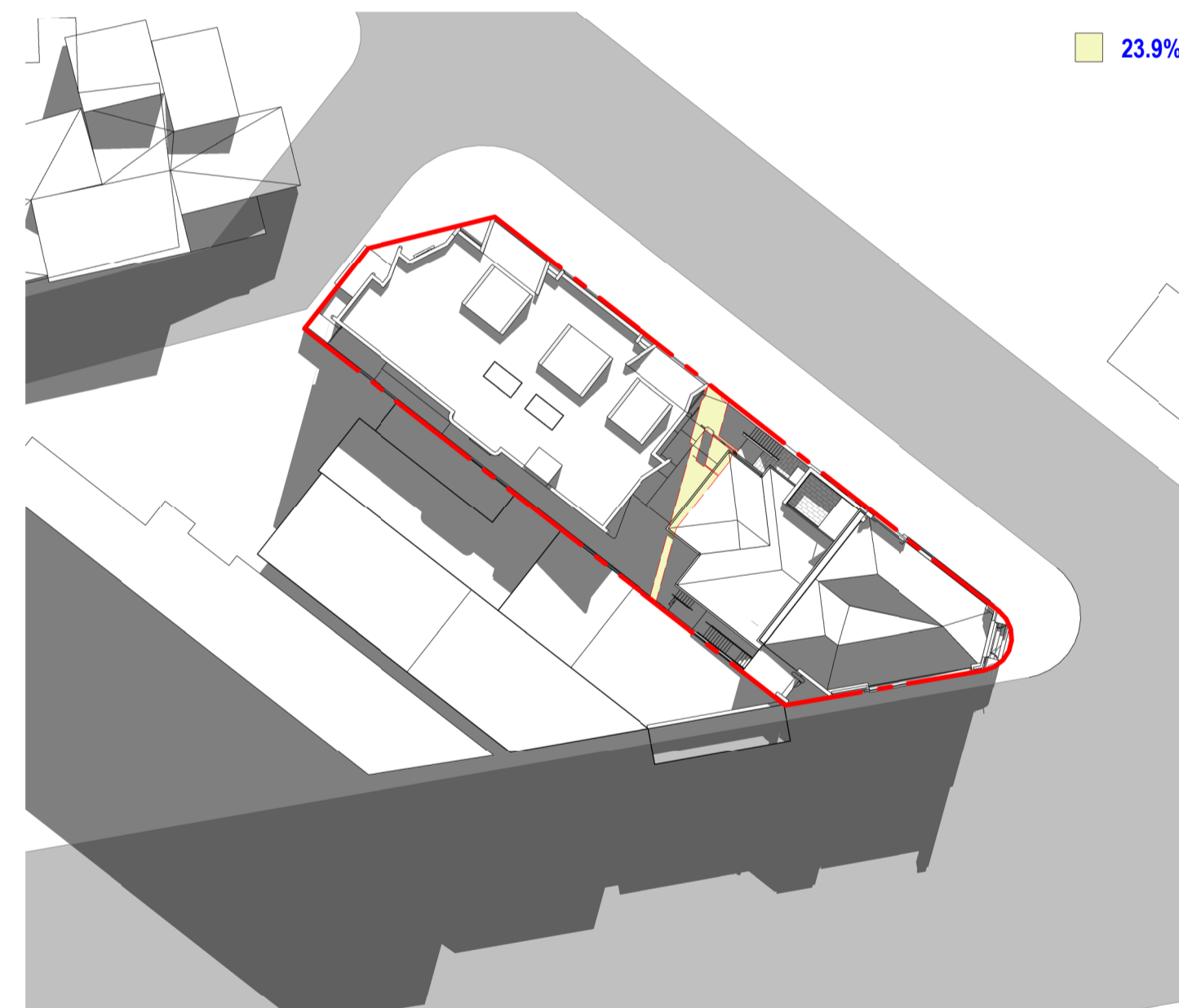
2 SHADOW DIAGRAM 1015H
45.1% OF C.O.S RECIEVES DIRECT SUNLIGHT



3 SHADOW DIAGRAM 1030H
38.8% OF C.O.S RECIEVES DIRECT SUNLIGHT



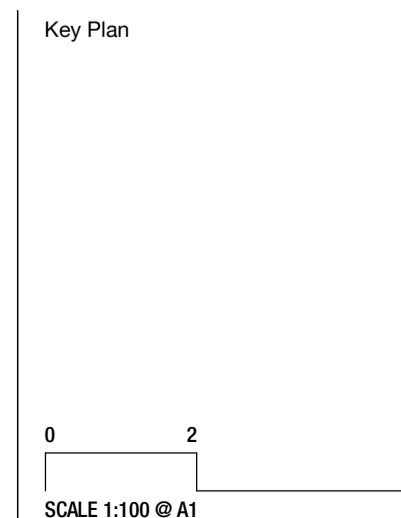
4 SHADOW DIAGRAM 1045H
31.9% OF C.O.S RECIEVES DIRECT SUNLIGHT



5 SHADOW DIAGRAM 1100H
23.9% OF C.O.S RECIEVES DIRECT SUNLIGHT

Amendments		Issued By	Date	Notes
Rev.	Description	CA	20/09/22	
1	REVISED DA			

- Legend**
- COMMUNAL OPEN SPACE
 - DIRECT SUNLIGHT



Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title			
SHADOW DIAGRAMS 21 JUN 10-11AM			
Scale @ A1	Checked By	Approved By	Project Status
As indicated	Checker	CA	DA
Sheet Created	Discipline	Drawing Number	Revision
JULY 2022	A	DA-801	1

