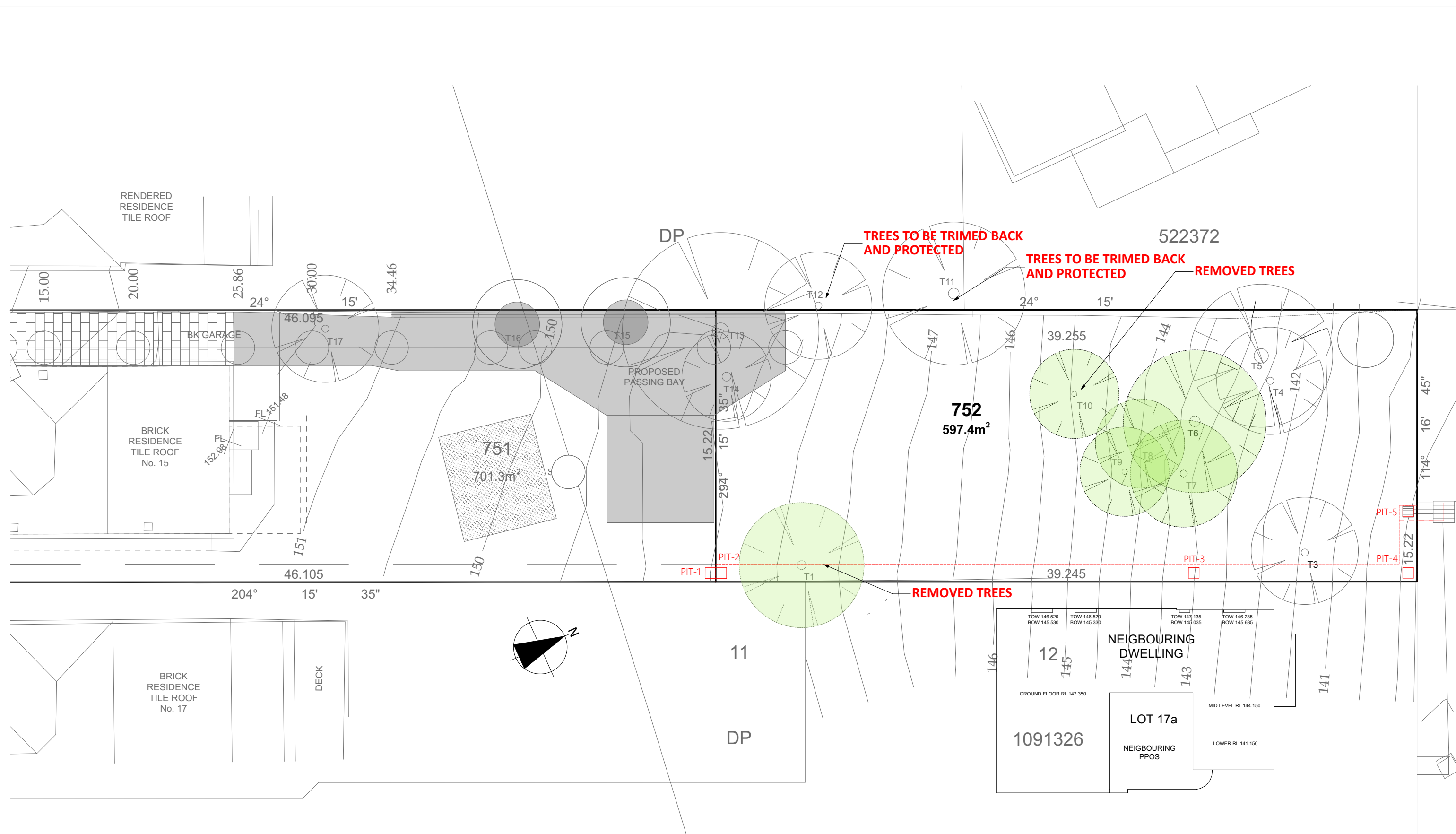


**NEW HOME ON BATTLE AXE LOT
LOT 75 DP660810, No.15 POMONA ST PENNANT
HILLS 2120 NSW** **REV E**



TREE REMOVAL PLAN

SCALE: 1:200

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TREE REMOVAL PLAN

Rev:	AMENDMENT:	BY:	DATE:

CLIENT:
MR MOHIT SAHNI
 SITE ADDRESS:
**LOT 75 DP660810, No.15
 POMONA ST
 PENNANT HILLS, NSW 2120**

DA SET PLANS		
DRAWN: DG	DATE: 9/09/2022	Rev: E
SCALE: 1:200 @ A3	CHECKED: DG	
SHEET: 2	JOB No: 10064	

LEGEND

	PROPOSED TIMBER/CLADDING
	PROPOSED CONCRETE
	PROPOSED STEEL
	PROPOSED BRICKWORK
	EXISTING
	EXISTING DEMOLISHED

Schedule	Areas	Changes
(A)	Trees	Trees 4 and 5 are now to be retained
(B)	Floor Areas	Reduced upper floor from 235.9 to 218.5 sqm (including balconies) Reduced lower floor from 133.9 to 105.7 sqm (including balconies) Upper balcony reduced from 32.8 to 18.7 sqm Total Floor Area Reduced from 363 sqm to 324 sqm.
(C)	Rear Setback	Increased rear boundary setback from 10.5m (house)/9m (balcony) to 13.2m (house)/10.15 (balcony)
(D)	Cut and Fill	Reduced from 1550 cut/800 fill to 624 cut/930 fill
(E)	Excavation	Reduced from 41 m3 to 9 m3
(F)	Stormwater	Proposed change to stormwater easement to eastern side to protect trees on the western side. Added OSD below deck

PROPOSED FLOOR AREAS

1 PROPOSED LOWER FLOOR	86.99
2 PROPOSED LOWER ALFRESCO	18.72
3 PROPOSED CARPORT	41.27
4 PROPOSED UPPER FLOOR	199.77
5 PROPOSED STAIR VOID	5.58
6 PROPOSED PORCH	2.95
7 PROPOSED BALCONY	18.72
TOTAL	374.00 m²

FLOOR SPACE RATIO

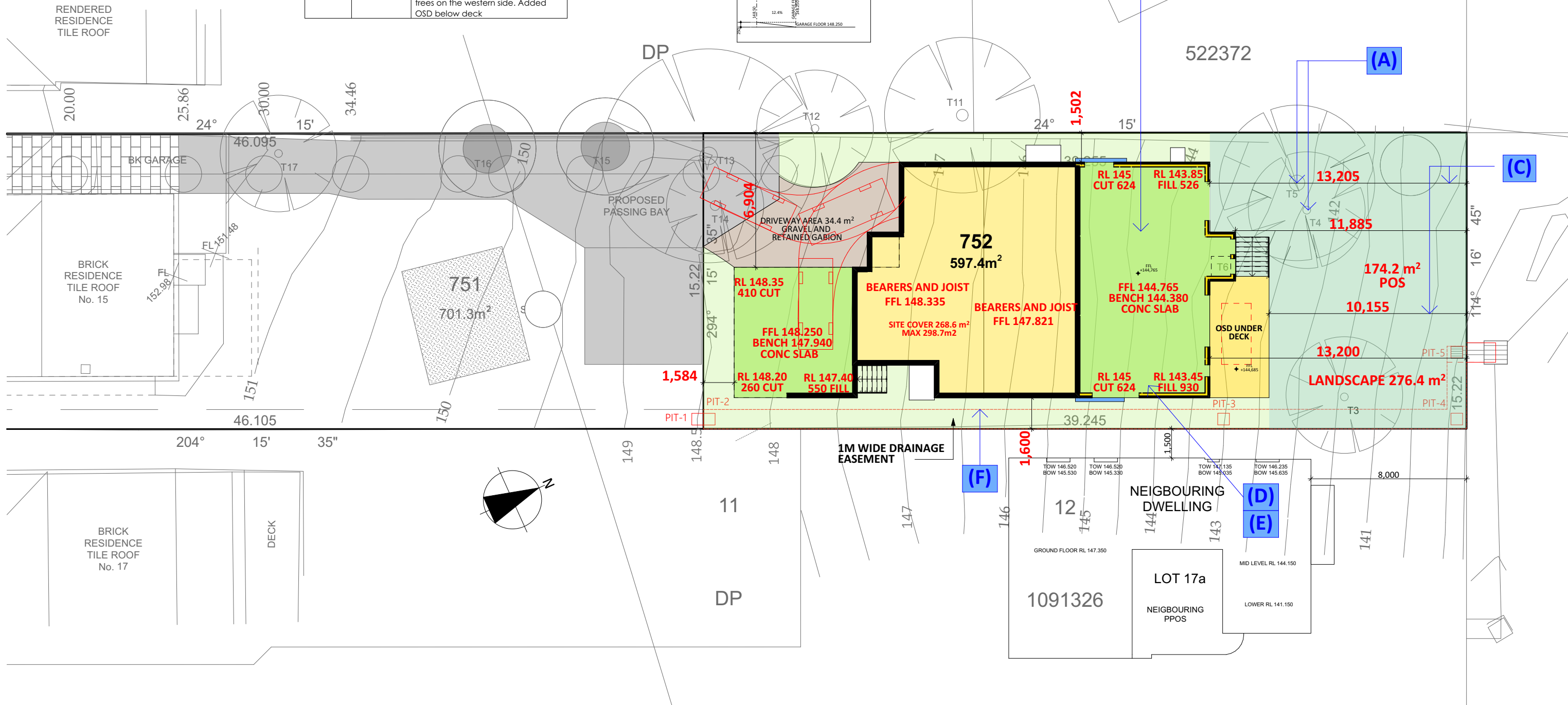
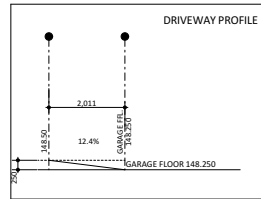
MAX FSR 330m2
LOWER FLOOR 105.7m2
UPPER FLOOR 218.9m2
TOTAL 324.6m2

SITE COVER

MAX 50% 298.7m2
SITE COVER 269.1m2 (EXC DRIVEWAY)

LANDSCAPE

MIN LANDSCAPE 20% 119.48m2
LANDSCAPE 275.6m2



SITE PLAN

SCALE: 1:200

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SITE PLAN

Rev:	AMENDMENT:	BY:	DATE:	CLIENT:
				MR MOHIT SAHNI
				SITE ADDRESS:
				LOT 75 DP660810, No.15
				POMONA ST
				PENNANT HILLS, NSW 2120

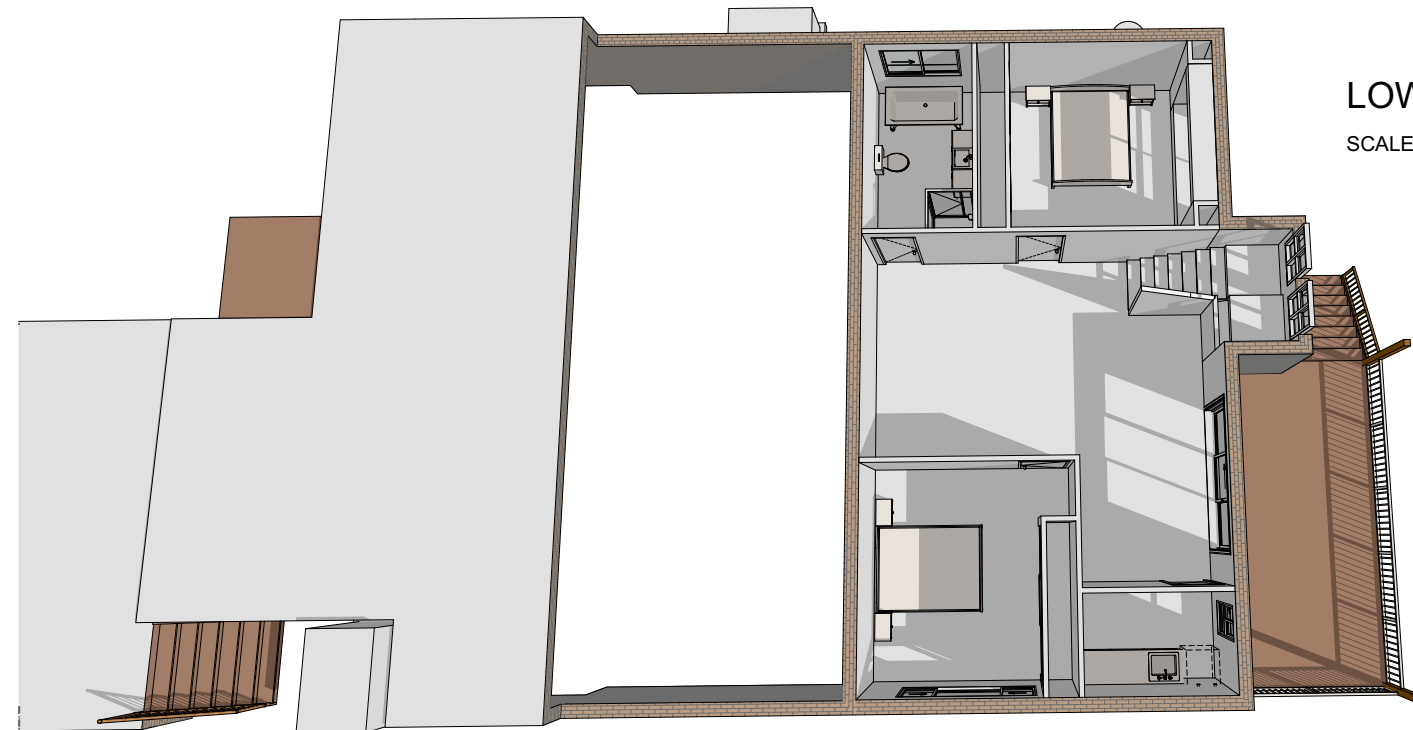
DA SET PLANS

DRAWN:	DATE:	Rev:
DG	9/09/2022	E
SCALE: @ A3 1:200, 1:1	CHECKED: DG	
SHEET: 3	JOB No: 10064	



UPPER FLOOR 3D PLAN

SCALE: 1:200



LOWER FLOOR 3D PLAN

SCALE: 1:200

3D PLANS

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CLIENT: MR MOHIT SAHNI
SITE ADDRESS: LOT 75 DP660810, No.15 POMONA ST PENNANT HILLS, NSW 2120

