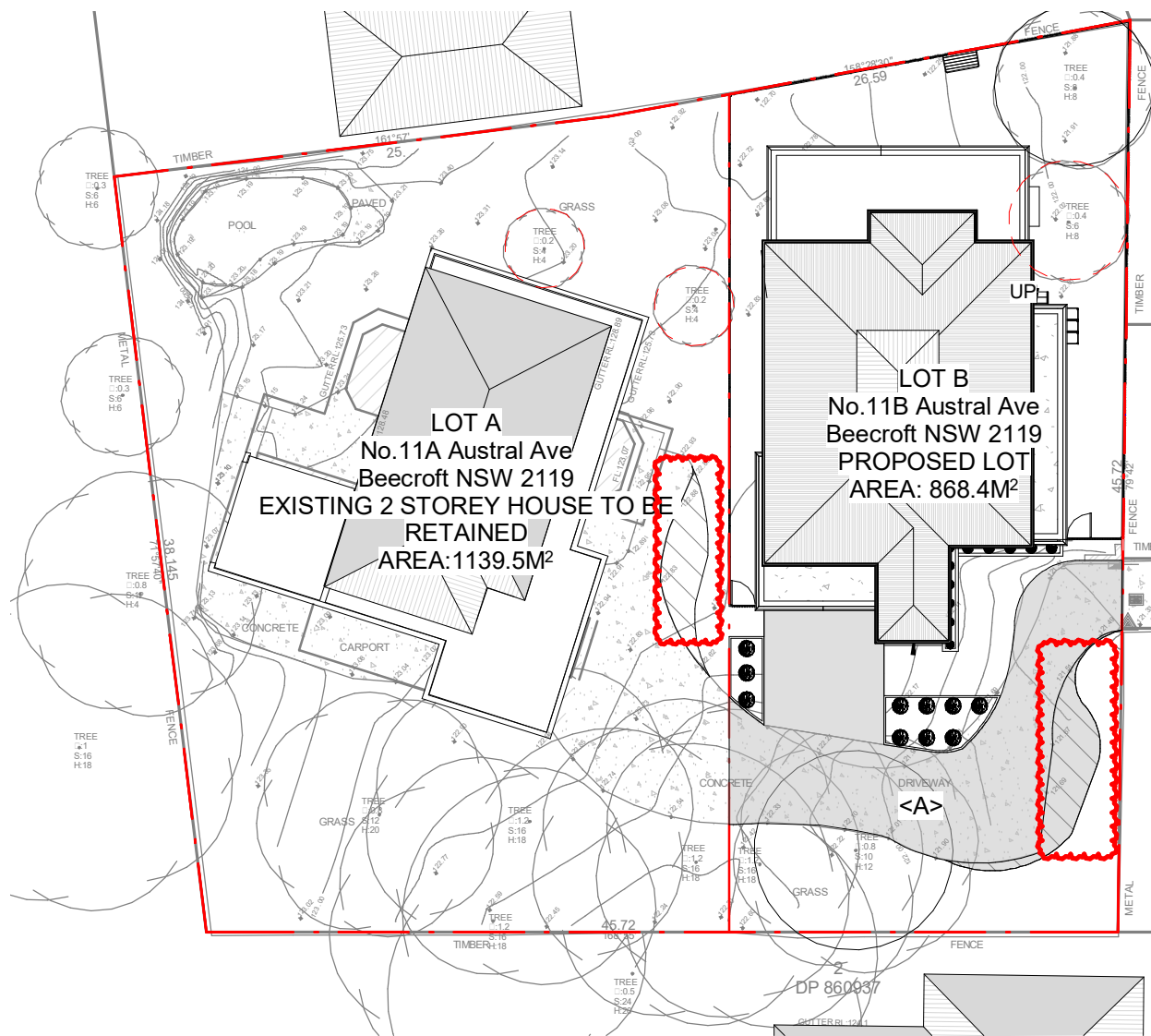


SHEET NO.	NAME	REV.	DATE
000-SPECIFICATION			
DA-000	COVER PAGE	C	24/03/2023
DA-010	NOTIFICATION PLAN	C	24/03/2023
DA-020	SITE PLAN	C	24/03/2023
DA-030	PROPOSED SUBDIVISION PLAN	B	13/01/2023
DA-040	DEMOLITION PLAN	C	24/03/2023
DA-050	BASIX COMMITMENT	B	13/01/2023
100-GENERAL ARRANGEMENT PLANS			
DA-110	GROUND FLOOR PLAN	C	24/03/2023
DA-120	FIRST FLOOR PLAN	B	13/01/2023
DA-130	ROOF PLAN	C	24/03/2023
200-ELEVATIONS			
DA-210	WEST ELEVATION	B	13/01/2023
DA-220	EAST ELEVATION	B	13/01/2023
DA-230	NORTH ELEVATION	B	13/01/2023
DA-240	SOUTH ELEVATION	B	13/01/2023
300-SECTIONS			
DA-310	SECTION A	B	13/01/2023
DA-320	SECTION B	B	13/01/2023
400-Window & Door			
DA-410	WINDOW SCHEDULE	B	13/01/2023
500-SITE ANALYSIS			
DA-510	SITE ANALYSIS	B	13/01/2023
DA-520	AREA CALCULATION	C	24/03/2023
DA-530	SHADOW DIAGRAM	B	13/01/2023