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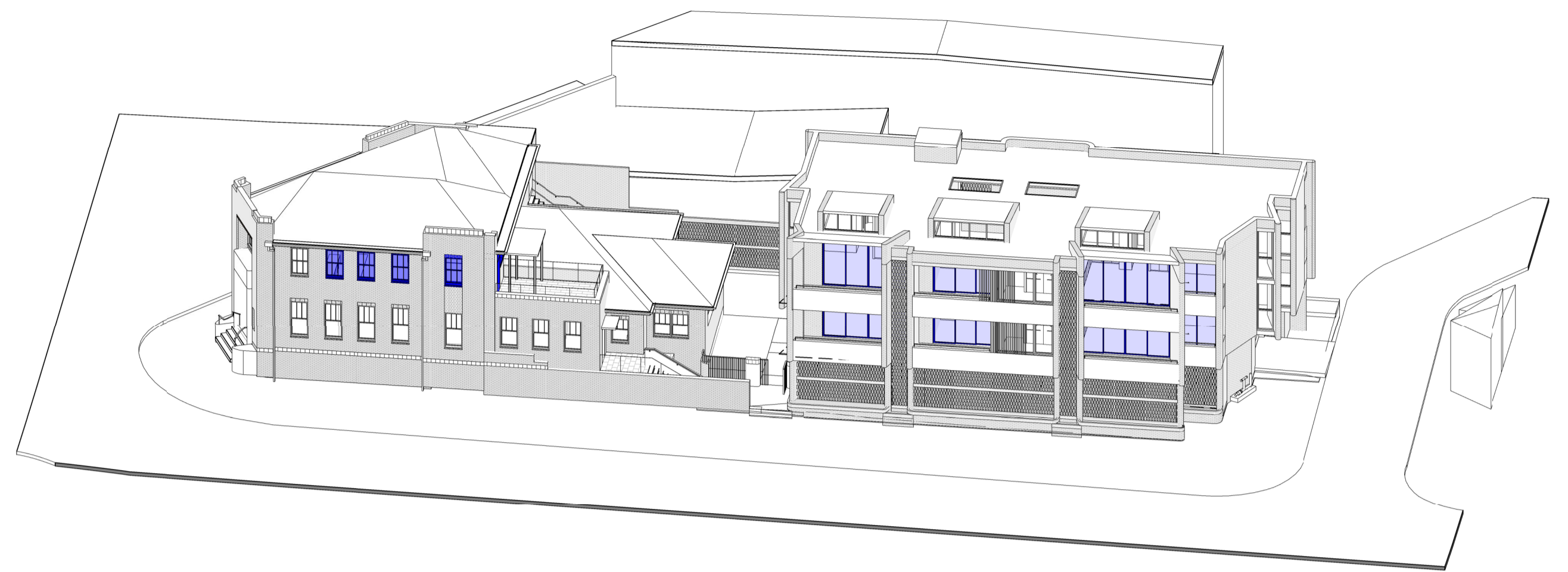
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 Jackson Teecce (Queensland) Pty Ltd
 Trading as Jackson Teecce
 ABRN 87 113 377 012

Nominated Architects
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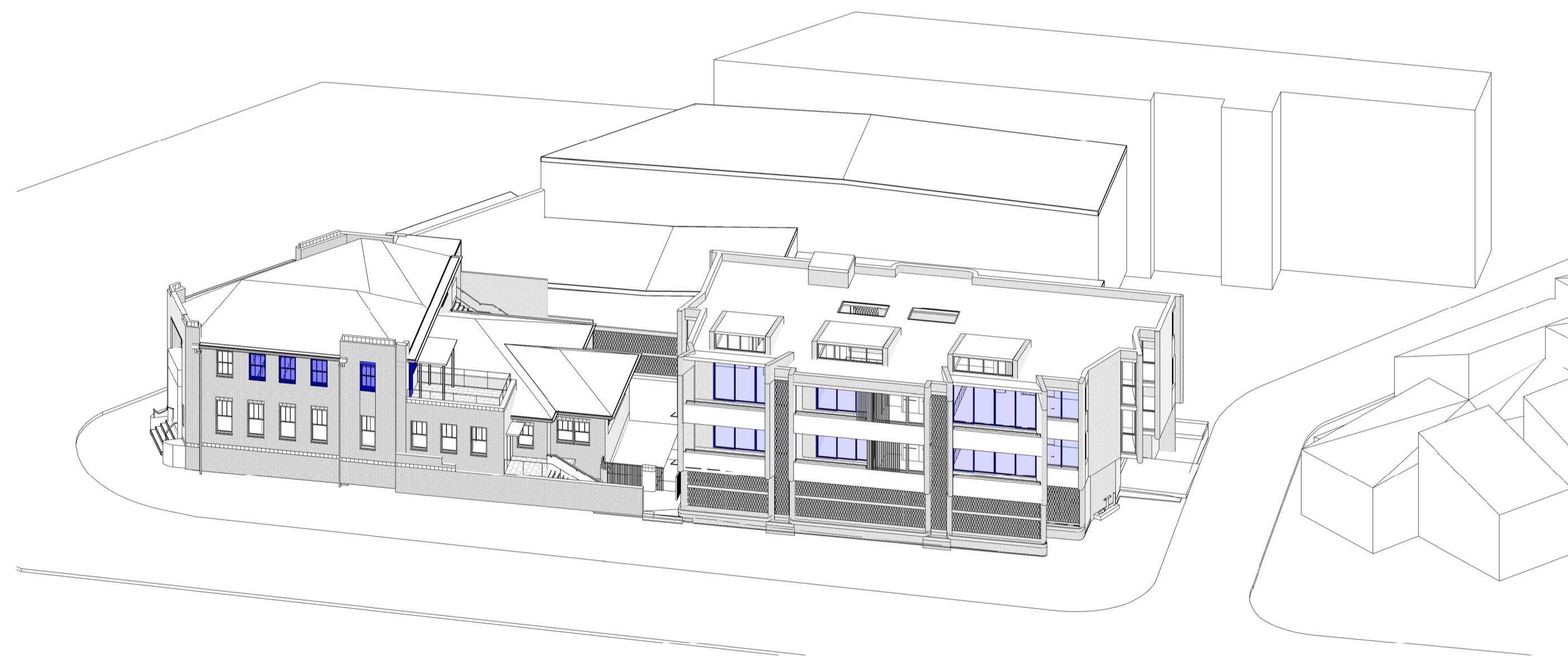
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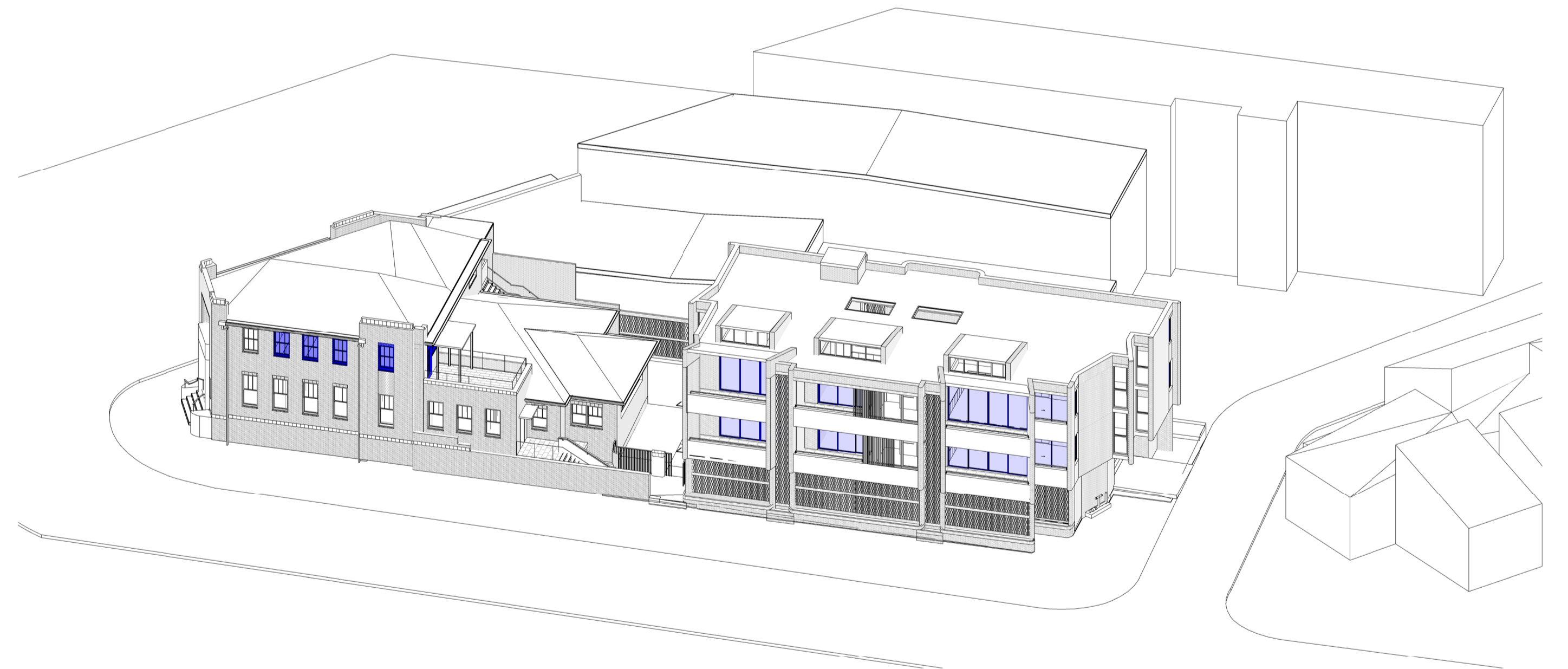
1 SUN EYE 21JUN 0900H



