

**WINDOWS AND DOOR SCHEDULE**

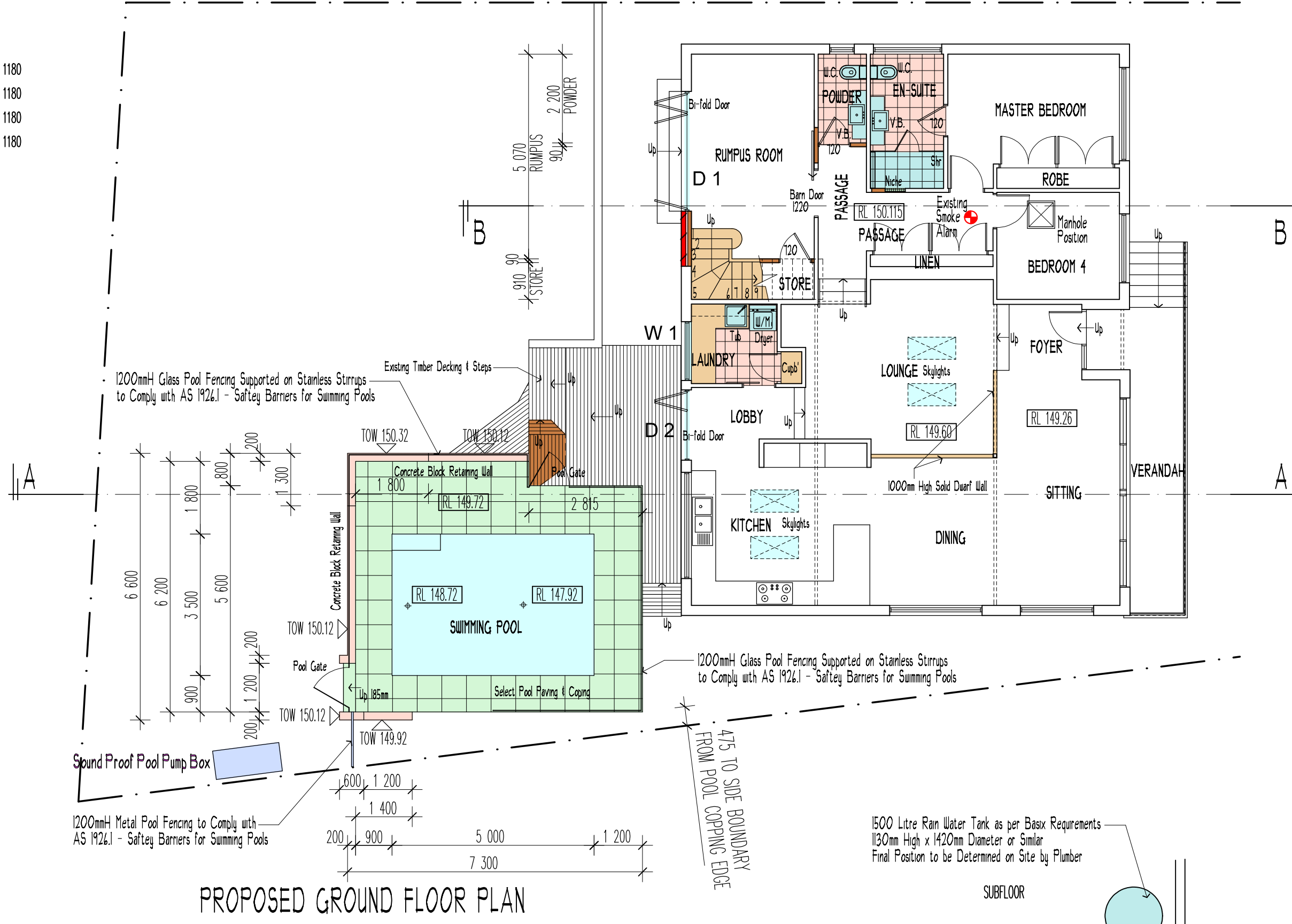
- W 1 1000 x 1450 ALUMINUM FRAME ANNING WINDOW
- W 2 1200 x 850 ALUMINUM FRAME ANNING WINDOW
- W 3 1200 x 850 ALUMINUM FRAME ANNING WINDOW
- W 4 1800 x 970 ALUMINUM FRAME FIXED WINDOW
- W 5 1200 x 850 ALUMINUM FRAME ANNING WINDOW
- W 6 1200 x 850 ALUMINUM FRAME ANNING WINDOW
- W 7 600 x 1810 ALUMINUM FRAME ANNING WINDOW
- W 8 600 x 1210 ALUMINUM FRAME ANNING WINDOW WITH OBSCURED GLAZING
- W 9 600 x 610 ALUMINUM FRAME ANNING WINDOW WITH OBSCURED GLAZING
- W 10 600 x 610 ALUMINUM FRAME ANNING WINDOW WITH OBSCURED GLAZING
- W 11 1200 x 610 ALUMINUM FRAME FIXED WINDOW
- W 12 1200 x 610 ALUMINUM FRAME ANNING WINDOW
- W 13 1200 x 610 ALUMINUM FRAME ANNING WINDOW
- W 14 1200 x 610 ALUMINUM FRAME ANNING WINDOW
- W 15 1200 x 610 ALUMINUM FRAME ANNING WINDOW
- W 16 1200 x 610 ALUMINUM FRAME FIXED WINDOW
- W 17 1200 x 610 ALUMINUM FRAME ANNING WINDOW
- W 18 1200 x 610 ALUMINUM FRAME ANNING WINDOW
- W 19 1200 x 610 ALUMINUM FRAME ANNING WINDOW
- D 1 2100 x 2962 ALUMINUM FRAME BI-FOLD DOOR
- D 2 2100 x 1740 ALUMINUM FRAME BI-FOLD DOOR