DA-540	SEDIMENT CONTROL PLAN	B	13/01/2023
600-FINISHES			
DA-610	EXTERNAL FINISH SCHEDULE	B	13/01/2023
900-PERSPECTIVE			
DA-910	PERSPECTIVE	B	13/01/2023



GENERAL NOTES

A/C	AIR CONDITIONER	EQ	EQUAL	MIN	MINIMUM
BAL	BALCONY	F	FRIDGE	NTS	NOT TO SCALE
CO	CLEAR OPENING	FB	FACEBRICK	PTY	PANTRY
COL	COLUMN	FC	FIBRIC CEMENT	RL	REDUCED LEVEL
CONC	CONCRETE	FF	FIRST FLOOR	RM	ROOM
COS	CHECK ON SITE	FFL	FLOOR FINISHED LEVEL	RWT	RAINWATER TANK
CPT	CARPET	FW	FLOOR WASTE	SQ	SQUARE
CR	CEMENT RENDER	GF	GROUND FLOOR	SSL	STRUCTRAL SLAB LEVEL
CT	CERAMIC TILE / CENTER	GL	GLASS	STD	STUDY
CTG	COATING	HW	HOTWATER	STO	STORAGE
CW	COLD WATER	KIT	KITCHEN	TOW	TOP OF WALL
DIA	DIAMETER	LIN	LINEN STORAGE	TYP	TYPICAL
DN	DOWN	LDY	LAUNDRY	VIN	VINYL
DP	DOWN PIPE	M	METER	W	WASHING MACHINE
DR	DOOR	MAX	MAXIMUM	WIR	WALK IN WARDROBE
ENS	ENSUITE	MB	METER BOX		