2 SUN EYE 21JUN 1000H



3 21JUN 1015H



4 21JUN 1030H

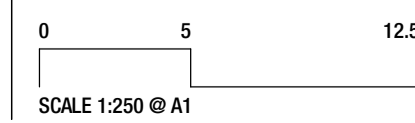
Rev.	Description	Issued By	Date
1	ISSUE FOR DA	CA	13/05/22
2	REVISED DA	CA	20/09/22

Notes

Legend

 LIVING ROOM WINDOW

Key Plan



Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title
SUN EYE DIAGRAMS

Scale @ A1
1 : 100

Sheet Created
MAR 2022

Project No.
2021035

Checked By
CAn

Discipline
A

Approved By
CAr

Drawing Number
DA-850

Project Status
DA

Drawn By
EC

Revision
2

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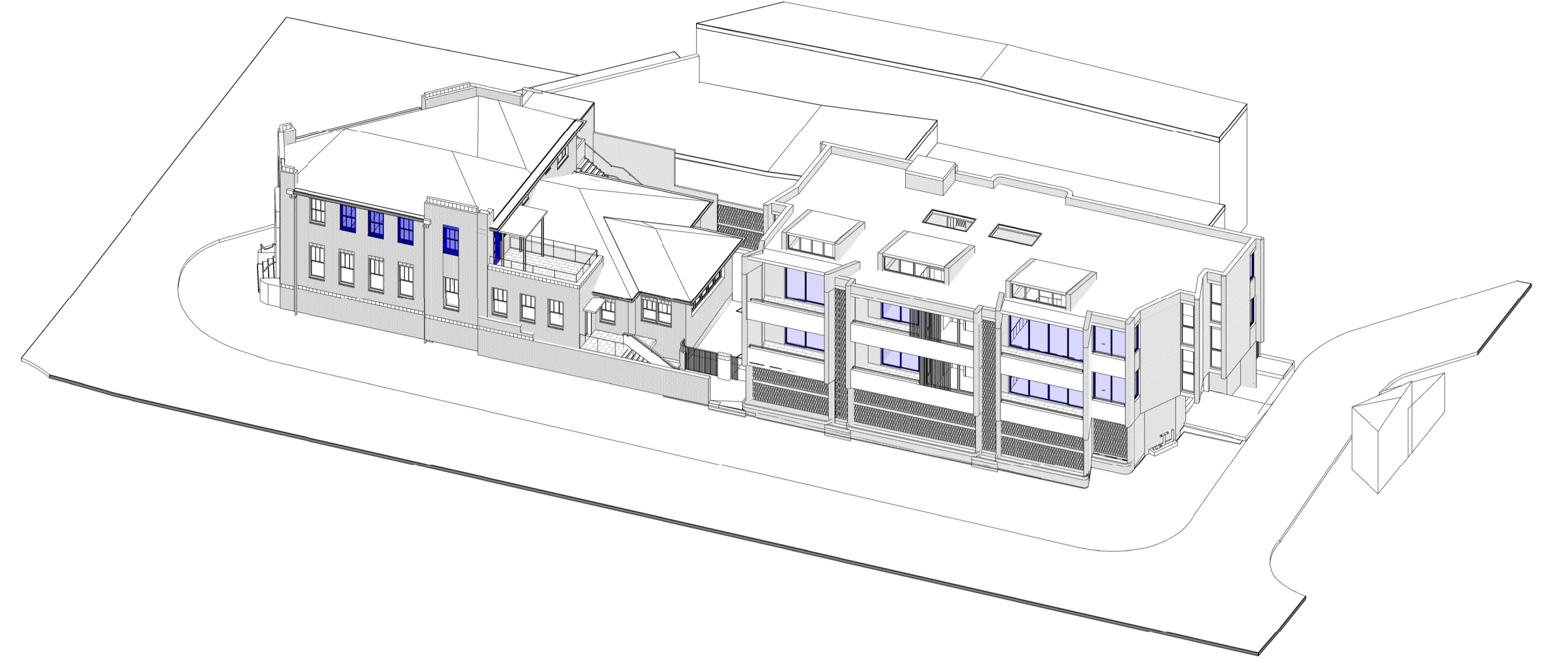
Jackson Teece (Queensland) Pty Ltd
Trading as Jackson Teece
ABN 87 113 377 012

Nominated Architects
Damian Barker (4465), Daniel Hudson (4261)