1450W x 1100D x 145H Acoustic Pool Pump & Filter Box

**SKYLIGHTS SCHEDULE**

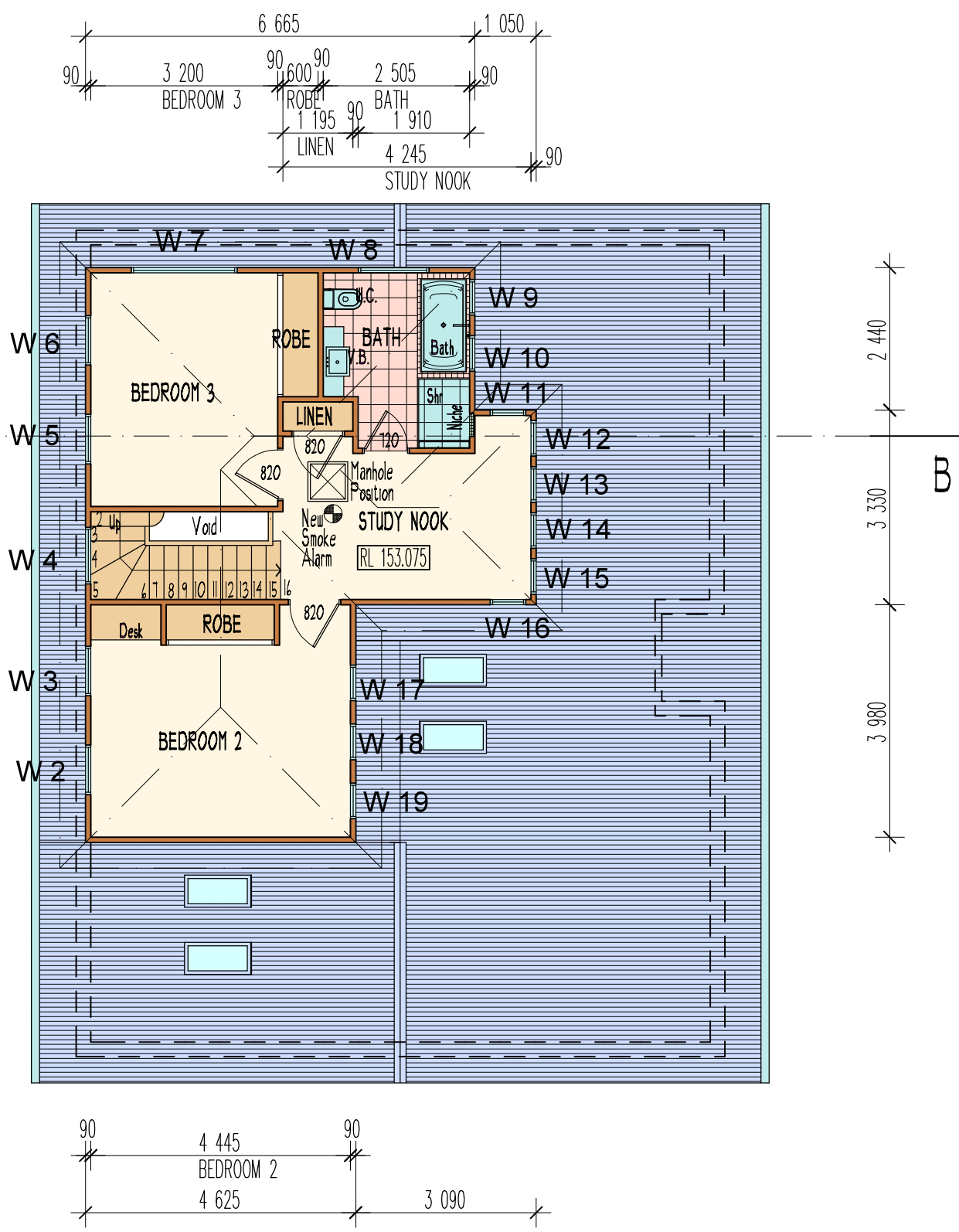
- S 1 ALUMINUM FRAME FIXED SKYLIGHT - FS 550 x 1180
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- S 4 ALUMINUM FRAME FIXED SKYLIGHT - FS 550 x 1180