1 SITE PLAN-NOM
N.T.S



4 SOUTH ELEVATION-NOM
N.T.S



5 NORTH ELEVATION-NOM
N.T.S

2 EAST ELEVATION-NOM
N.T.S

3 WEST ELEVATION-NOM
N.T.S





TITLE: **PROPOSED SUBDIVISION PLAN**

DRW: **AA** DRW #: **DA-030**

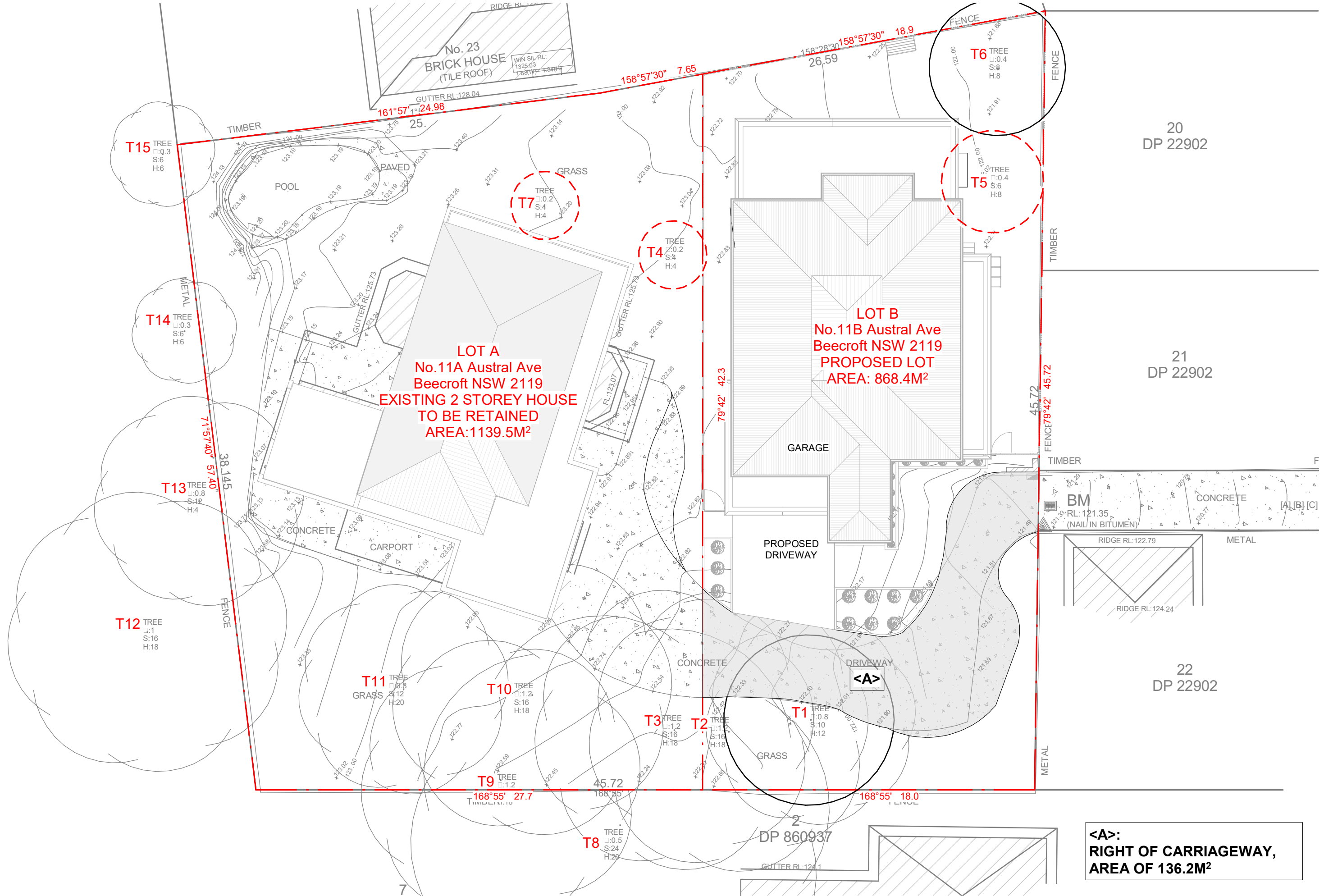
CHK: **RW** REV #: **B**

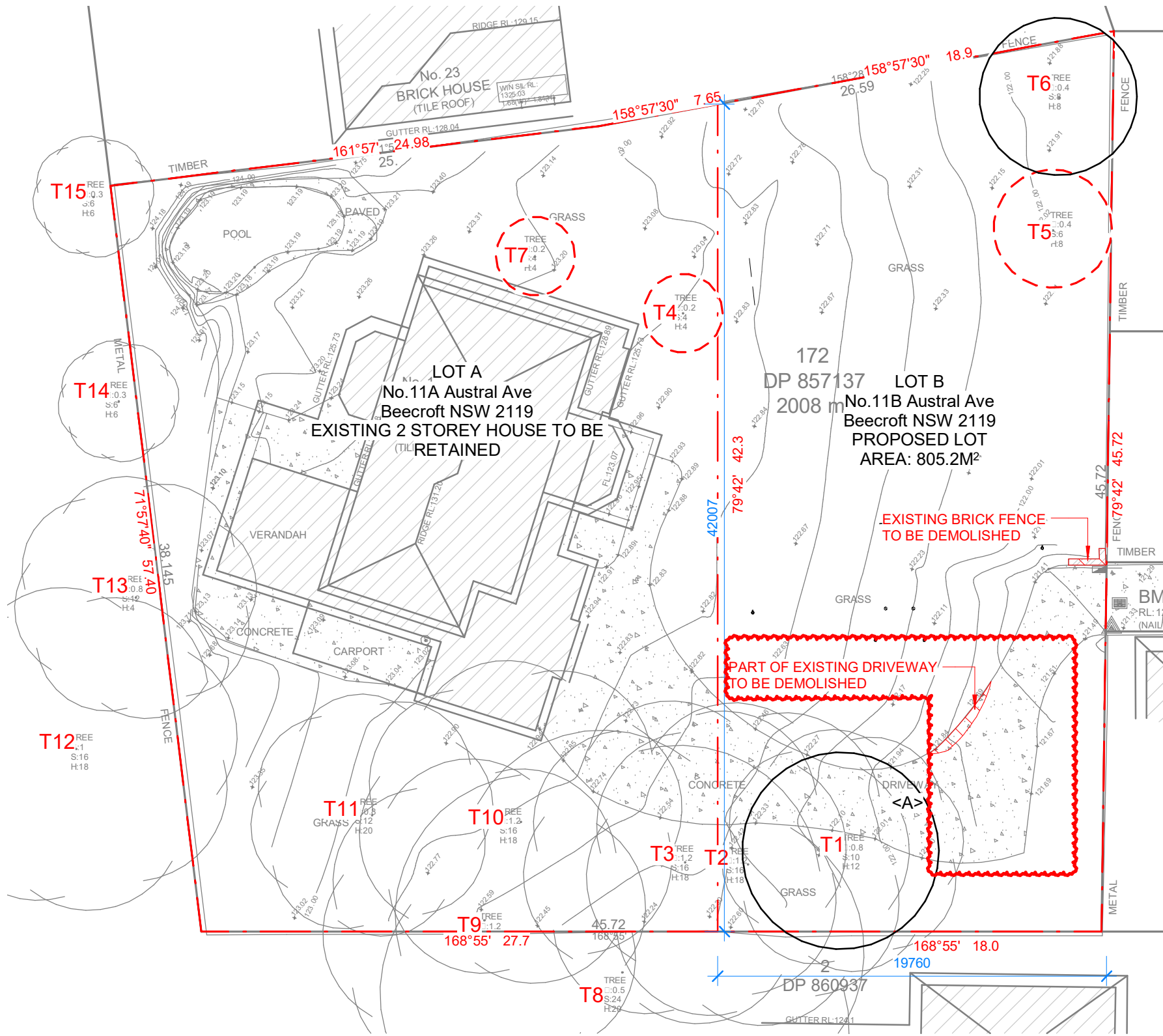
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SCALE: 0 1 2 3 4 5 6
SCALE 1:200 As indicated A3

REV	COMMENTS	DATE
A	ISSUED FOR DA	19/08/2022
B	ISSUED FOR DA	13/01/2023

PRJ #: **1923**
STATUS: **ISSUED FOR DA**
CLIENT: **Owner**
ADD: **11a Austral Ave,
Beecroft**





DEMOLITION NOTES

CONTRACTOR TO CONFIRM EXISTING CONDITIONS ON SITE.