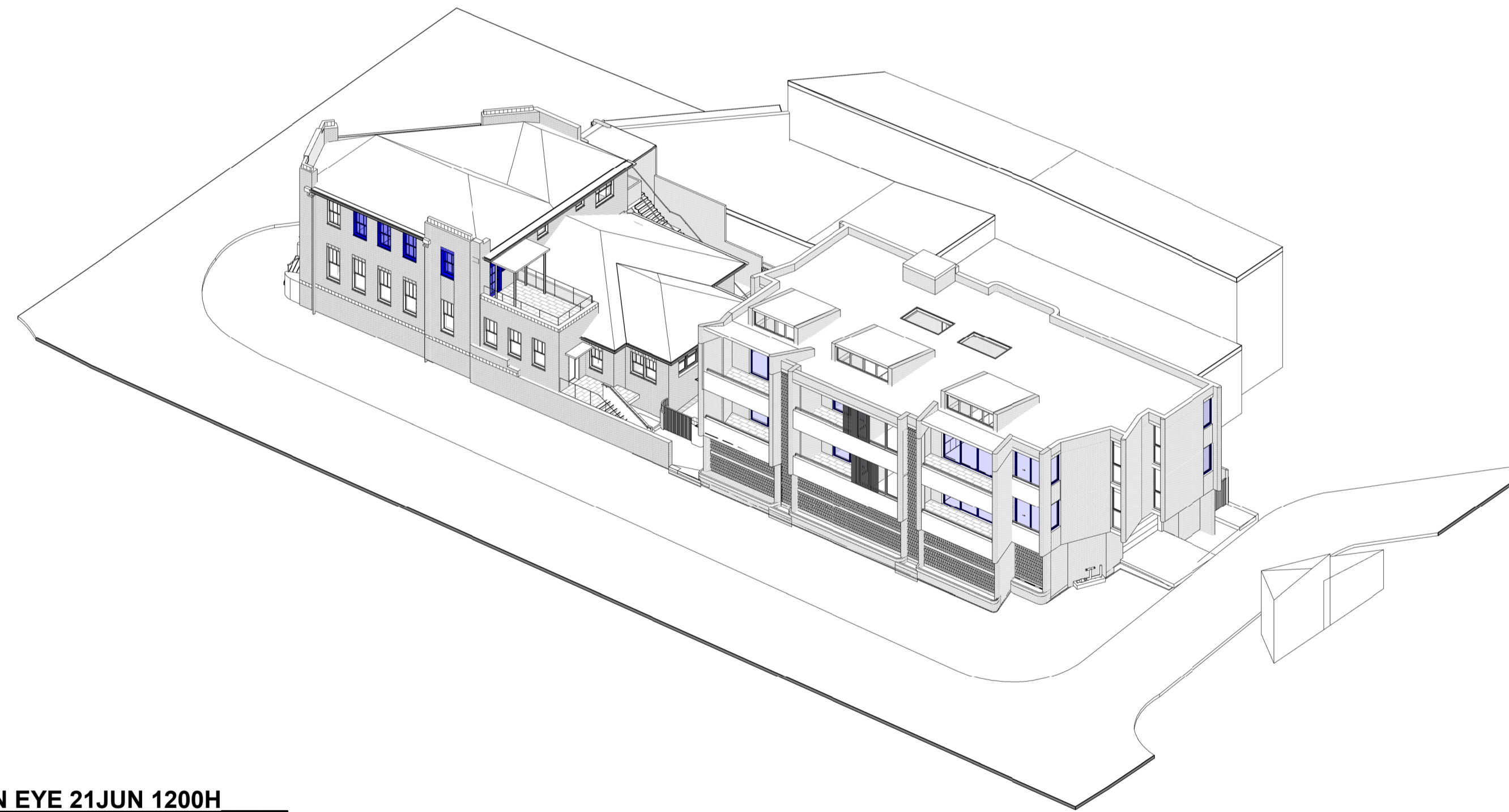
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1 21JUN 1045H



2 SUN EYE 21JUN 1100H



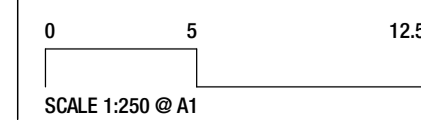
3 SUN EYE 21JUN 1200H

Amendments		Issued By	Date
Rev.	Description	CA	20/09/22
1	REVISED DA		

Notes

Legend

Key Plan



Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title
SUN EYE DIAGRAMS

Scale @ A1	Checked By	Approved By	Project Status
	Checker	CA	DA
Sheet Created AUG 2022	Checked By	Approved By	Drawn By
Project No. 2021035	Discipline A	Drawing Number DA-851	Revision 1