DA SET PLANS

DRAWN: DG	DATE: 9/09/2022	Rev: E
SCALE: 1:200 @ A3	CHECKED: DG	
SHEET: 4	JOB No: 10064	

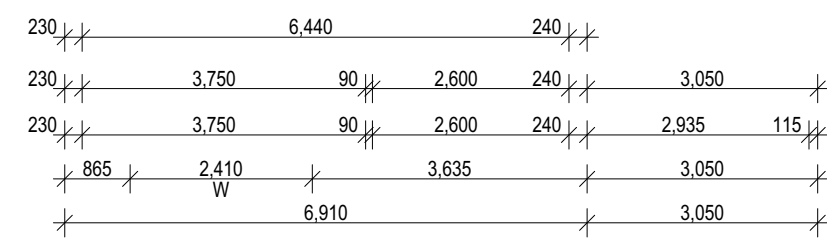
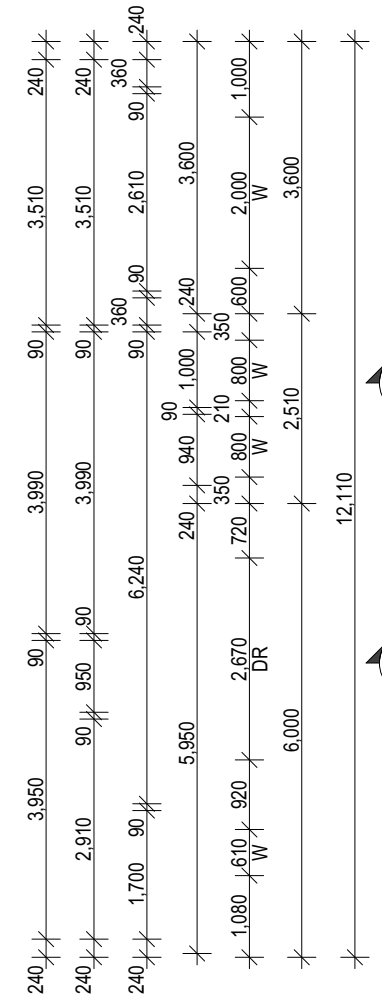
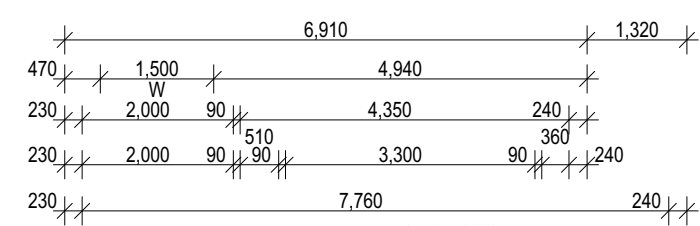
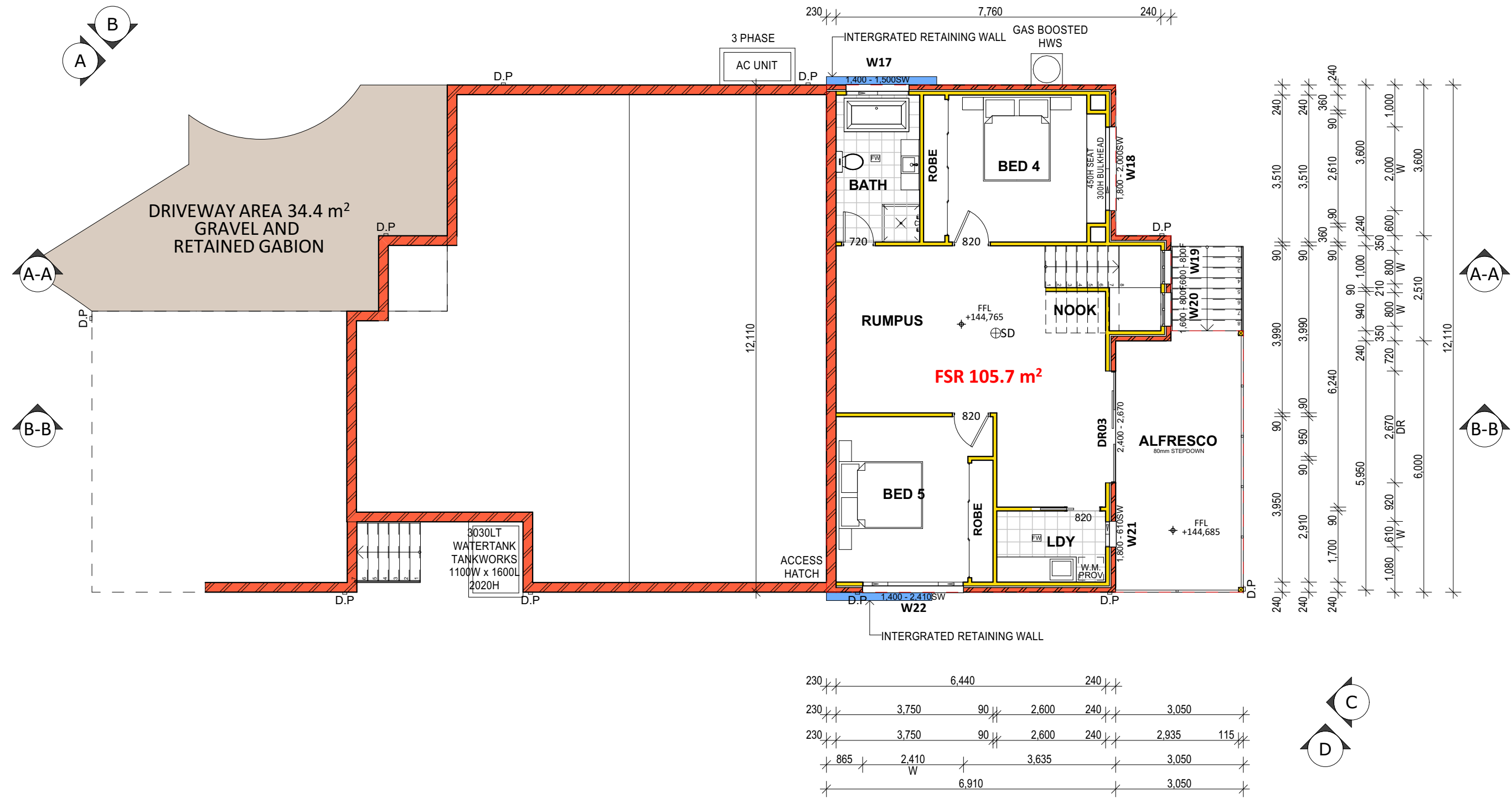
LEGEND

	PROPOSED TIMBER/CLADDING
	PROPOSED CONCRETE
	PROPOSED STEEL
	PROPOSED BRICKWORK
	EXISTING
	EXISTING DEMOLISHED

CONSTRUCTION TO COMPLY WITH BUSHFIRE BAL LOW

PROPOSED FLOOR AREAS

1 PROPOSED LOWER FLOOR	86.99
2 PROPOSED LOWER ALFRESCO	18.72
3 PROPOSED CARPORT	41.27
4 PROPOSED UPPER FLOOR	199.77
5 PROPOSED STAIR VOID	5.58
6 PROPOSED PORCH	2.95
7 PROPOSED BALCONY	18.72
TOTAL	374.00 m²



LOWER FLOOR PLAN

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DA SET PLANS

DRAWN:	DATE:	Rev:
DG	9/09/2022	E
SCALE:	CHECKED:	
@ A3 1:100	DG	
SHEET:	JOB No:	
5	10064	

LEGEND

	PROPOSED TIMBER/CLADDING
	PROPOSED CONCRETE
	PROPOSED STEEL
	PROPOSED BRICKWORK
	EXISTING
	EXISTING DEMOLISHED

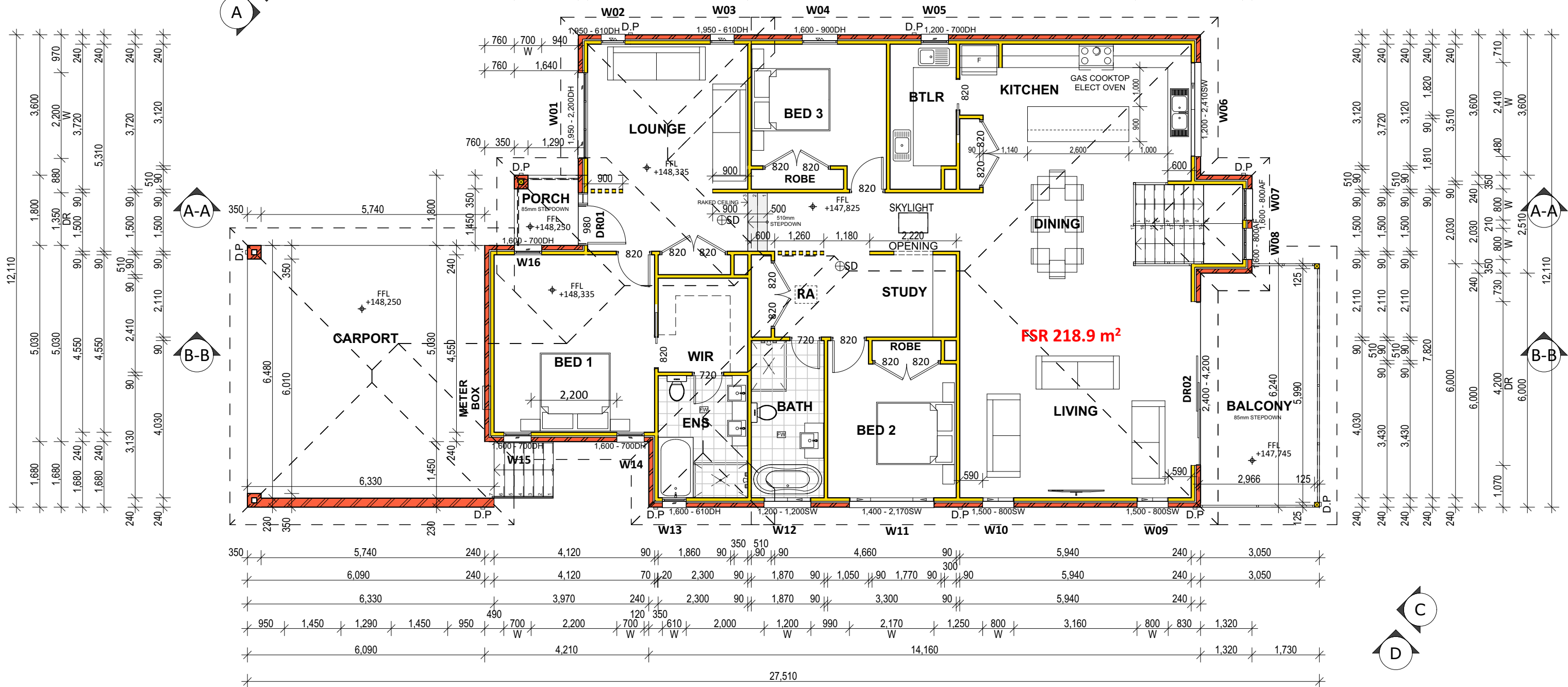
NOTE:

ALL CONSTRUCTION TO COMPLY WITH AS STANDARDS AND NCC.
 CONSTRUCTION TO COMPLY WITH ENGINEERING DETAILS
 2400H INTERNAL DOORS
 ⊕SD = SMOKE ALARM

PROPOSED FLOOR AREAS

1 PROPOSED LOWER FLOOR	86.99
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3 PROPOSED CARPORT	41.27
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5 PROPOSED STAIR VOID	5.58
6 PROPOSED PORCH	2.95
7 PROPOSED BALCONY	18.72
TOTAL	374.00 m²

CONSTRUCTION TO COMPLY WITH BUSHFIRE BAL LOW



UPPER FLOOR PLAN

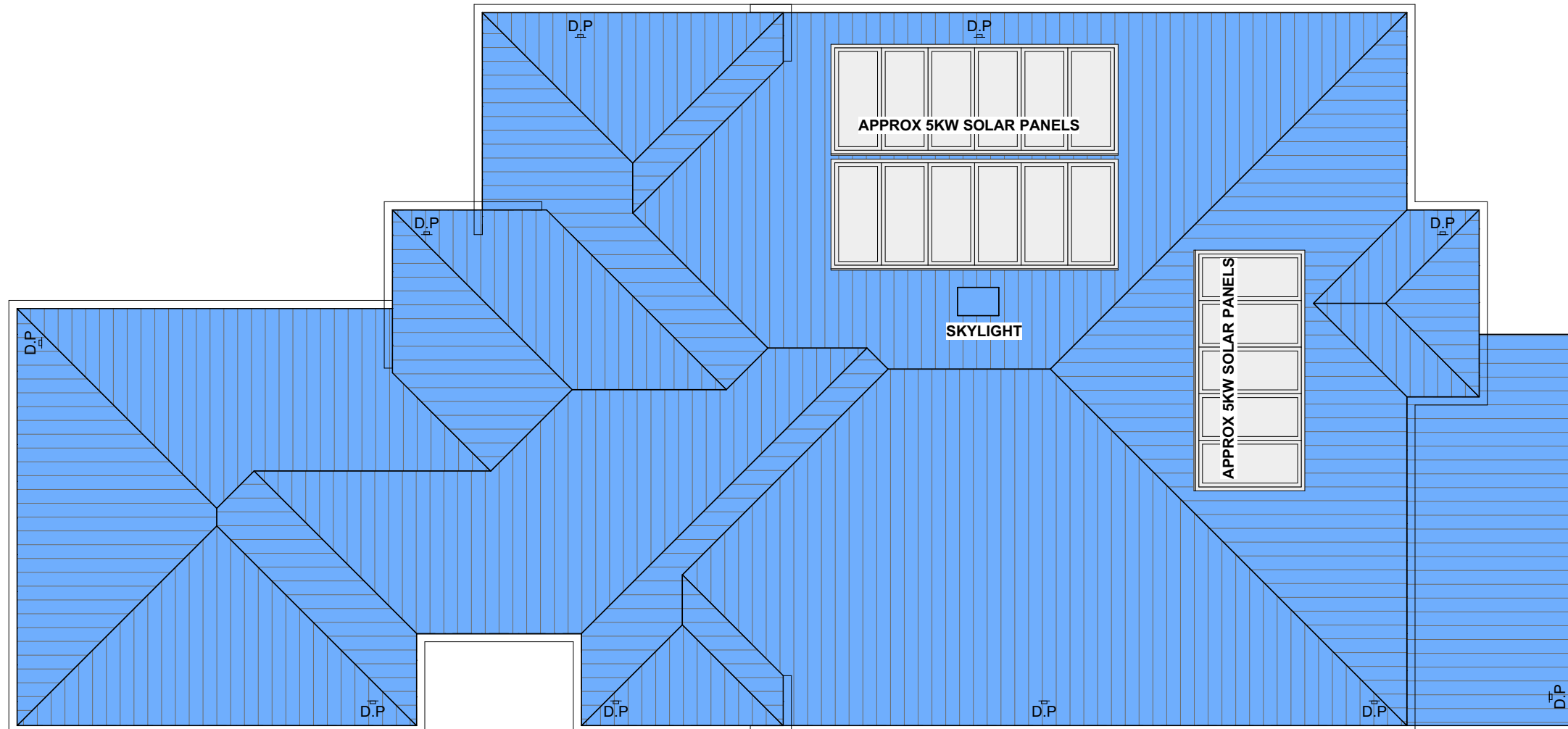
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				SITE ADDRESS:
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DA SET PLANS

DRAWN:	DATE:	Rev:
DG	9/09/2022	E
SCALE:	CHECKED:	
1:100, 1:1	DG	
SHEET:	JOB No:	
6	10064	

- LEGEND**
- PROPOSED TIMBER/CLADDING
 - PROPOSED CONCRETE
 - PROPOSED STEEL
 - PROPOSED BRICKWORK
 - EXISTING
 - EXISTING DEMOLISHED

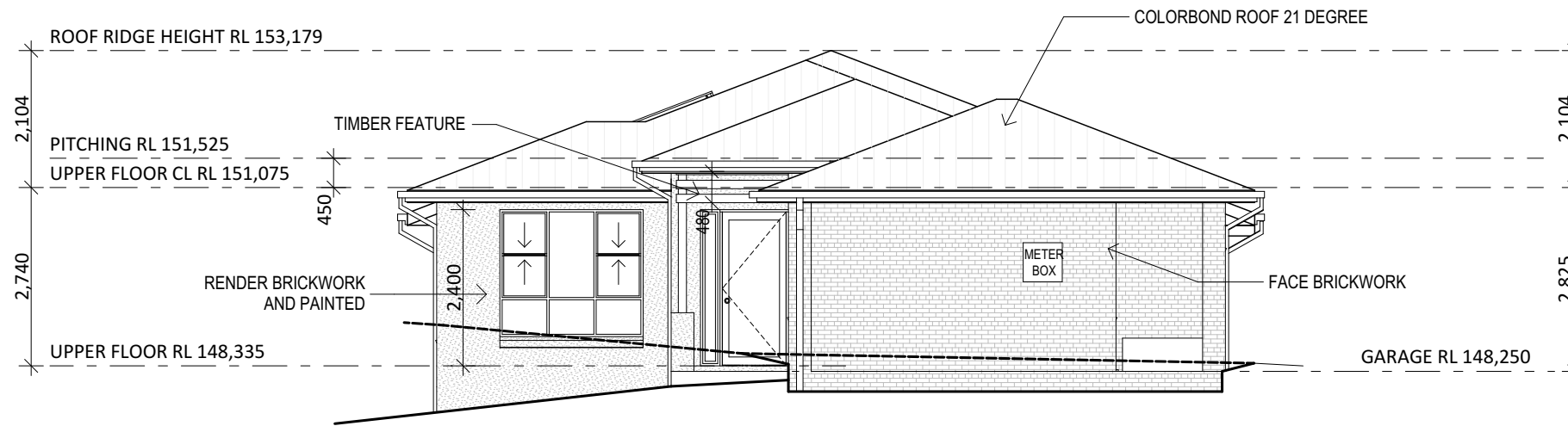


ROOF PLAN

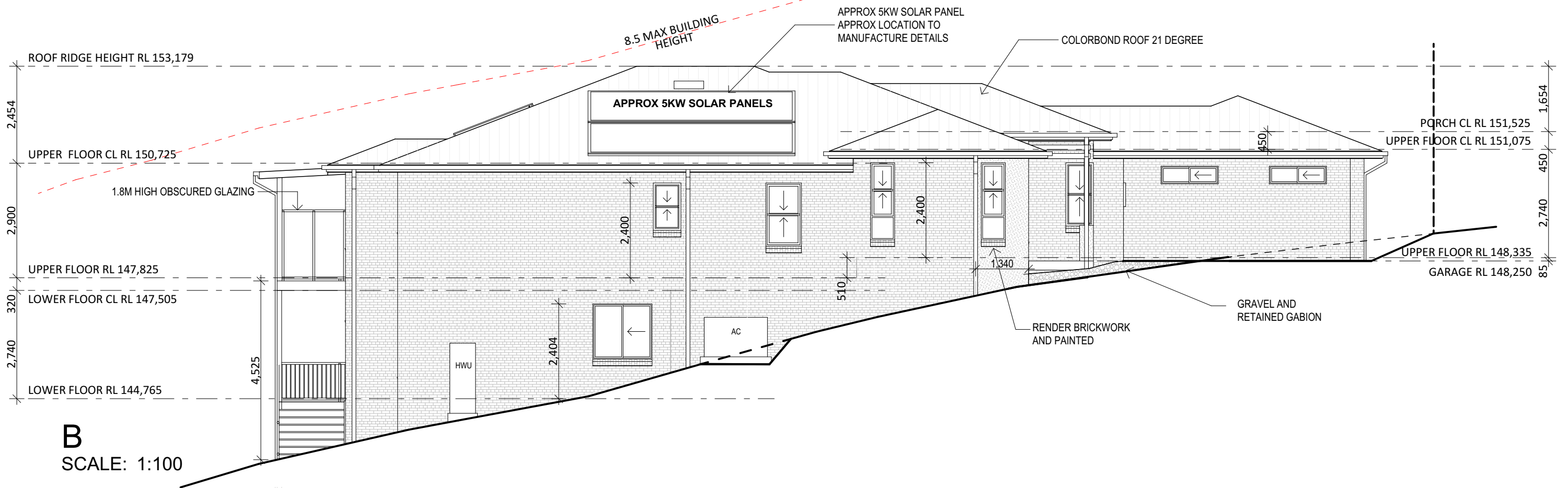
SCALE: 1:100

<p><small>DISCLAIMER THIS DOCUMENTATION HAS BEEN CREATED WITH UTMOST DUE CARE AND TO THE REQUIREMENTS SPECIFIED BY THE CUSTOMER AND DESIGN PROVIDED. HOWEVER COMPLETE ACCURACY CANNOT BE GUARANTEED. NO LIABILITY WILL BE ACCEPTED FOR ANY LOSS OR DAMAGE INCURRED THROUGH THE USE OF THIS DOCUMENTATION.</small></p> <p><small>DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</small></p> <p><small>ALL DIMENSIONS SHOULD BE CHECKED ON SITE PRIOR TO ANY WORK BEING UNDERTAKEN.</small></p>	ROOF PLAN	Rev:	AMENDMENT:	BY:	DATE:	CLIENT: MR MOHIT SAHNI	DA SET PLANS		
						SITE ADDRESS: LOT 75 DP660810, No.15 POMONA ST PENNANT HILLS, NSW 2120	DRAWN: DG	DATE: 9/09/2022	Rev: E
							SCALE: 1:100 @ A3	CHECKED: DG	
						SHEET: 7	JOB No: 10064		

A
SCALE: 1:100



B
SCALE: 1:100



ELEVATIONS

Rev:	AMENDMENT:	BY:	DATE:

CLIENT:
MR MOHIT SAHNI

SITE ADDRESS:
**LOT 75 DP660810, No.15
POMONA ST
PENNANT HILLS, NSW 2120**

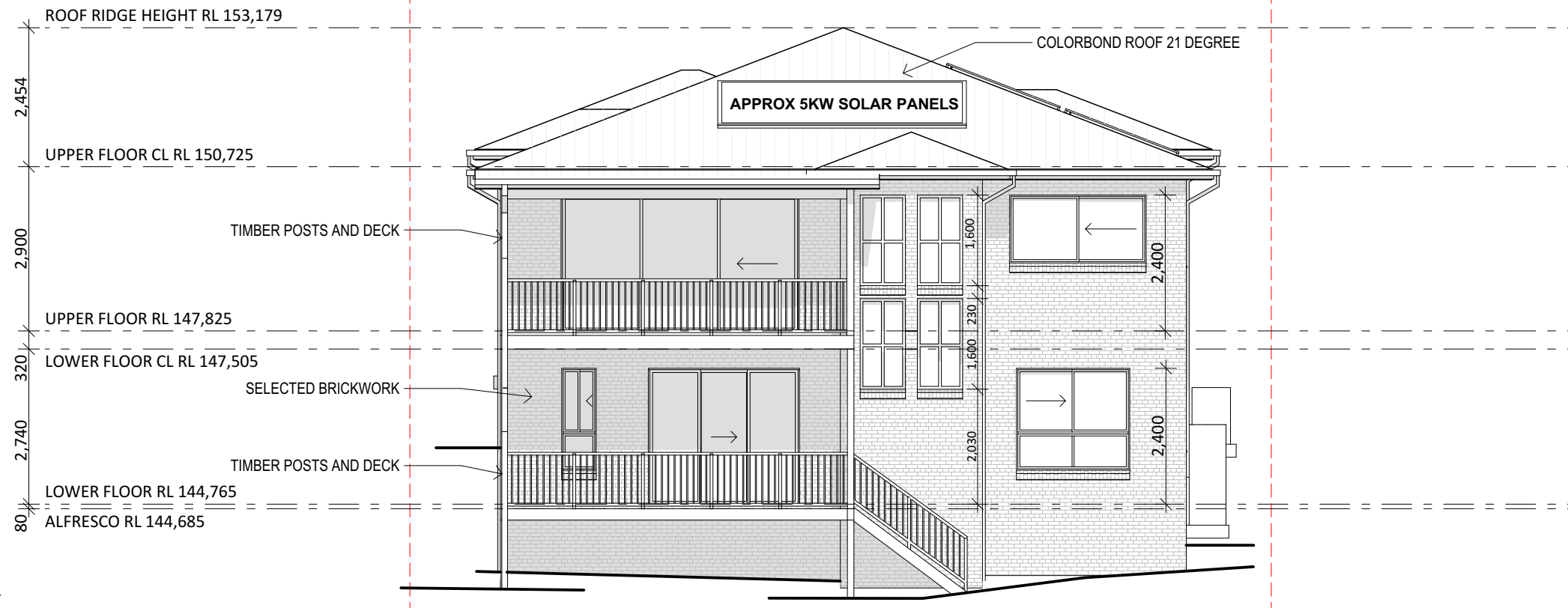
DA SET PLANS

DRAWN:	DATE:	Rev:
DG	9/09/2022	E
SCALE: 1:100	CHECKED: DG	
SHEET: 8	JOB No: 10064	

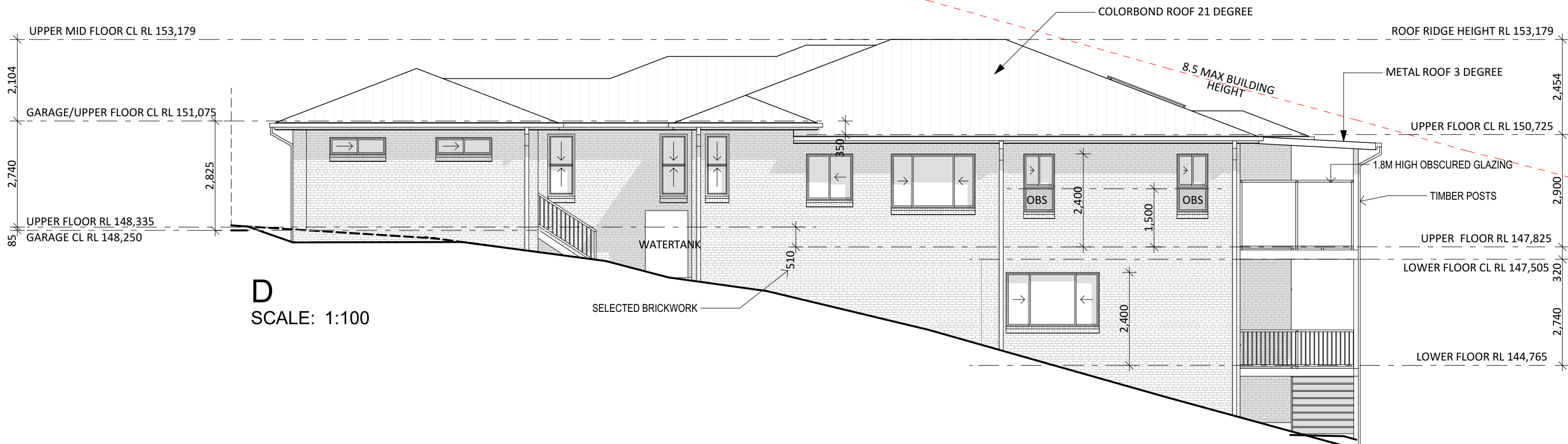
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C
SCALE: 1:100



D
SCALE: 1:100

ELEVATIONS

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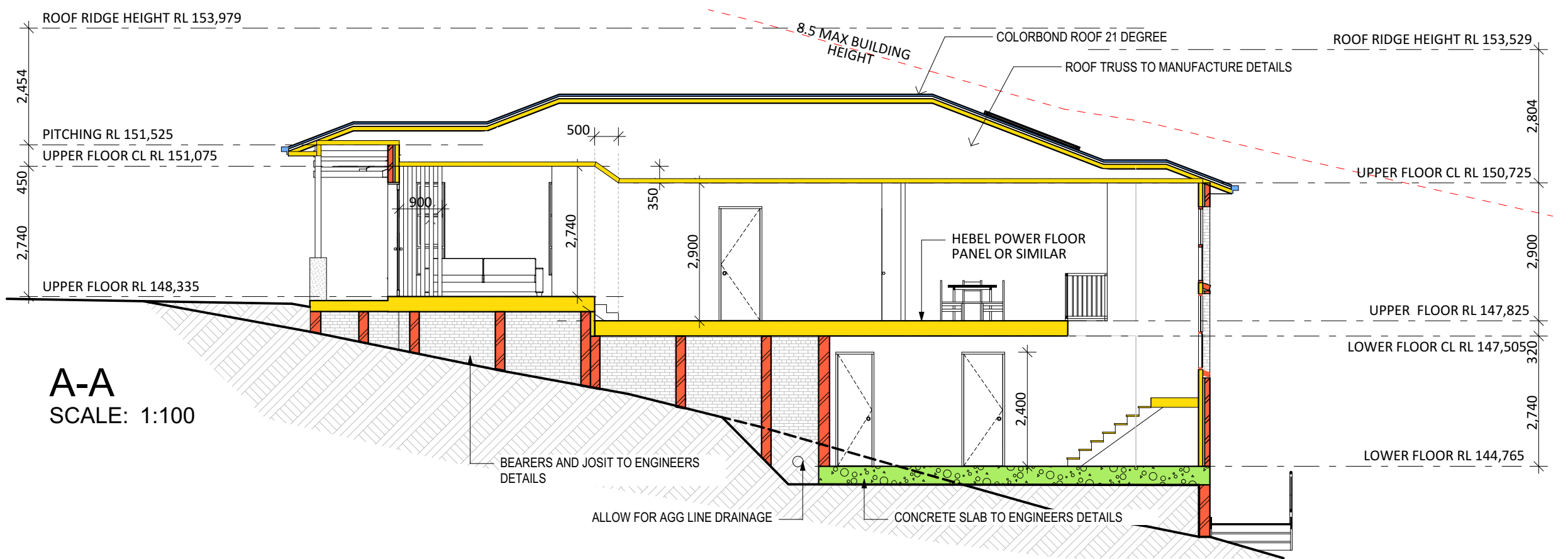
Rev:	AMENDMENT:	BY:	DATE:	CLIENT:
				MR MOHIT SAHNI
				SITE ADDRESS:
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				POMONA ST
				PENNANT HILLS, NSW 2120

DA SET PLANS

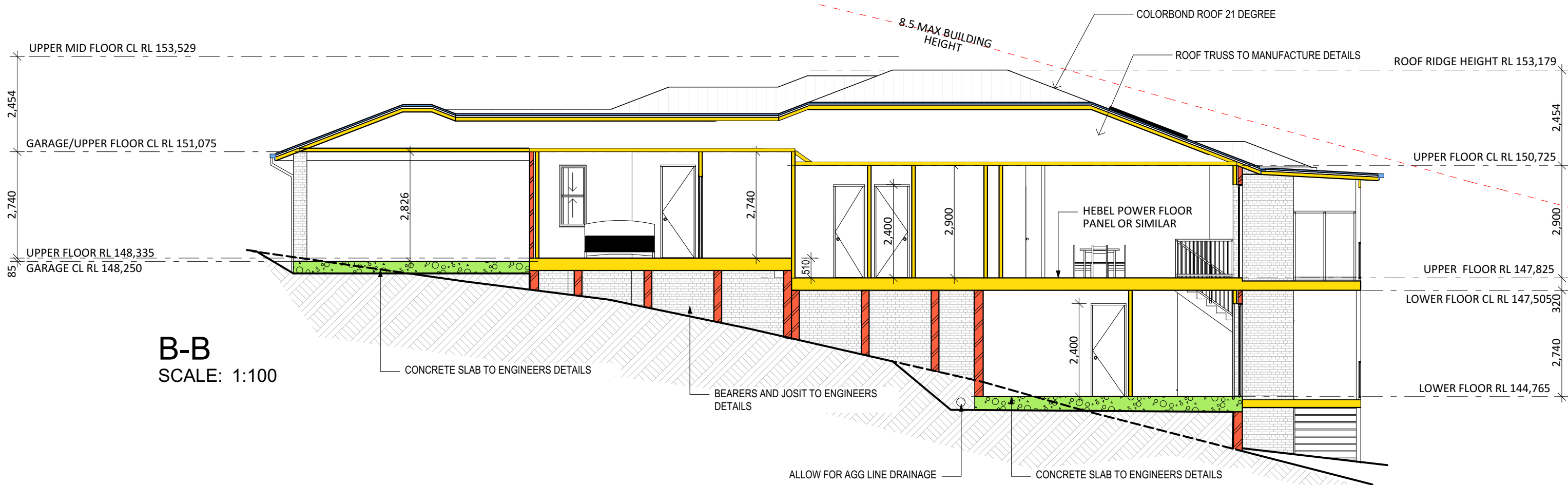
DRAWN:	DATE:	Rev:
DG	9/09/2022	E
SCALE:	CHECKED:	
1:100 @ A3	DG	
SHEET:	JOB No:	
9	10064	

LEGEND

	PROPOSED TIMBER/CLADDING
	PROPOSED CONCRETE
	PROPOSED STEEL
	PROPOSED BRICKWORK
	EXISTING
	EXISTING DEMOLISHED



A-A
SCALE: 1:100



B-B
SCALE: 1:100

SECTION

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CLIENT:
MR MOHIT SAHNI

SITE ADDRESS:
**LOT 75 DP660810, No.15
POMONA ST
PENNANT HILLS, NSW 2120**

DA SET PLANS		
DRAWN: DG	DATE: 9/09/2022	Rev: E
SCALE: 1:100	CHECKED: DG	
SHEET: 10	JOB No: 10064	

**NOTE:
REFER TO BASIX FOR
GLAZING TYPE AND
OTHER
REQUIREMENTS**

WINDOW/DOOR LIST

WINDOW/ DOOR	DR01	DR02	DR03	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10
ELEVATION													
WIDTH	980	4,200	2,670	2,200	610	610	900	700	2,410	800	800	800	800
HEIGHT	2,400	2,400	2,400	1,950	1,950	1,950	1,600	1,200	1,200	1,600	1,600	1,500	1,500
AREA	2.35	10.08	6.41	4.29	1.19	1.19	1.44	0.84	2.89	1.28	1.28	1.20	1.20

WINDOW/DOOR LIST

WINDOW/ DOOR	W11	W12	W13	W14	W15	W16	W17	W18	W19	W20	W21	W22	W23	W24
ELEVATION														
WIDTH	2,170	1,200	610	700	700	700	1,500	2,000	800	800	610	2,410	1,450	1,450
HEIGHT	1,400	1,200	1,600	1,600	1,600	1,600	1,400	1,800	1,600	1,600	1,800	1,400	450	450
AREA	3.04	1.44	0.98	1.12	1.12	1.12	2.10	3.60	1.28	1.28	1.10	3.37	0.65	0.65

SKYLIGHTS LIST

WINDOW/ DOOR	SKY 01
PLAN	
HEIGHT x WIDTH	750x550
AREA	0.41

Thermal Comfort Commitments					Show on DA plans	Show on CC/DC plans & specs	Certifier check
Windows, glazed doors and skylights							
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.					✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.					✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:					✓	✓	✓
<ul style="list-style-type: none"> For the following glass and frame types, the certifier check can be performed by visual inspection. <ul style="list-style-type: none"> Aluminium single clear Aluminium double (air) clear Timber/PVC/fibreglass single clear Timber/PVC/fibreglass double (air) clear For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column. 					✓	✓	✓
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing		
North-East facing							
W6	1200	2410	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tisol Low-e)	none	not overshadowed		
W7	1600	800	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	not overshadowed		
W8	1600	800	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	not overshadowed		
DR02	2400	4200	aluminium, single, clear	solid overhang 3600 mm, 340 mm above head of window or glazed door	not overshadowed		