CONTRACTOR TO DEMOLISH EXISTING STRUCTURE/REMOVE ALL MATERIALS. CUT AND SEAL SERVICES AS REQUIRED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS AND A.S. CODES FOR THAT TRADE U.N.O

PROTECTION OF WORKS AS REQUIRED BY LOCAL AUTHORITIES

CLEANING OF SITE TO EPA REQUIREMENTS BY CONTRACTOR

ASBESTOS

CONTRACTOR TO ALLOW FOR COMPLETE DEMOLITION & REMOVAL OF ALL ASBESTOS PRODUCTS. ALL ASBESTOS PRODUCTS TO BE REMOVED & HANDLED AS PER RELEVANT AUSTRALIAN STANDARDS

EXTENT OF DEMOLITION WORK AS INDICATED ON THIS DRAWING & HERITAGE CONSULTANTS DRAWINGS & SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

REMOVAL/DEMOLITION OF ALL EXISTING FLOOR/SLABS & FOOTINGS, EXTERNAL AND INTERNAL WALLS, WINDOWS, DOORS, CLADDING, GUTTERS, DOWNPIPES, RAINWATER HEADS, CAPPINGS, FLASHING GUTTER BOARD SUPPORTS ETC. U.N.O

REMOVAL/DEMOLITION OF ALL EXISTING WORKS INCLUDING BUT NOT LIMITED TO EXTERNAL STEPS, PATHS, CARPARKS, PLANTERS & LANDSCAPING, GATES, FENCES, GARDEN WALLS, RETAINING WALLS, BOLLARDS, LIGHT BLADES SIGNS, COLUMNS ETC. U.N.O

REMOVAL/DEMOLITION OF ALL EXISTING FIXTURES AND FITTINGS INCLUDING BUT NOT LIMITED TO LIGHTS, TAPS, BASINS, WCS ETC. DISCONNECTION & REMOVAL OF EXISTING SERVICES TO BE UNDERTAKEN BY APPROPRIATE CONTRACTORS

CONTRACTOR TO MAKE GOOD DAMAGE TO ADJOINING BUILDINGS, PAVEMENT, LANEWAYS, ROADS, FENCES, KERBS, CHANNELS, SERVICES, STREET FURNITURE, CARSPACE MARKINGS ETC. (IE. ANY ADJOINING OBJECTS/MATERIALS NOT WITHIN SITE BOUNDARY) RESULTING FROM DEMOLITION WORKS.

ALL REPAIRS TO AUTHORITY REQUIREMENTS OR TO CONDITION PRIOR TO DEMOLITION. CONTRACTORS ARE RESPONSIBLE FOR RELOCATION AND CO-ORDINATION OF ROAD CARPARKING MARKINGS, TICKET MACHINES ETC.

PRELIMINARY

PRECAUTIONARY MEASURES TO BE UNDERTAKEN AS DESCRIBED IN AS.2601-2001. A "HAZARDOUS SUBSTANCES MANAGEMENT PLAN" IS TO BE IMPLEMENTED BEFORE AND DURING DEMOLITION. IF THE PRELIMINARY INVESTIGATION OF THE BUILDING IDENTIFIES ANY HAZARDOUS MATERIALS CONTAINED THEREIN. THESE MATERIALS WILL BE REMOVED AS PER THE GUIDELINES OF THE RESPONSIBLE AUTHORITY AND CLEARANCE CERTIFICATE OBTAINED BEFORE DEMOLITION COMMENCES