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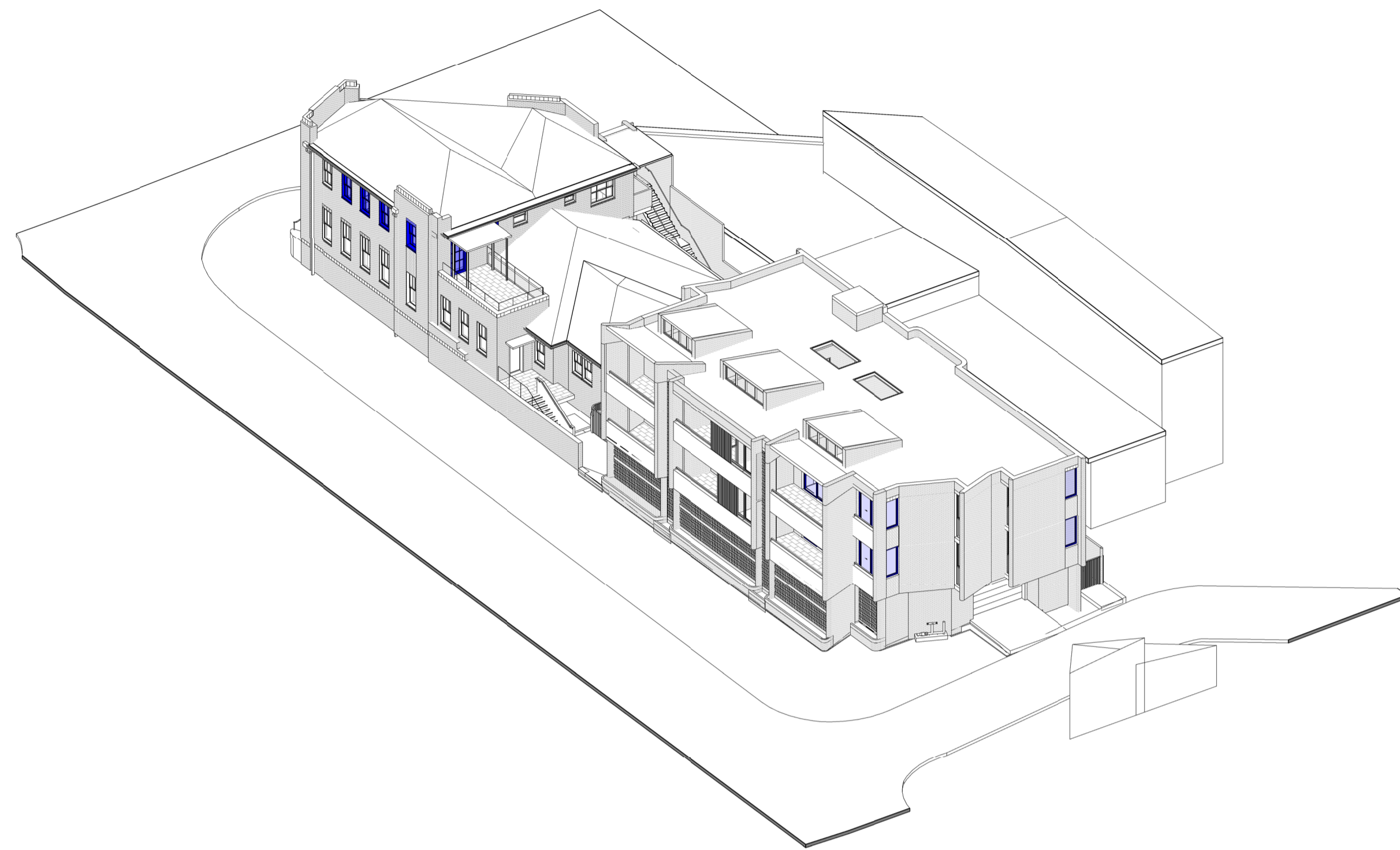
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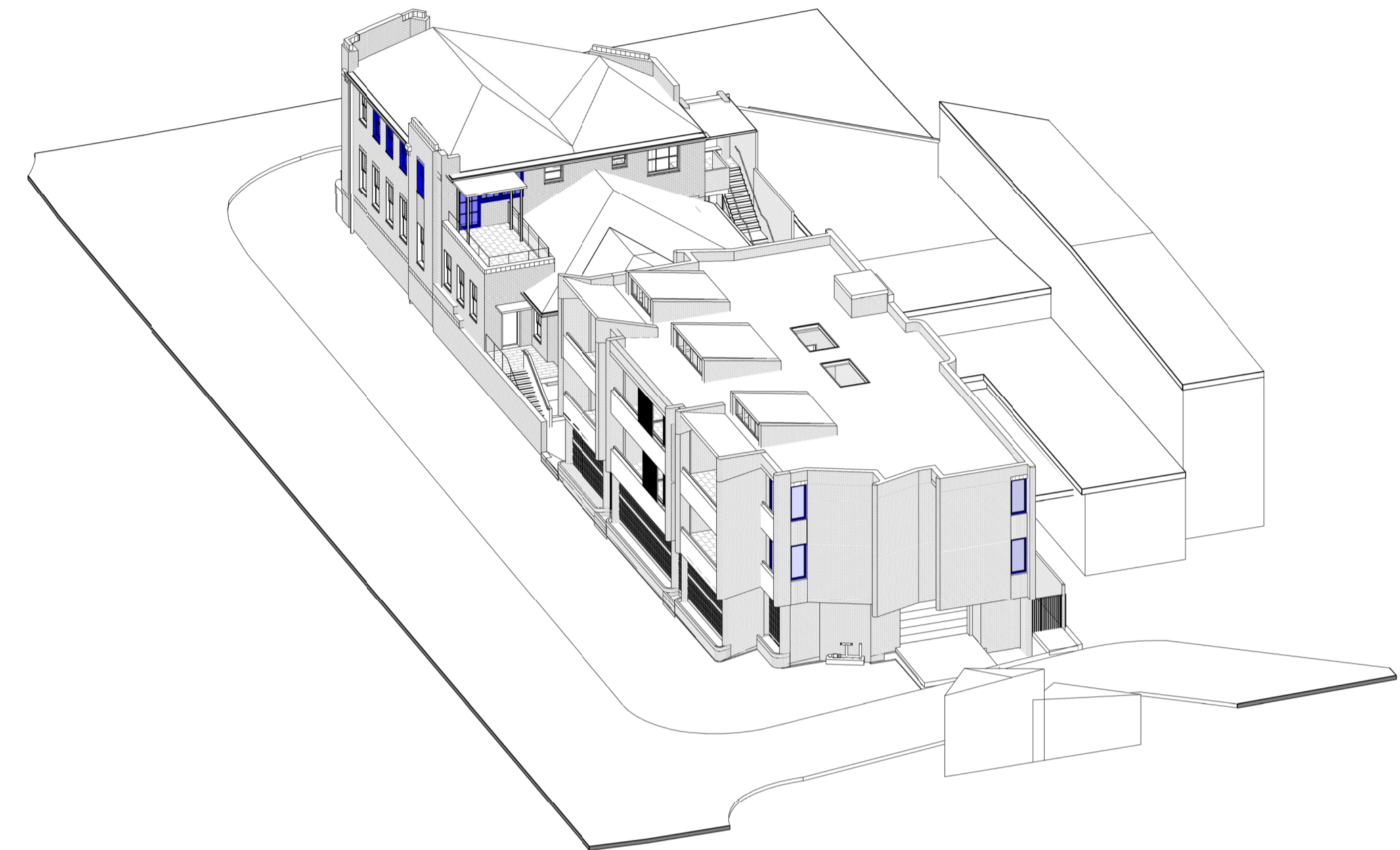
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Nominated Architects
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1 SUN EYE 21JUN 1300H



2 SUN EYE 21JUN 1400H

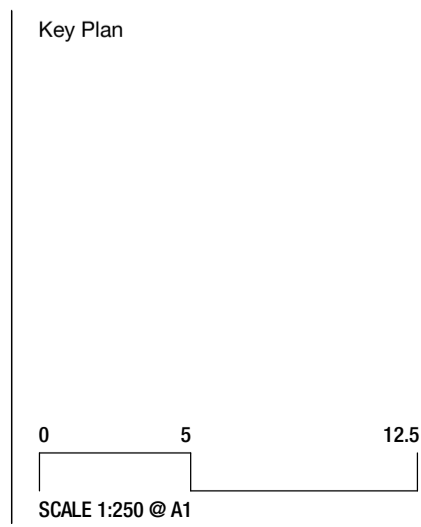


3 SUN EYE 21JUN 1500H

Rev.	Description	Issued By	Date
1	ISSUE FOR DA	CA	13/05/22
2	REVISED DA	CA	20/09/22

Notes

Legend
■ LIVING ROOM WINDOW



Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title			
SUN EYE DIAGRAMS			
Scale @ A1	Checked By		Project Status
1 : 100	CAn		DA
Sheet Created	Discipline	Approved By	Drawn By
MAR 2022	A	CAr	EC
Project No.	Discipline	Drawing Number	Revision
2021035	A	DA-852	2

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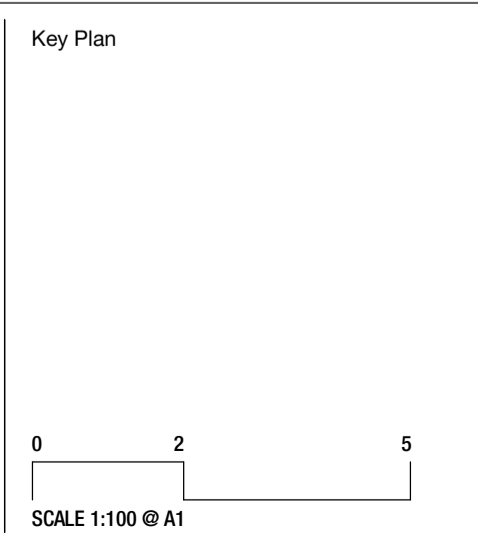


1 **10.5M HEIGHT PLANE DIAGRAM**

Amendments		Issued By	Date
Rev.	Description	CA	13/05/22
1	ISSUE FOR DA	CA	20/09/22
2	REVISED DA		

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Legend	



Project
**370 PENNANT HILLS RD,
 PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title			
BUILDING HEIGHT PLANE DIAGRAM			
Scale @ A1	Project Status		DA
Sheet Created	Checked By	Approved By	Drawn By
MARCH 2022	CAn	CAr	EC
Project No.	Discipline	Drawing Number	Revision
2021035	A	DA-855	2