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W18	1900	2400	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tisol Low-e)	eave 550 mm, 520 mm above head of window or glazed door	not overshadowed
W19	1600	800	aluminium, single, clear	eave 550 mm, 1700 mm above head of window or glazed door	not overshadowed
W20	1600	800	aluminium, single, clear	eave 550 mm, 1700 mm above head of window or glazed door	not overshadowed
W21	1800	610	aluminium, single, clear	solid overhang 3050 mm, 240 mm above head of window or glazed door	not overshadowed
DR03	2400	2670	aluminium, single, clear	solid overhang 3050 mm, 240 mm above head of window or glazed door	not overshadowed
South-East facing					
W9	1500	800	aluminium, single, clear	eave 550 mm, 570 mm above head of window or glazed door	>4 m high, 2-5 m away
W10	1500	800	aluminium, single, clear	eave 550 mm, 570 mm above head of window or glazed door	>4 m high, 2-5 m away
W11	1400	2170	aluminium, single, clear	eave 550 mm, 570 mm above head of window or glazed door	>4 m high, 2-5 m away
W12	1200	1200	aluminium, single, clear	eave 550 mm, 570 mm above head of window or glazed door	>4 m high, 2-5 m away
W13	1600	610	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	>4 m high, 2-5 m away
W14	1600	610	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	>4 m high, 2-5 m away
W15	1600	700	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	>4 m high, 2-5 m away
W22	1400	2410	aluminium, single, clear	none	>4 m high, 2-5 m away
South-West facing					
W24	1950	2200	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	>4 m high, 2-5 m away
North-West facing					

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W16	1600	700	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	2-4 m high, 5-8 m away
W2	1950	610	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	2-4 m high, 5-8 m away
W3	1950	610	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	2-4 m high, 5-8 m away
W4	1500	900	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	2-4 m high, 5-8 m away
W5	1200	700	aluminium, single, clear	eave 550 mm, 470 mm above head of window or glazed door	2-4 m high, 5-8 m away
W17	1400	1500	aluminium, single, clear	none	2-4 m high, 5-8 m away

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WINDOW/DOOR SCHEDULE

Rev:	AMENDMENT:	BY:	DATE:	CLIENT:
				MR MOHIT SAHNI
				SITE ADDRESS:
				LOT 75 DP660810, No.15 POMONA ST PENNANT HILLS, NSW 2120

DA SET PLANS		
DRAWN: DG	DATE: 9/09/2022	Rev: E
SCALE: @ A3	CHECKED: DG	
SHEET: 11	JOB No: 10064	

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 13/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 17 August 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	15 Pomona Street Pennant Hills 2120	
Street address	15 Pomona Street Pennant Hills 2120	
Local Government Area	Hornsby Shire Council	
Plan type and plan number	deposited 660810	
Lot no.	75	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	41	Target 40
Thermal Comfort	Pass	Target Pass
Energy	53	Target 50

Certificate Prepared by	
Name / Company Name:	Paul & C associates
ABN (if applicable):	26634614848

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications	
floor - concrete slab on ground, 72 square metres	nil		
floor - suspended floor above enclosed subfloor, 114.5 square metres, framed	1.10 (or 1.8 including construction) (down)		
floor - above habitable rooms or mezzanine, 66 square metres, framed	nil		
external wall - brick veneer	1.86 (or 2.40 including construction)		
ceiling and roof - flat ceiling / pitched roof	ceiling: 2.95 (up), roof: foil backed blanket (85 mm)	unventilated; medium (solar absorptance 0.475-0.70)	
Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W16	1600	700	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	2-4 m high, 5-8 m away
W2	1950	610	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	2-4 m high, 5-8 m away
W3	1950	610	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	2-4 m high, 5-8 m away
W4	1500	900	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	2-4 m high, 5-8 m away
W5	1200	700	aluminium, single, clear	eave 550 mm, 470 mm above head of window or glazed door	2-4 m high, 5-8 m away
W17	1400	1500	aluminium, single, clear	none	2-4 m high, 5-8 m away

Description of project	
Project address	
Project name	15 Pomona Street Pennant Hills 2120
Street address	15 Pomona Street Pennant Hills 2120
Local Government Area	Hornsby Shire Council
Plan type and plan number	Deposited Plan 660810
Lot no.	75
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m ²)	597
Roof area (m ²)	307
Conditioned floor area (m ²)	245.2
Unconditioned floor area (m ²)	18.1
Total area of garden and lawn (m ²)	275
Assessor details and thermal loads	
Assessor number	n/a
Certificate number	n/a
Climate zone	n/a
Area adjusted cooling load (MJ/m ² /year)	n/a
Area adjusted heating load (MJ/m ² /year)	n/a
Ceiling fan in at least one bedroom	n/a
Ceiling fan in at least one living room or other conditioned area	n/a
Project score	
Water	41 Target 40
Thermal Comfort	Pass Target Pass
Energy	53 Target 50

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check		
Windows, glazed doors and skylights					
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓		
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓		
For the following glass and frame types, the certifier check can be performed by visual inspection.	✓	✓	✓		
- Aluminium single clear			✓		
- Aluminium double (air) clear			✓		
- Timber/UPVC/Al/breglass single clear			✓		
- Timber/UPVC/Al/breglass double (air) clear			✓		
For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.			✓		
Overshadowing buildings/vegetation must be of the height and distance from the centre and base of the window and glazed door, as specified in the 'overshadowing' column.	✓	✓	✓		
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-East facing					
W6	1200	2410	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	none	not overshadowed
W7	1600	800	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	not overshadowed
W8	1600	800	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	not overshadowed
DR02	2400	4200	aluminium, single, clear	solid overhang 3600 mm, 240 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual on / timer off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: at least 5 of the bedrooms / study; dedicated		✓	✓

Schedule of BASIX commitments				
The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.				
Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check	
Fixtures				
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓	✓
Alternative water				
Rainwater tank				
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓	✓
The applicant must connect the rainwater tank to:				
- the cold water tap that supplies each clothes washer in the development		✓	✓	✓
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W18	1900	2400	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 550 mm, 520 mm above head of window or glazed door	not overshadowed
W19	1600	800	aluminium, single, clear	eave 550 mm, 1700 mm above head of window or glazed door	not overshadowed
W20	1600	800	aluminium, single, clear	eave 550 mm, 1700 mm above head of window or glazed door	not overshadowed
W21	1800	610	aluminium, single, clear	solid overhang 3050 mm, 240 mm above head of window or glazed door	not overshadowed
DR03	2400	2670	aluminium, single, clear	solid overhang 3050 mm, 240 mm above head of window or glazed door	not overshadowed
South-East facing					
W9	1500	800	aluminium, single, clear	eave 550 mm, 570 mm above head of window or glazed door	>4 m high, 2-5 m away
W10	1500	800	aluminium, single, clear	eave 550 mm, 570 mm above head of window or glazed door	>4 m high, 2-5 m away
W11	1400	2170	aluminium, single, clear	eave 550 mm, 570 mm above head of window or glazed door	>4 m high, 2-5 m away
W12	1200	1200	aluminium, single, clear	eave 550 mm, 570 mm above head of window or glazed door	>4 m high, 2-5 m away
W13	1600	610	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	>4 m high, 2-5 m away
W14	1600	610	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	>4 m high, 2-5 m away
W15	1600	700	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	>4 m high, 2-5 m away
W22	1400	2410	aluminium, single, clear	none	>4 m high, 2-5 m away
South-West facing					
W24	1950	2200	aluminium, single, clear	eave 550 mm, 100 mm above head of window or glazed door	2-4 m high, 2-5 m away
North-West facing					

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
at least 2 of the living / dining rooms; dedicated		✓	✓
the kitchen; dedicated		✓	✓
all bathrooms/toilets; dedicated		✓	✓
the laundry; dedicated		✓	✓
all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	✓
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	✓
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	✓

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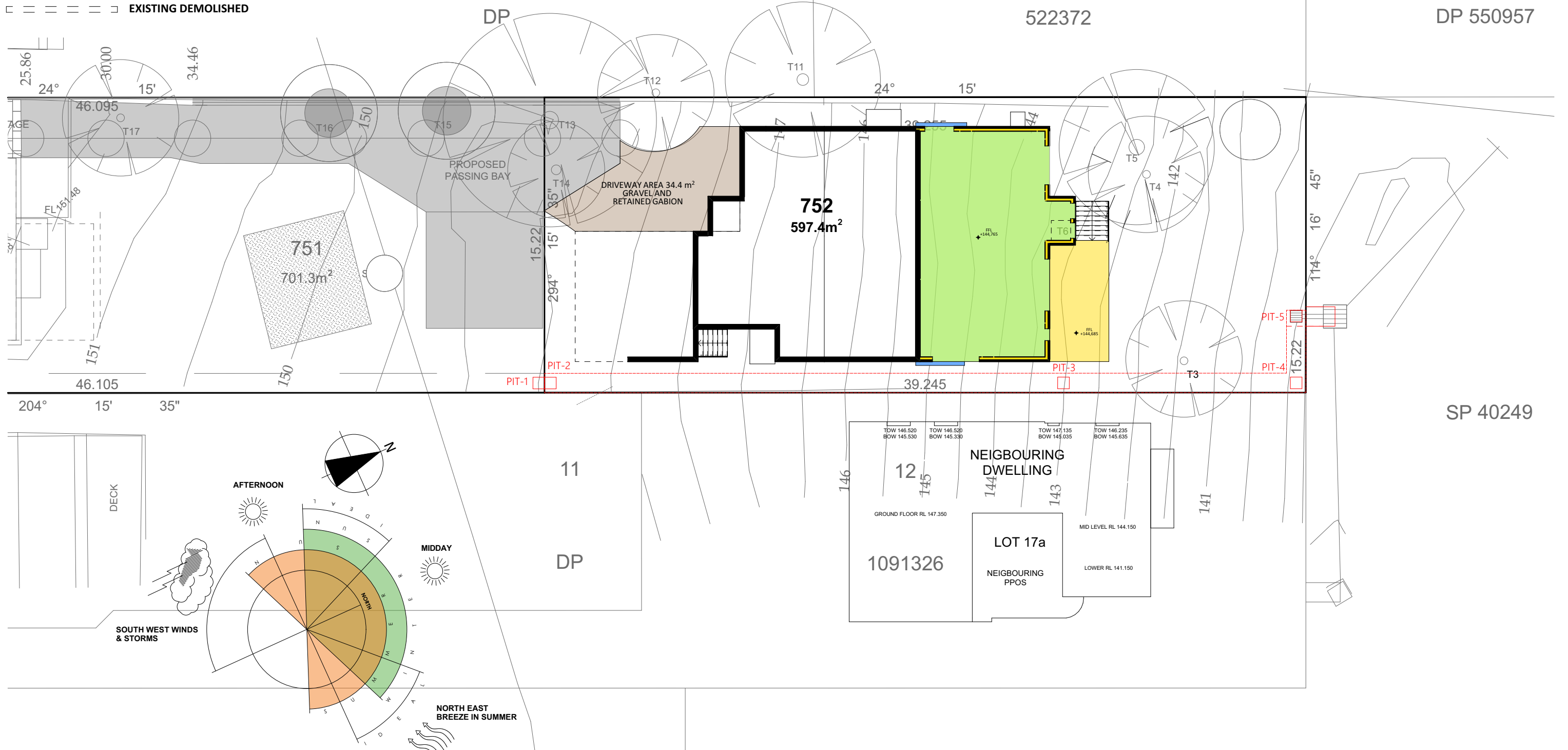
BASIX REQUIREMENTS

Rev:	AMENDMENT:	BY:	DATE:

CLIENT:
MR MOHIT SAHNI
SITE ADDRESS:
LOT 75 DP660810, No.15 POMONA ST PENNANT HILLS, NSW 2120

DA SET PLANS		
DRAWN: DG	DATE: 9/09/2022	Rev: E
SCALE: @ A3	CHECKED: DG	
SHEET: 12	JOB No: 10064	

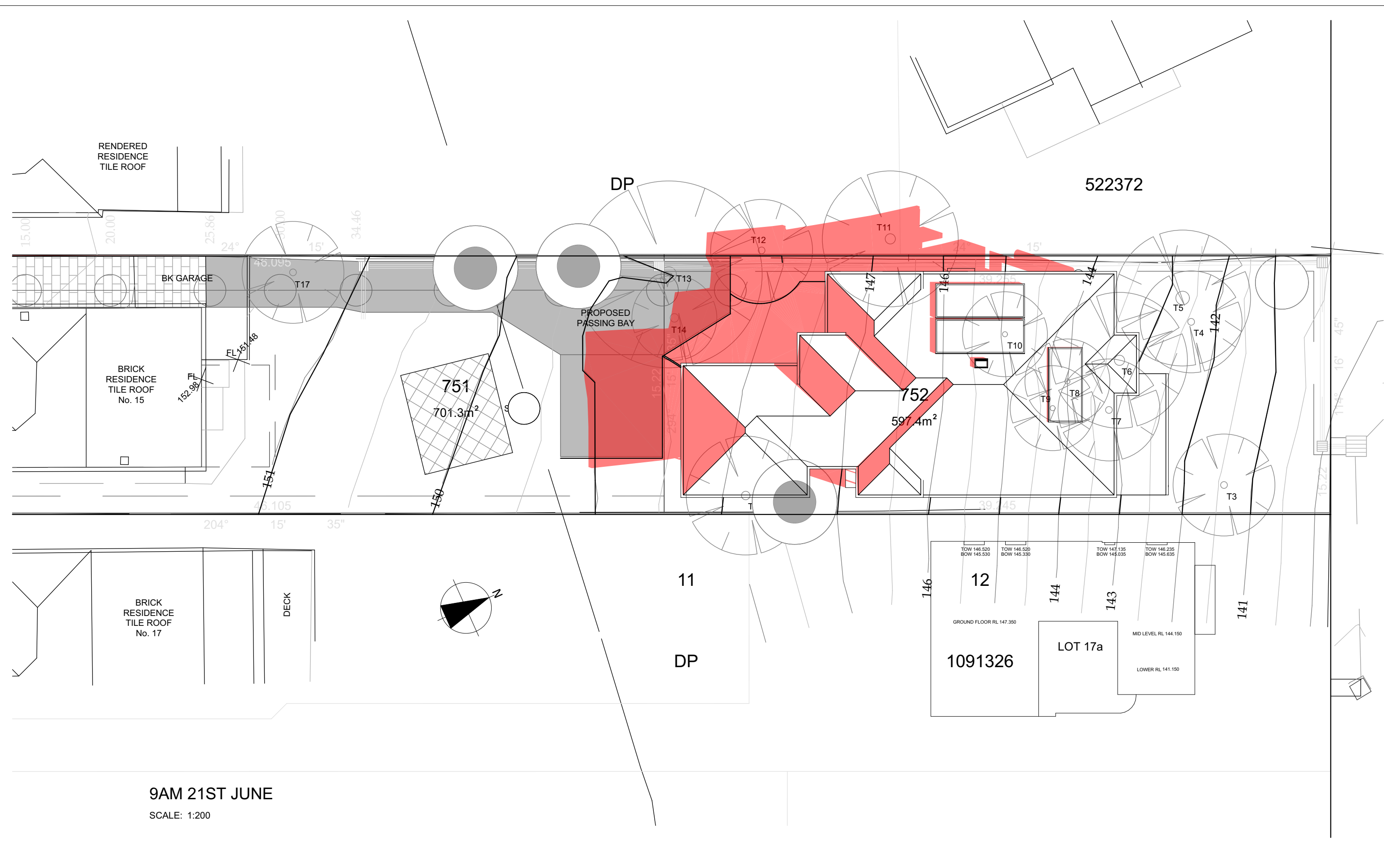
- LEGEND**
- PROPOSED TIMBER/CLADDING
 - PROPOSED CONCRETE
 - PROPOSED STEEL
 - PROPOSED BRICKWORK
 - EXISTING
 - EXISTING DEMOLISHED



SITE ANALYSIS PLAN

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		SITE ADDRESS: LOT 75 DP660810, No.15 POMONA ST PENNANT HILLS, NSW 2120						DRAWN: DG	DATE: 9/09/2022	Rev: E
								SCALE: 1:200	CHECKED: DG	
						SHEET: 13	JOB No: 10064			



9AM 21ST JUNE

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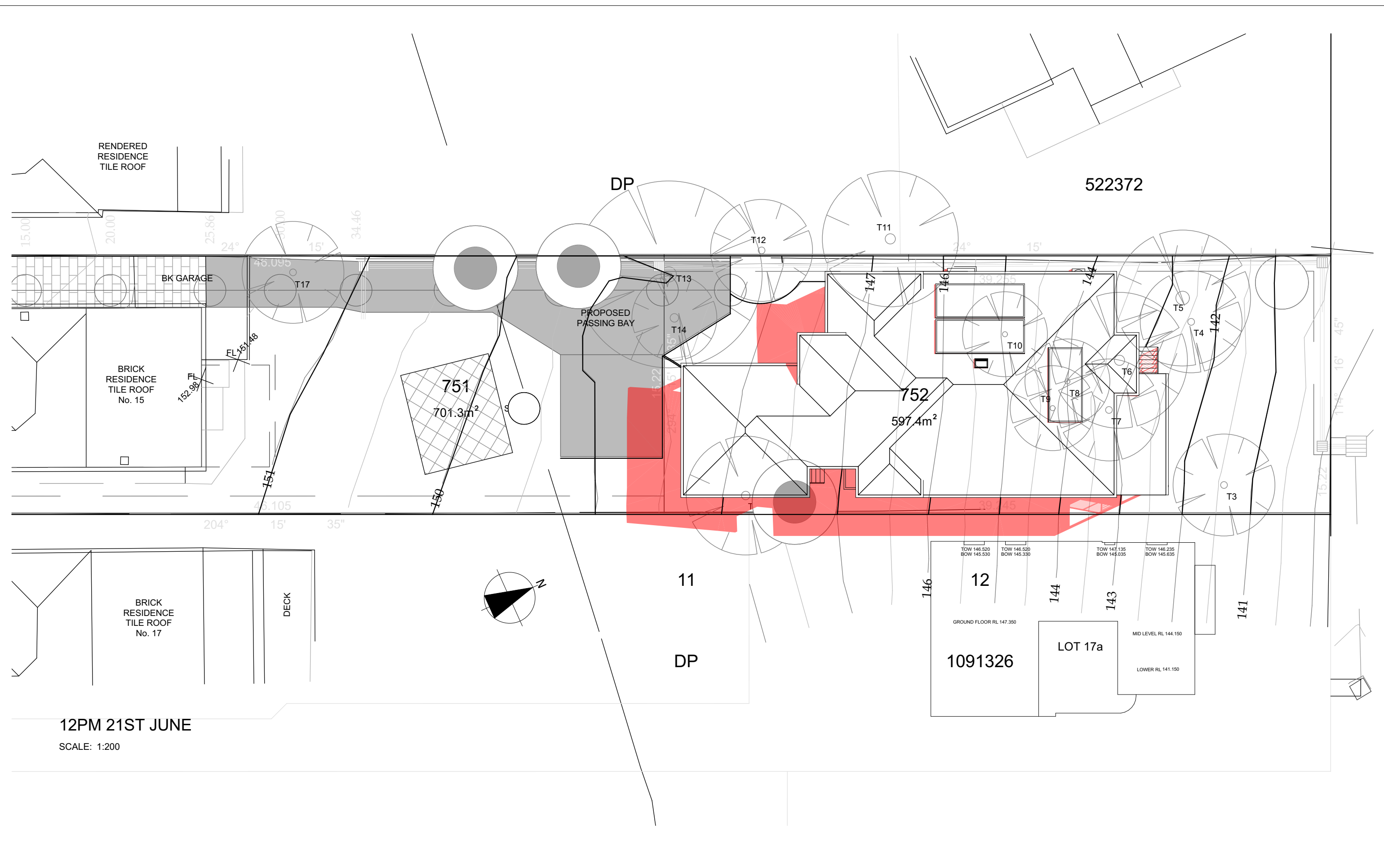
SHADOWS 9AM 21st JUNE

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12PM 21ST JUNE

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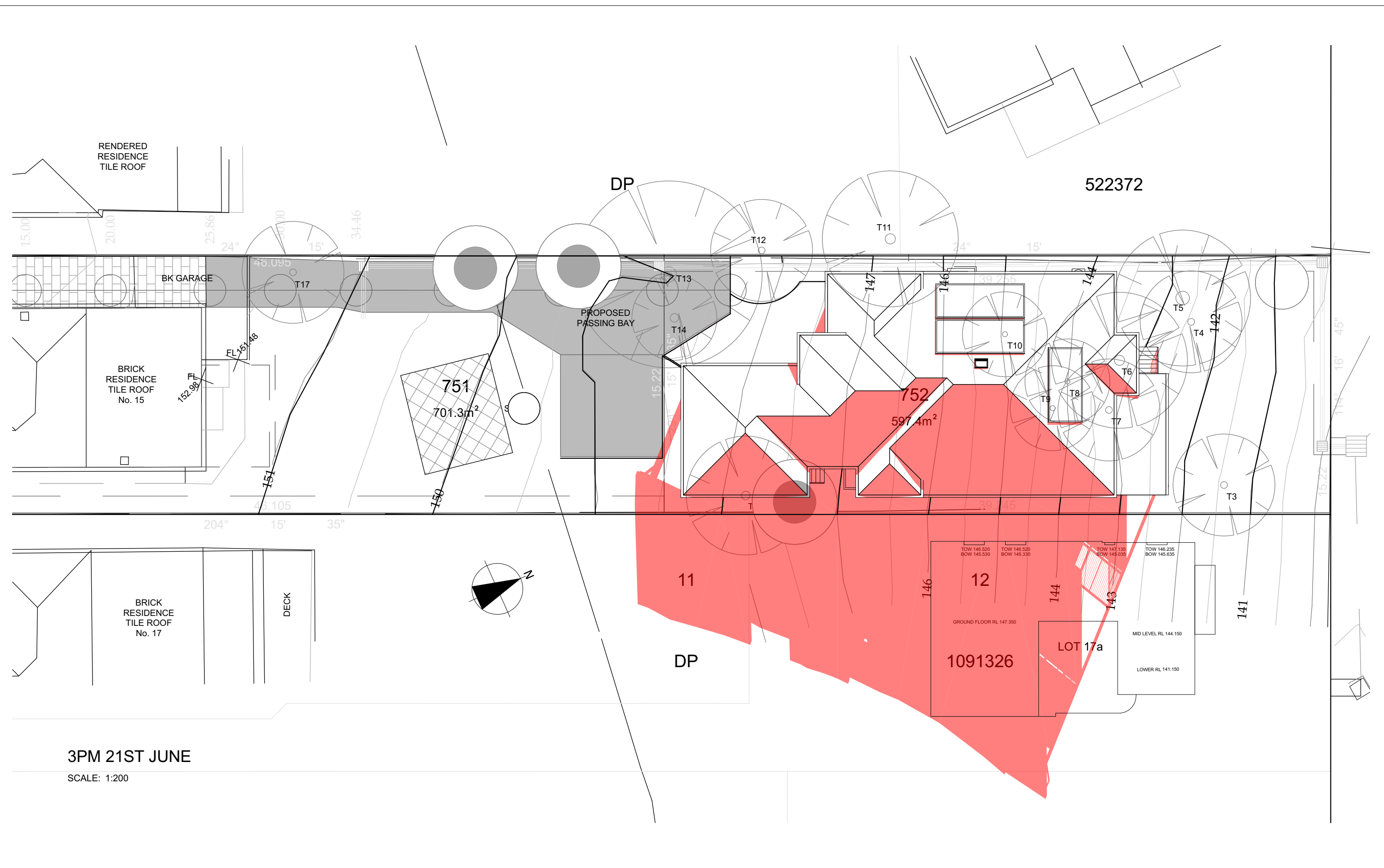
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SHADOWS 12PM 21st JUNE