SAFETY FENCING

SECURITY FENCES SHALL BE PROVIDED TO THE STREET BOUNDARY OF THE DEMOLITION SITE AND ANY ADDITIONAL PRECAUTIONARY MEASURES, TAKEN AS MAY BE NECESSARY TO PREVENT UNAUTHORISED ENTRY TO THE SITE, WHERE THE DEMOLITION SITE ADJOINS A PUBLIC THOROUGHFARE THE COMMON BOUNDARY BETWEEN THEM SHALL BE FENCED FOR ITS FULL LENGTH WITH A HOARDING UNLESS THE LEAST HORIZONTAL DISTANCE BETWEEN THE COMMON BOUNDARY AND THE NEAREST PART OF THE STRUCTURE IS GREATER THAN TWICE THE HEIGHT OF THE STRUCTURE. THE FENCING SHALL BE THE EQUIVALENT OF THE CHAIN WIRE AS SPECIFIED IN AS.1725

NOTICES LETTERED IN ACCORDANCE WITH AS.1319 AND DISPLAYING THE WORDS "WARNING DEMOLITION IN PROGRESS", OR SIMILAR, SHALL BE FIXED TO THE FENCING AT APPROPRIATE PLACES TO WARN THE PUBLIC. PROVISION SHALL BE MADE FOR READY ACCESS TO THE SITE BY EMERGENCY SERVICES PERSONNEL IN THE EVENT OF FIRE OR ACCIDENT

DEMOLITION WORK

STRUCTURES SHALL BE DEMOLISHED IN THE REVERSE ORDER TO THAT OF THEIR CONSTRUCTION. THE ORDER OF DEMOLITION FOR BUILDINGS SHALL BE PROGRESSIVE, STOREY BY STOREY, HAVING PROPER REGARD TO THE TYPE OF CONSTRUCTION. NO PART OF ANY STRUCTURE SHALL BE LEFT UNSUPPORTED OR UNATTENDED IN SUCH A CONDITION THAT IT MAY COLLAPSE OR BECOME DANGEROUS. PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT THE STABILITY OF ALL PARTS OF THE STRUCTURE, AND THE SAFETY OF PERSONS ON AND OUTSIDE THE SITE, WILL BE MAINTAINED IN THE EVENT OF SUDDEN AND SEVERE WEATHER CHANGES.

WALLS ON THE BOUNDARIES ARE TO BE DEMOLISHED IN A SAFE AND WORKMANSHIP LIKE MANNER. WALLS SHALL NOT BE Laterally LOADED BY ACCUMULATED DEBRIS OR RUBBLE, TO THE EXTENT THAT THEY ARE IN DANGER OF COLLAPSE, ALLOWABLE LOADING OF THE SUSPENDED FLOORS SHALL BE DETERMINED BY AN INDEPENDENT STRUCTURAL ENGINEER.

DUST CONTROL

THE TECHNIQUES ADOPTED FOR STRIPPING OUT AND FOR DEMOLITION SHALL MINIMISE THE RELEASE OF DUST INTO THE ATMOSPHERE. BEFORE THE COMMENCEMENT OF STRIPPING OR DEMOLITION IN AN AREA OF A STRUCTURE, ANY EXISTING ACCUMULATIONS OF DUST IN THAT AREA SHALL BE COLLECTED, PLACED IN SUITABLE CONTAINERS AND REMOVED. SELECTION OF AN APPROPRIATE COLLECTION TECHNIQUE, SUCH AS VACUUMING OR HOSING DOWN, SHALL TAKE DUE ACCOUNT OF THE NATURE OF THE DUST AND THE TYPE OF HAZARD IT PRESENTS. DUST GENERATED DURING STRIPPING, OR DURING THE BREAKING DOWN OF THE BUILDING FABRIC TO REMOVABLE SIZED PIECES, SHALL BE KEPT DAMP UNTIL IT IS REMOVED FROM THE SITE OR CAN BE OTHERWISE CONTAINED. THE USE OF EXCESS WATER FOR THIS PURPOSED SHALL BE AVOIDED.