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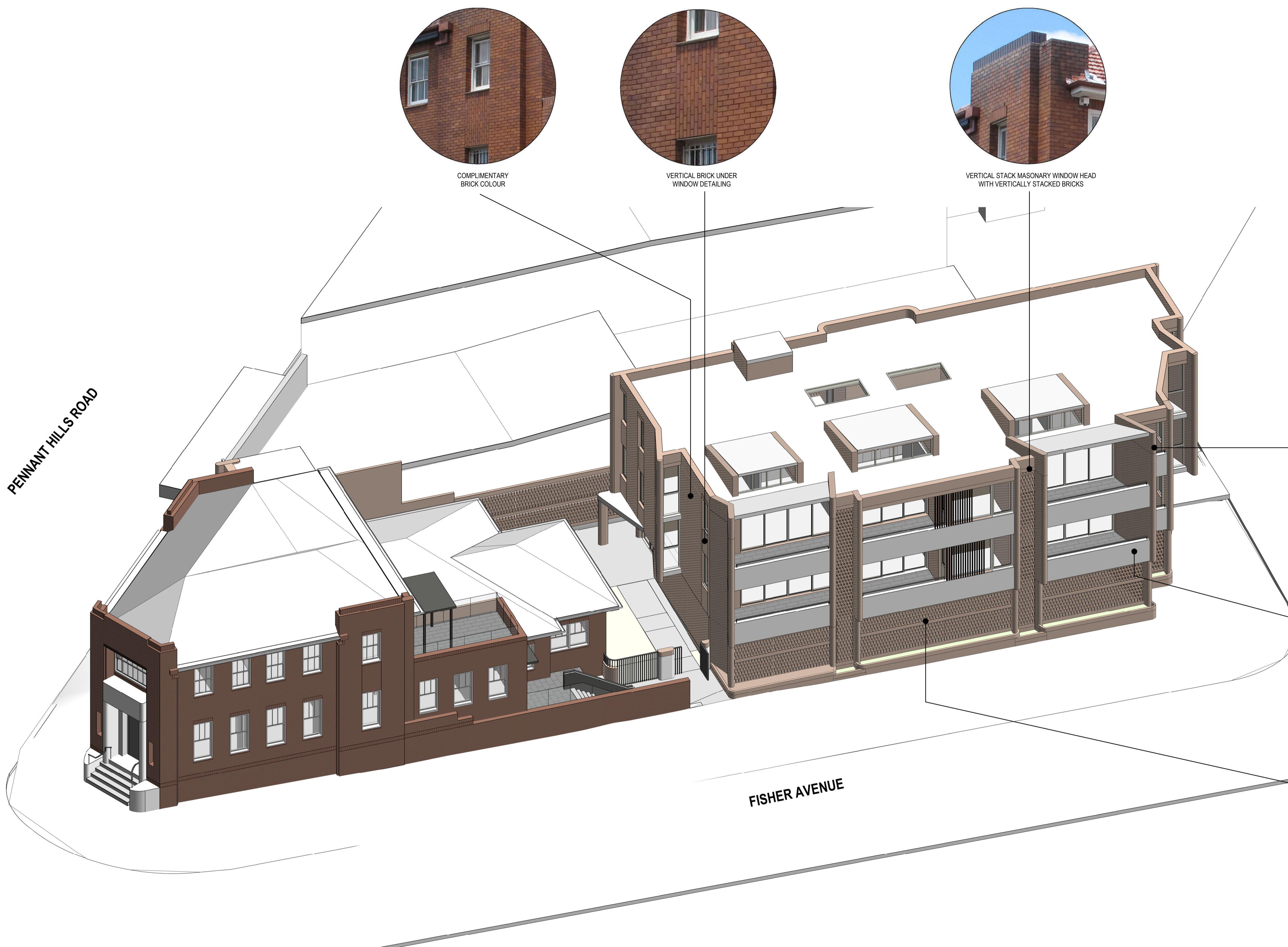
Brisbane Level 20, 344 Queen Street, Brisbane, QLD 4000 Australia
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COMPLIMENTARY BRICK COLOUR



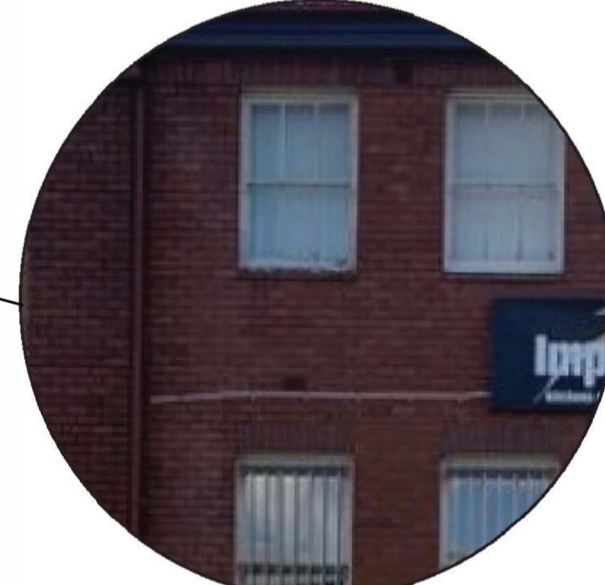
VERTICAL BRICK UNDER WINDOW DETAILING



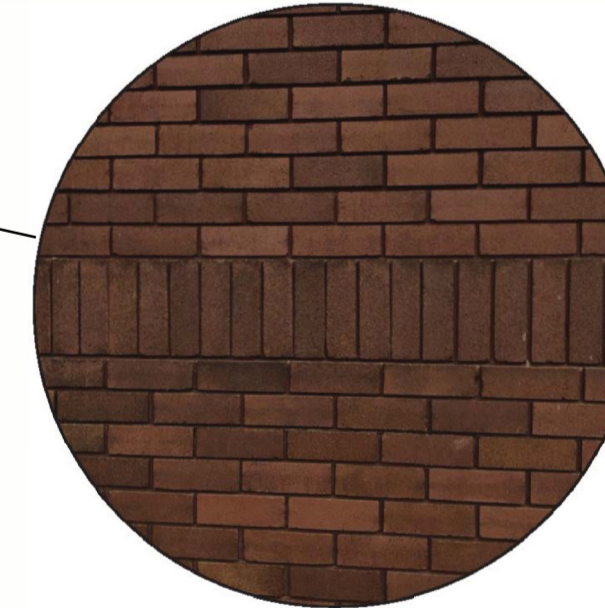
VERTICAL STACK MASONRY WINDOW HEAD WITH VERTICALLY STACKED BRICKS



ROUNDED BLADE LANGUAGE



SOLID TO OPENING RATIO



BOND BRICK DETAILING

PENNANT HILLS ROAD

FISHER AVENUE

Rev.	Description	Issued By	Date
1	ISSUE FOR DA	CA	13/05/22
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Amendments	Notes