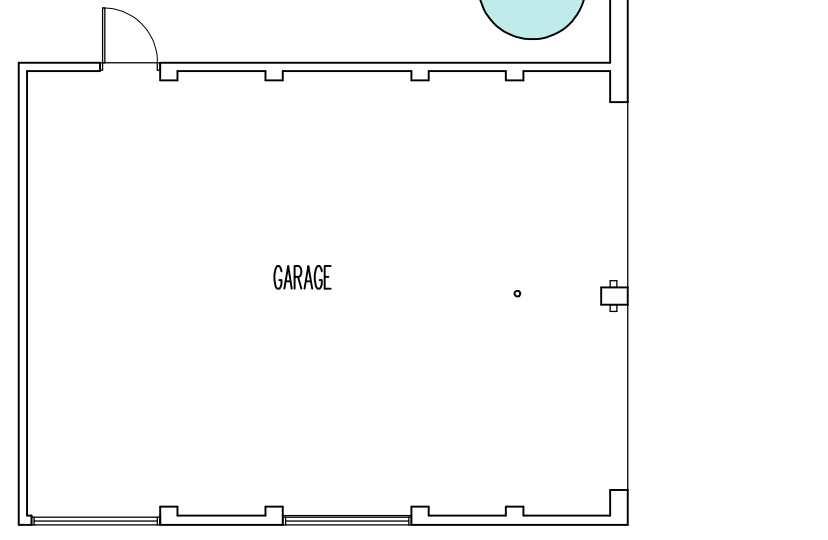
PROPOSED GROUND FLOOR PLAN

**GENERAL CONSTRUCTION NOTES**

- Select Hardwood Staircase & Select 1000mm Balustrade to be Compliant to NCC 2019 Volume 2 Part 3.9.1 & Part 3.9.2 Australian Standard 1457 & 1170.1
- All Smoke Alarms are to be Hard Wired & Interconnected in Accordance to NCC 2019 Volume 2 Part 3.1.5 & AS 3000:2018, AS 3186-2014 & AS 3008
- The Proposed Bathroom Floor / Walls will be Waterproofed in Accordance to AS 3140-1994 - Flooring Material will be 19mm Thick Gycon Sheet Flooring
- The Proposed Ground Floor & First Floor Addition Framing will be Timber & will be in Accordance to NCC 2019 Volume 2 Part 3.4.3 & AS 1684-2010 (National Timber Framing Code)
- The Proposed Ground Floor Masonry Veneer Walls will be in Accordance to NCC 2019 Volume 2 Part 3.3.5 & AS 3100 or AS 4113.1 & AS 4113.2
- The Proposed Structural Flooring to the Ground Floor will be 19mm Particleboard & will be in Accordance to NCC Volume 2 Part 3.4.3 & AS 1860.2
- The Proposed Insulation to the Ground Floor External Brick Veneer Walls will be a Minimum of R 1.1 as Required in the Basix Certificate
- The Proposed Insulation to the First Floor External Walls will be a Minimum of R 1.30 as Required in the Basix Certificate
- The Proposed Insulation to First Floor Ceilings will be a Minimum of R 2.5 & the Underside of the Roof Tiles is to have Foil Sarking, as Required in the Basix Certificate