NOISE CONTROL

NOISE SHALL BE MINIMISED AS FAR AS PRACTICABLE, BY THE SELECTION OF APPROPRIATE METHODS AND EQUIPMENT, AND BY THE USE OF SILENCING DEVICES WHEREVER PRACTICABLE TO EPA/CODE REQUIREMENTS.

NOTE:

1. ATTENTION IS DRAWN TO RECOMMENDATIONS IN AS.2436
2. HOURS OF OPERATING EQUIPMENT MAY BE RESTRICTED BY REGULATORY AUTHORITY

FIRE SERVICES

WHERE A FIRE HYDRANT SERVICE OR A FIRE HOSE REEL SERVICE IS PROVIDED IN A BUILDING, IT SHALL BE AVAILABLE AT ALL TIMES DURING THE DEMOLITION OF THE BUILDING, SO THAT ALL REMAINING STOREYS EXCEPT THE TWO UPPERMOST STOREYS, ARE SERVICED. ACCESS TO THE FIRE PROTECTION SERVICES, INCLUDING ANY BOOSTER FITTING, SHALL BE MAINTAINED AT ALL TIMES. IF A SPRINKLER SYSTEM IS INSTALLED IN A BUILDING TO BE DEMOLISHED, IT SHALL BE MAINTAINED IN AN OPERABLE CONDITION AT EACH STOREY BELOW THE TWO UPPERMOST UNSTRIPPED STOREYS.

SUITABLE PORTABLE FIRE EXTINGUISHERS SHALL BE KEPT AT ALL TIMES IN WORKING AREA AND ARE NOT PROTECTED BY OTHER FIRE SERVICES, AND MAINTAINED IN AN OPERABLE CONDITION.

ADJOINING PROPERTIES

SAFE ACCESS TO AND EGRESS FROM ADJOINING BUILDINGS SHALL BE MAINTAINED AT ALL TIMES FOR THE DURATION OF THE DEMOLITION WORK. NO DEMOLITION ACTIVITY SHALL CAUSE DAMAGE TO OR ADVERSELY AFFECT THE STRUCTURAL INTEGRITY OF ADJOINING BUILDINGS. THE EFFECTS OF VIBRATION AND CONVERSION ON ADJOINING BUILDINGS AND THEIR OCCUPANTS SHALL BE MINIMISED BY SELECTING DEMOLITION METHODS AND EQUIPMENT APPROPRIATE TO THE CIRCUMSTANCES. WHERE ANY SURFACE OF AN ADJOINING BUILDING IS EXPOSED BY DEMOLITION, THE NEED FOR WEATHERPROOFING THE EXPOSED SURFACE SHALL BE INVESTIGATED AND TEMPORARY OR PERMANENT PROTECTION PROVIDED AS APPROPRIATE. PRECAUTIONS SHALL BE TAKEN TO MINIMISE THE SPREADING OF MUD AND DEBRIS BY VEHICLES LEAVING THE SITE.

GENERAL

OPENINGS IN EXISTING WALLS AND FLOORS, THROUGH WHICH THERE IS A RISK OF PERSONS FALLING TO LOWER LEVEL, SHALL BE EITHER PROPERLY GUARDED OR BOARDED OVER AND THE BOARDING SECURED AGAINST UNAUTHORISED OR ACCIDENTAL REMOVAL. PRECAUTIONS SHALL BE TAKEN TO PREVENT GLASS FROM FALLING ON ANY PERSON IN OR OUTSIDE THE BUILDING. DEMOLISHED MATERIAL SHALL NOT BE ALLOWED TO FALL FREELY OUTSIDE THE STRUCTURE UNLESS IT IS CONFINED WITHIN A CHUTE OR SIMILAR ENCLOSURE, WHICH IS CLEAR OF OBSTRUCTIONS TO OBJECTS FALLING FREELY.