Legend	Key Plan

Project
**370 PENNANT HILLS RD,
 PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title			
3D VIEWS			
Scale @ A1	Project Status		DA
Sheet Created	Checked By	Approved By	Drawn By
JAN 2022	CAn	CAr	SR
Project No.	Discipline	Drawing Number	Revision
2021035	A	DA-960	2

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Nominated Architects
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Rev.	Description	Issued By	Date
1	ISSUE FOR DA	CA	13/05/22
2	REVISED DA	CA	20/09/22

Notes

Legend

Key Plan

Project
**370 PENNANT HILLS RD,
 PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title VISUALISATIONS			
Scale @ A1	Project Status DA		
Sheet Created JAN 2022	Checked By CAn	Approved By CAr	Drawn By SR
Project No. 2021035	Discipline A	Drawing Number DA-961	Revision 2

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Amendments		Issued By	Date
Rev.	Description	CA	13/05/22
1	ISSUE FOR DA	CA	20/09/22
2	REVISED DA		

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Legend	

Key Plan	

Project
**370 PENNANT HILLS RD,
 PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

Drawing Title			
VISUALISATIONS			
Scale @ A1	Project Status		DA
Sheet Created	Checked By	Approved By	Drawn By
JAN 2022	CAn	CAr	SR
Project No.	Discipline	Drawing Number	Revision
2021035	A	DA-962	2

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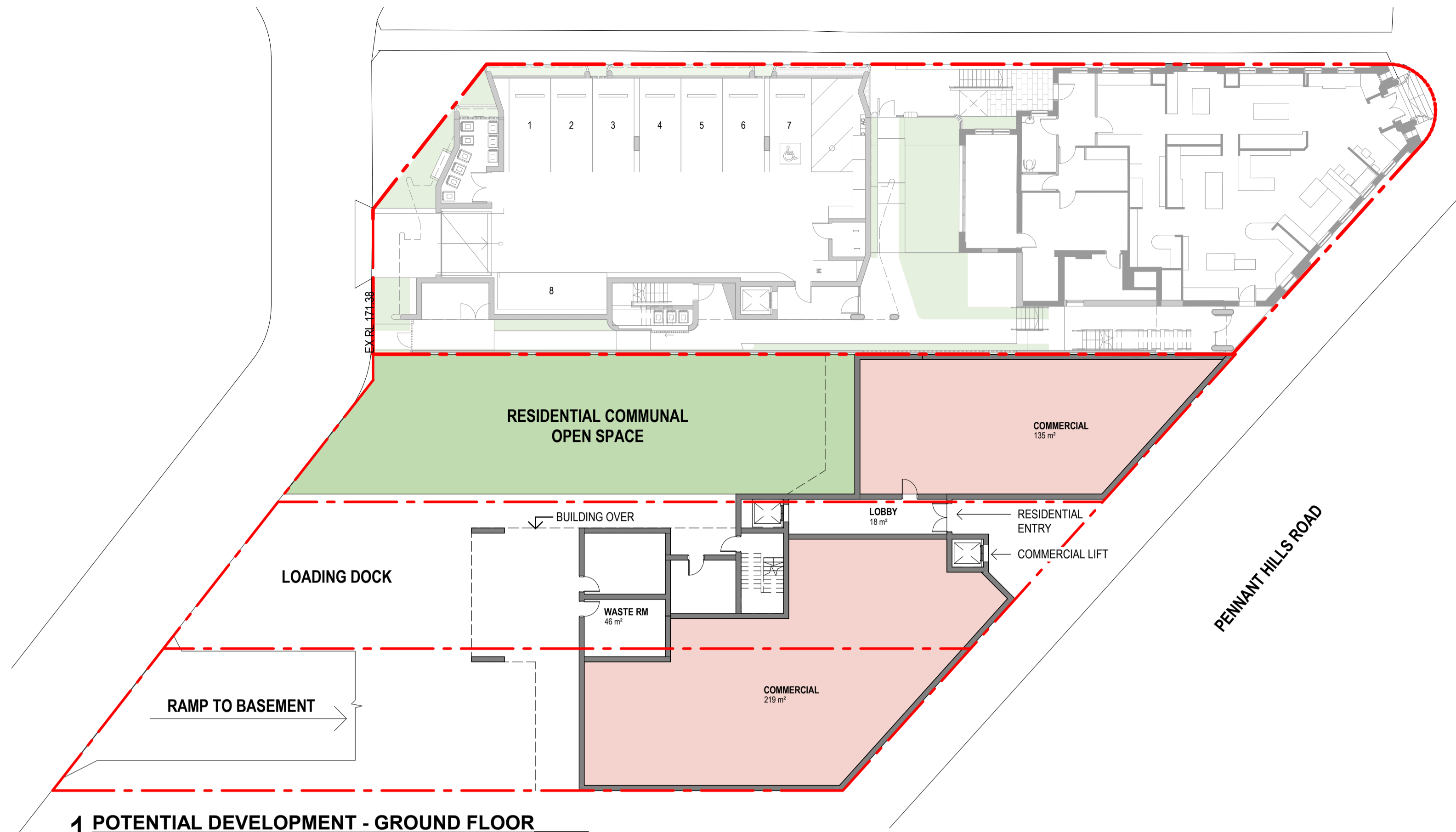
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**DEVELOPMENT POTENTIAL
372-376 PENNANT HILLS ROAD**

SITE AREA

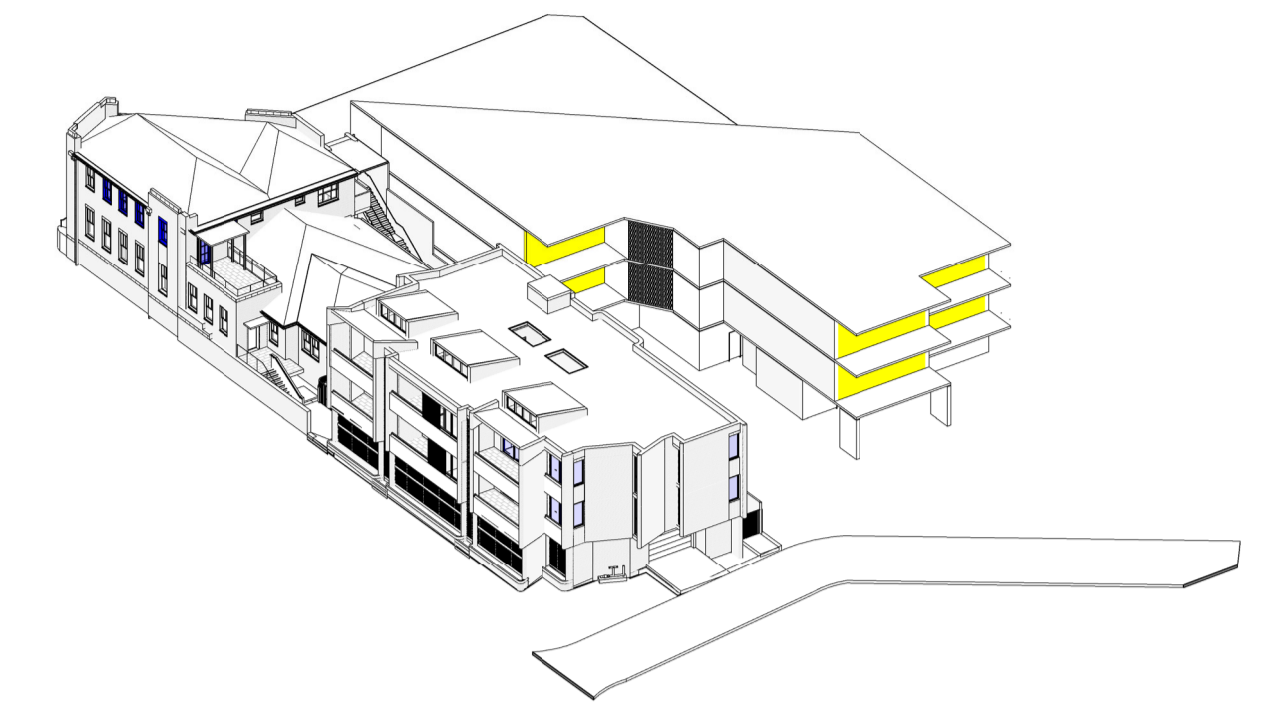
1180m² approx.