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3PM 21ST JUNE

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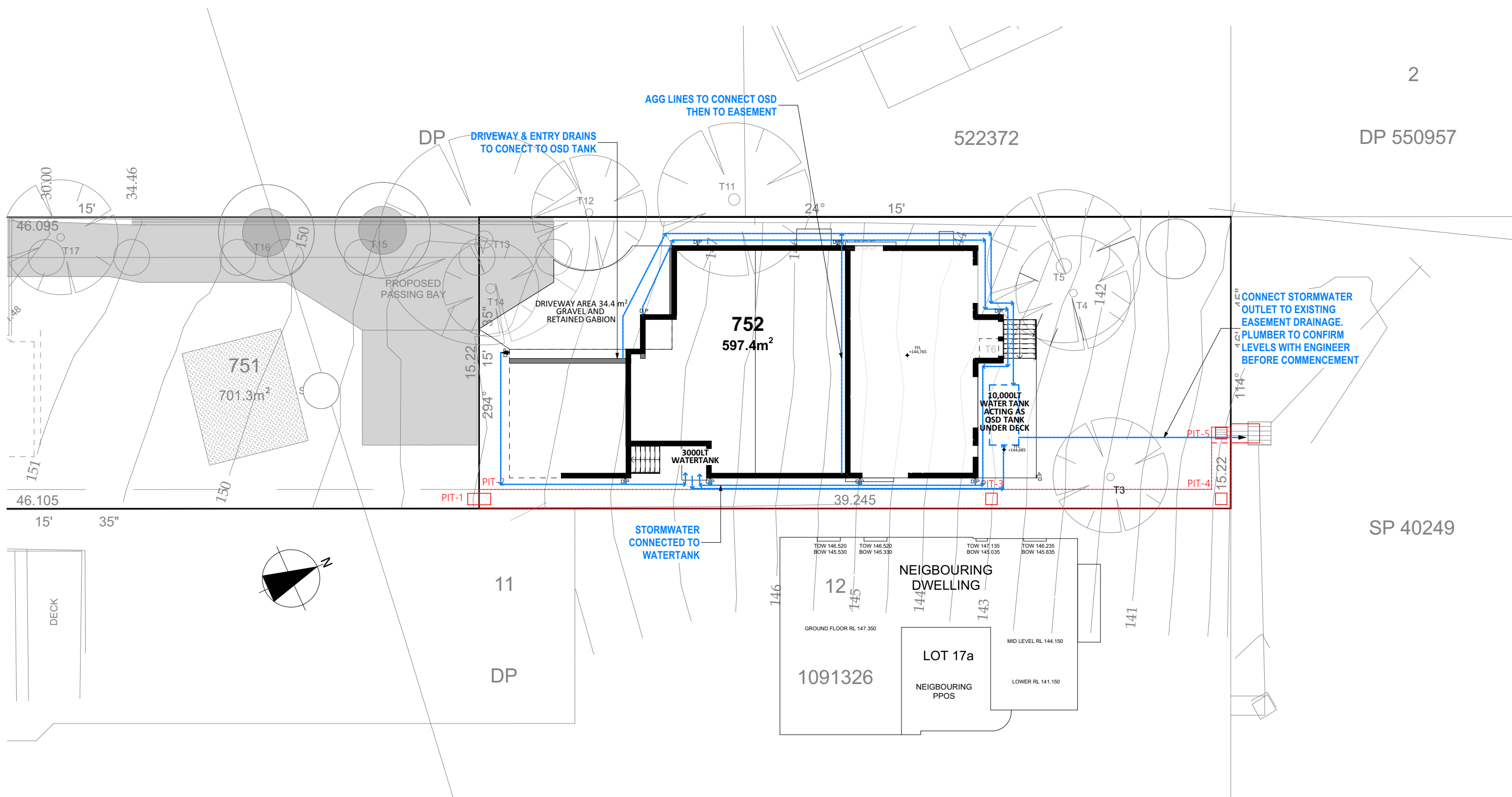
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STORMWATER PLAN
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CONCEPT STORMWATER PLAN

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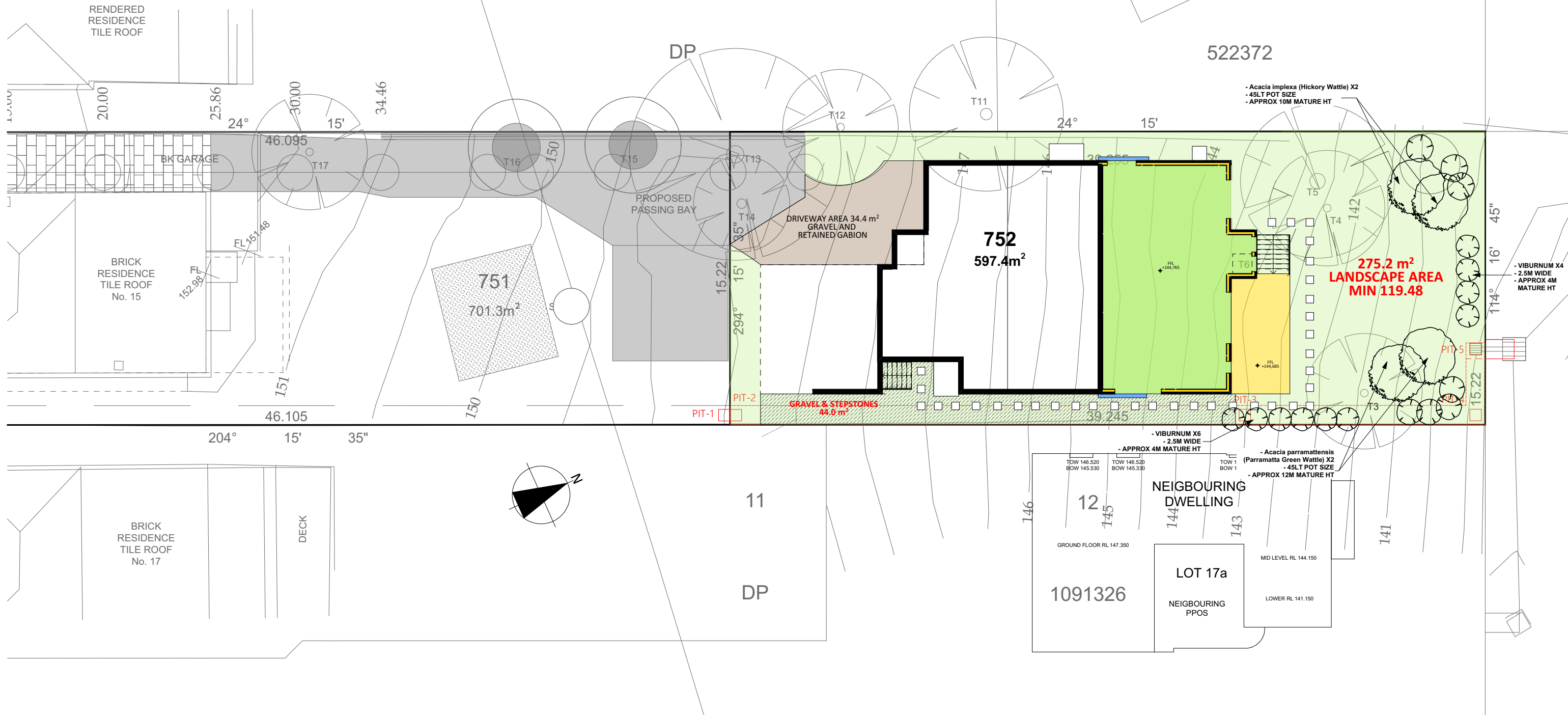
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MR MOHIT SAHNI

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PENNANT HILLS, NSW 2120**

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SHEET: 17	JOB No: 10064	

LEGEND

	PROPOSED TIMBER/CLADDING
	PROPOSED CONCRETE
	PROPOSED STEEL
	PROPOSED BRICKWORK
	EXISTING
	EXISTING DEMOLISHED

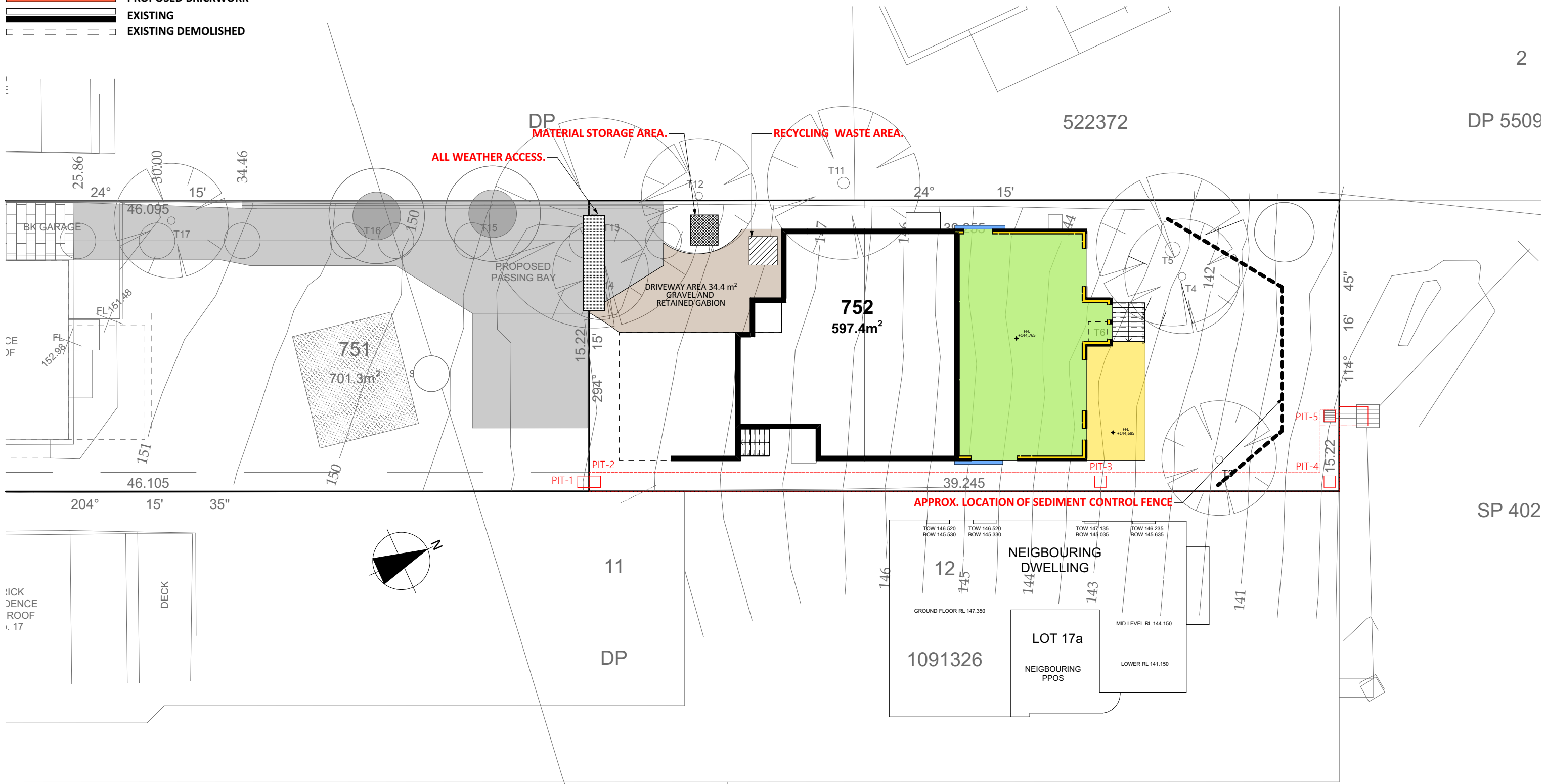


LANDSCAPE PLAN

SCALE: 1:200

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						MR MOHIT SAHNI	DRAWN:	DATE:	Rev:
						SITE ADDRESS:	LOT 75 DP660810, No.15 POMONA ST PENNANT HILLS, NSW 2120	DG	9/09/2022
						SHEET:	JOB No:		
						18	10064		

- LEGEND**
- PROPOSED TIMBER/CLADDING
 - PROPOSED CONCRETE
 - PROPOSED STEEL
 - PROPOSED BRICKWORK
 - EXISTING
 - EXISTING DEMOLISHED