PROPOSED FIRST FLOOR PLAN



EXISTING GARAGE FLOOR PLAN

**BASIX Certificate**

Building Sustainability Index www.basix.nsw.gov.au  
**Alterations and Additions**  
 Certificate number: A30041\_02  
 This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the requirements of all applicable regulatory authorities.  
 Secretary: Thursday, 07 July 2022  
 To view the certificate, please log in within 3 months of the date of issue.

Pool and Spa	Compliance	Compliance	Compliance
Rainwater tank	Compliance	Compliance	Compliance
Outdoor swimming pool	Compliance	Compliance	Compliance
Lighting	Compliance	Compliance	Compliance
Figures	Compliance	Compliance	Compliance
Construction	Compliance	Compliance	Compliance
Glazing requirements	Compliance	Compliance	Compliance

Window / door	Orientation	Area of glass (m²)	Orientation	Shading device	Frame and glass type
W1	North	1.45	North	None	Standard aluminium, single clear, (or U-value: 2.5, SHGC: 0.45)
W2	North	1.62	North	None	Standard aluminium, single clear, (or U-value: 2.5, SHGC: 0.45)
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**DESCRIPTION OF PROJECT**

Project address: 3 Butterfield St Thornleigh, NSW  
 Project name: 3 Butterfield Street Thornleigh 2120  
 Local Government Area: Hornsby Shire Council  
 Plan type and number: Deposited Plan S3028  
 Lot number: 1  
 Section number: 1

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 Finished ground levels on the plan are subject to the site conditions.  
 Do not scale from drawings. Figured dimensions are to be given preference over scale.  
 All figured dimensions are to be checked on site.

**COLOUR LEGEND**

- PROPOSED BRICKWORK
- PROPOSED TIMBER FRAMING
- PROPOSED WET AREAS
- PROPOSED JOINERY
- PROPOSED WINDOWS AND SKYLIGHTS
- PROPOSED FITTINGS
- PROPOSED FLOORING SIMILAR TO EXISTING
- PROPOSED CONCRETE AREA

ISSUE REVISION	ISSUE DATE	ISSUED FOR	ISSUED BY
A	17/09/21	Concept Drawing	R/H
B	07/06/22	DEVELOPMENT APPLICATION DRAWING	R/H
C	24/08/22	AMENDED DEVELOPMENT APPLICATION DRAWING	R/H



PROPOSED ALTERATIONS & ADDITIONS TO RESIDENCE AT:  
 3 BUTTERFIELD STREET,  
 THORNLEIGH NSW 2120  
 FOR:  
 BOUTSIKAKIS RESIDENCE

Scale: 1:100 @ A1 Date: JUNE 2021  
 Drawn by: PATRICK TRAN Drawing/Job No: 0756/21 Revision Issue: C  
 Sheet No: DA-04

**PROPOSED FLOOR PLANS & BASIX COMMITMENTS**

**BUSHFIRE RISK ASSESSMENT CERTIFICATE**  
 UNDER PART 4 DIVISION 4.3 SECTION 4.14 OF THE EP&A ACT 1979 NO 203

PROPERTY ADDRESS: 3 Butterfield Street, Thornleigh  
 DESCRIPTION OF PROPOSAL: Alterations and additions  
 PLAN REFERENCE: Proposed Site plan prepared by Buena Vista Home Designs, Job No. 0756 / 21, Dated June 2021  
 BAL RATING: BAL 12.5  
 BUSHFIRE RISK ASSESSMENT REPORT REFERENCE: 221043  
 REPORT DATE: 8th June 2022  
 CERTIFICATION NO/ACCREDITED SCHEME: BPAD30356

**Living the dream.**

BUENA VISTA HOME DESIGNS / R/H DESIGN  
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 email: rod.buenavista@optusnet.com.au