AREA SCHEDULE

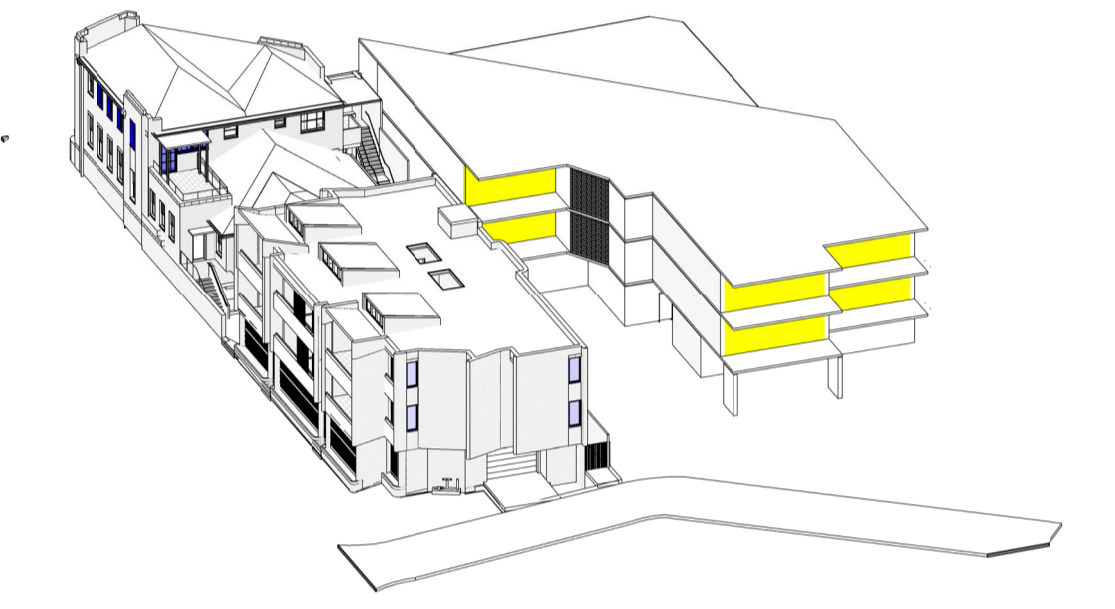
GROUND FLOOR COMMERCIAL WASTE	377m ² 46m ²
LEVEL 01 RESIDENTIAL	378.5m ²
LEVEL 02 RESIDENTIAL	378.5m ²

FSR CALCULATION (MAX FSR 1 : 1)

SITE AREA	GFA:	FSR
1180m ²	1180m ²	1 : 1



3 SUN EYE 21JUN 1300H

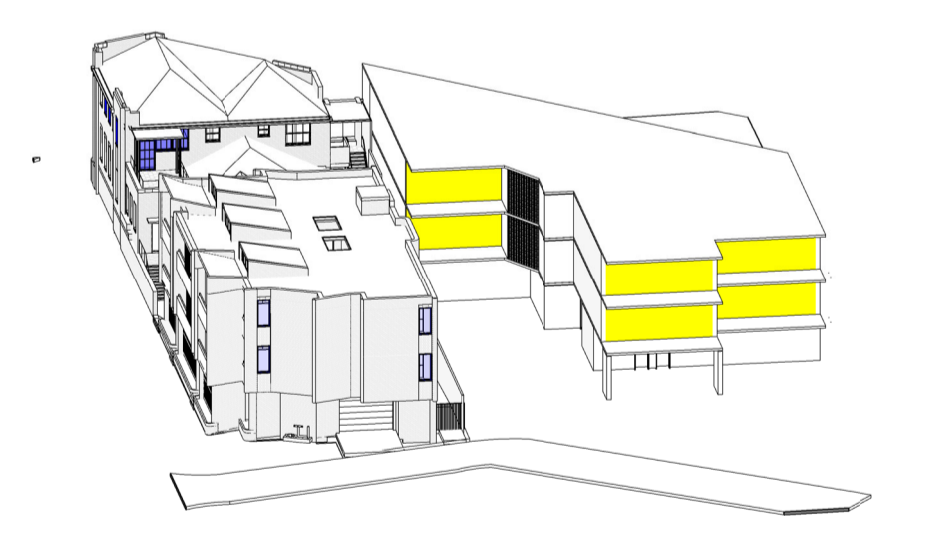


4 SUN EYE 21JUN 1400H



SOLAR & CROSSVENT

	2HR SOLAR L + POS	CROSSVENT
LEVEL 01		
1 BED	NO	NO
2 BED	YES	YES
2 BED	YES	YES
2 BED	YES	YES
LEVEL 02		
1 BED	NO	YES
2 BED	YES	YES
2 BED	YES	YES
2 BED	YES	YES
TOTAL	75%	87.5%



5 SUN EYE 21JUN 1500H

Amendments

Rev.	Description	Issued By	Date
1	ISSUE FOR DA	CA	13/05/22
2	REVISED DA	CA	20/09/22

Notes

Legend

	LIVING ROOM WINDOW
--	--------------------



Project
**370 PENNANT HILLS RD,
PENNANT HILLS**

Client
OMNI OFFICE PRODUCTS PTY LTD

NEIGHBOURING SITE POTENTIAL - FLOOR PLANS

Scale @ A1 As indicated	Checked By CAn	Approved By CA	Project Status DA
Sheet Created MAY 2022	Discipline A	Drawing Number DA-970	Drawn By EC
Project No. 2021035	Discipline A	Drawing Number DA-970	Revision 2

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