SITE MANAGEMENT PLAN
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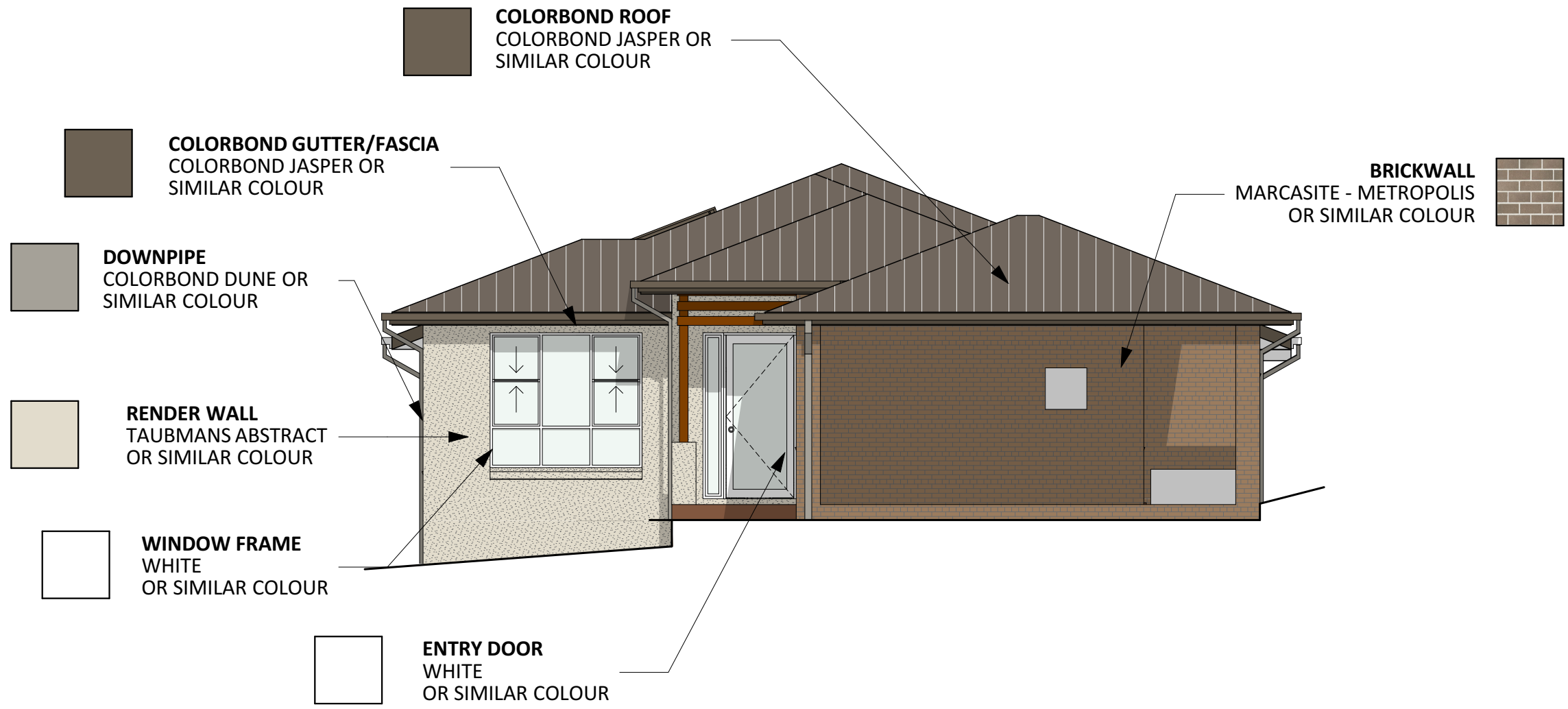
SITE MANAGEMENT, EROSION AND SEDIMENT CONTROL PLAN

Rev:	AMENDMENT:	BY:	DATE:

CLIENT:
MR MOHIT SAHNI

SITE ADDRESS:
LOT 75 DP660810, No.15
POMONA ST
PENNANT HILLS, NSW 2120

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COLOR SCHEDULE

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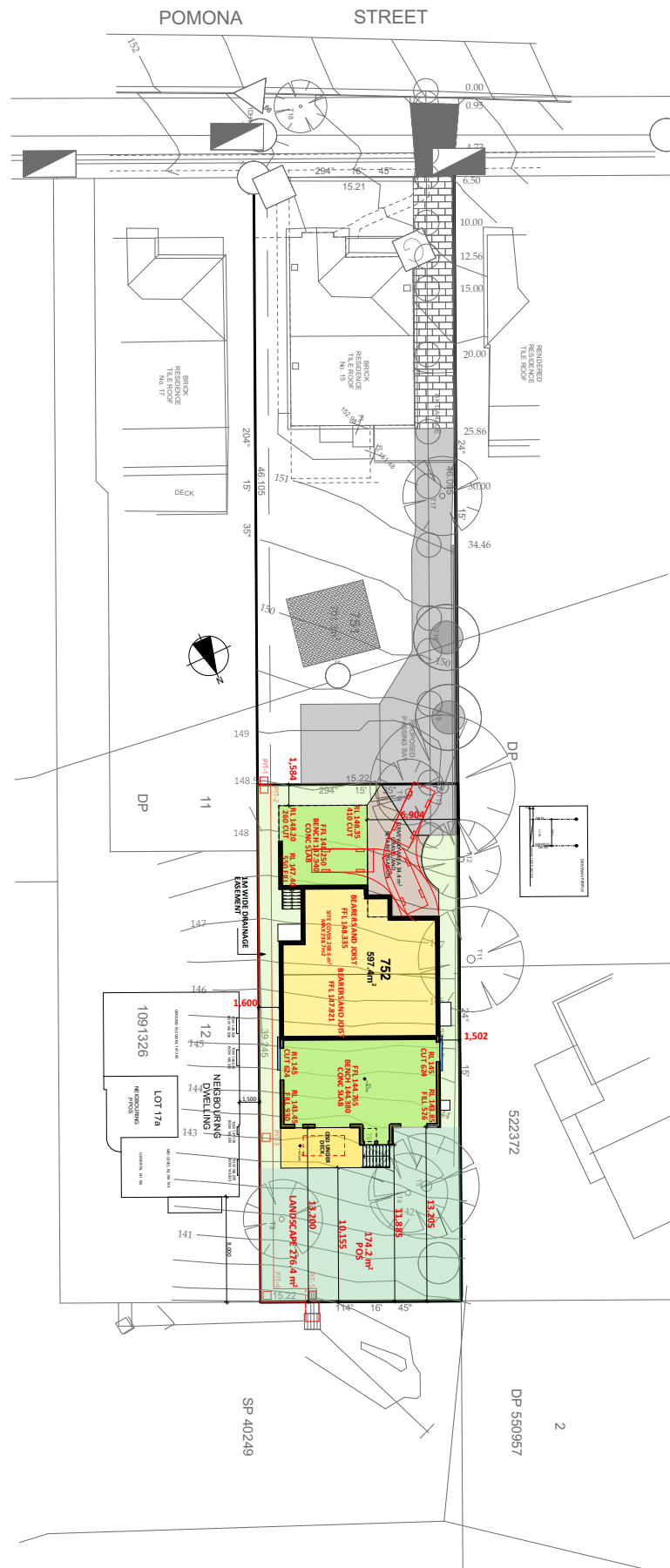
COLOUR SCHEDULE

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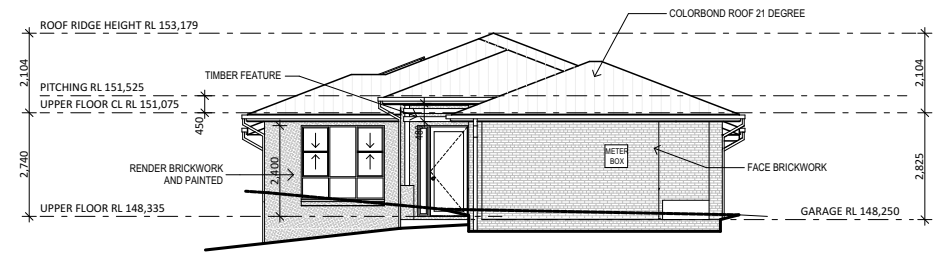
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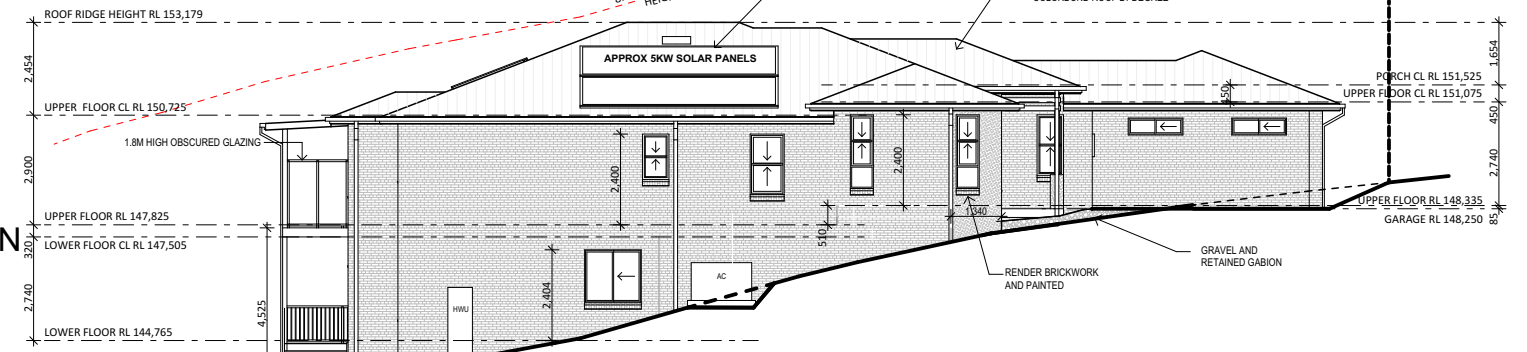
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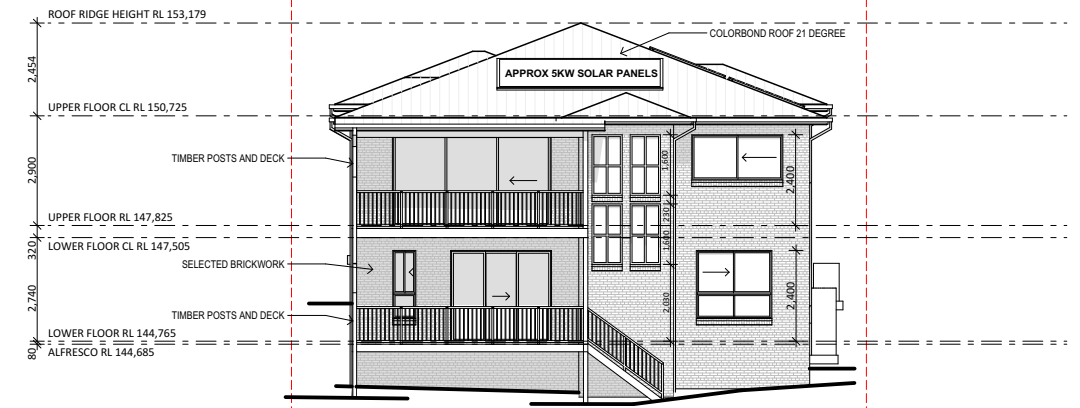
ELEVATION A



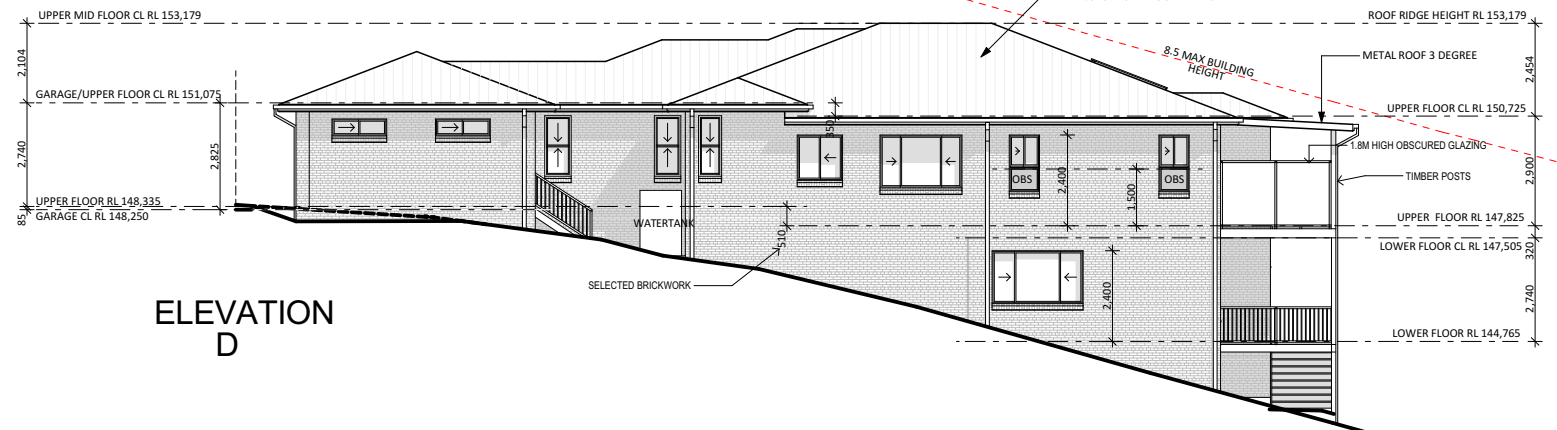
ELEVATION B



ELEVATION C



ELEVATION D



NOTIFICATION PLAN

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				MR MOHIT SAHNI
				SITE ADDRESS:
				LOT 75 DP660810, No.15
				POMONA ST
				PENNANT HILLS, NSW 2120

DA SET PLANS

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