DEMOLISHED MATERIAL SHALL BE REMOVED PROGRESSIVELY FROM THE SITE AND AT ANY TIME, SHALL NOT BE ALLOWED TO ACCUMULATE TO THE EXTENT THAT IT PRESENTS A HAZARD TO THE PUBLIC OR TO SITE PERSONNEL.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH HERITAGE CONSULTANTS DRAWINGS AND SPECIFICATIONS

SITE PROTECTION/SHORING LEGEND

PERMANENT SITE SHORING

TEMPORARY SITE SHORING

NOTE:

REFER STRUCTURAL ENGINEERS DRAWINGS FOR ALL SITE PROTECTION AND SHORING DETAILS



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Institute of
Architects



TREES TO RETAIN

TITLE: **DEMOLITION PLAN**

DRW: **AA**

DRW #: **DA-040**

CHK: **RW**

REV #: **C**

NORTH:



SCALE:

0 1 2 3 4

SCALE 1:100

As indicated A3

REV	COMMENTS	DATE
A	ISSUED FOR DA	19/08/2022
B	ISSUED FOR DA	13/01/2023
C	ISSUED FOR DA	24/03/2023

PRJ #: **1923**

STATUS: **ISSUED FOR DA**

CLIENT: **Owner**

ADD: **11a Austral Ave,
Beecroft**

BASIX Thermal Specification – Lot B, 11a Austral Ave, Beecroft NSW		
Element	Construction	Details
Roof / External Ceiling	Concrete flat roof + PB ceiling without insulation	Dark colour (Solar Absorptance>0.7) Applicable to the roof over the garage
	Concrete flat roof + R3.0 bulk insulation + PB ceiling	Applicable to the exposed roofs over the ground floor except for the garage
	Tile roof + reflective sarking + R4.0 bulk ceiling insulation + PB	Applicable to part of the roofs over the first floor as per the roof plan
	Metal deck roof + reflective sarking + R4.0 bulk ceiling insulation + PB	Applicable to part of the roofs over the first floor as per the roof plan
Internal Ceiling	Concrete slab + PB without insulation	Throughout
External walls	Cavity brick walls without insulation	Light colour (Solar Absorptance<0.475) Applicable to the garage external walls on the ground floor
	Cavity brick walls + reflective foil wrap in cavity	Applicable to all other external walls on the ground floor except those for the garage mentioned above
	Brick veneer + R2.5 bulk insulation	Applicable to all external walls on the first floor
Internal walls	PB stud walls with R2.5 bulk insulation	Applicable to the garage internal walls on the ground floor
	PB stud walls without insulation	Applicable to all other internal walls except for the above
Windows	Standard aluminium frame, weather stripping fitted, single clear	Applicable to the garage windows Group A (awning type): U = 6.7 and SHGC = 0.57; Group B (fixed type): U = 6.7 and SHGC = 0.70;
	Standard aluminium frame, weather stripping fitted, single low-e glazed, high solar gain	Applicable to all other windows and glazed doors NFRG glazing system (Glass+Frame) values – Group A (awning window type and hinged door type): U = 5.4 and SHGC = 0.49; Group B (fixed and sliding types): U = 5.4 and SHGC = 0.58;
Note that all glazing installed shall have the U values not more than those specified above and the SHGC values within +/- 10% of those specified above.		
Skylights	N/A	
Floors	Concrete slab on ground	Application to the ground floor
	Suspended concrete floor without insulation	Applicable to the first floor
	Floor coverings	Bedrooms: carpet; Kitchen and all living areas: timber; All wet areas: tile; Garage: bare concrete
Downlights	If to be planned, IC rated LED downlights recommended to be used throughout	Rating without downlights due to lighting layout plans / RCPs not available at the current stage. Rating with downlights (if planned) shall be required when lighting layout design is completed prior to application of construction certificate.
Exhaust fans	Exhaust fans to all wet areas	Sealed

BASIXCertificate
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 13171495

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 23 August 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Single dwelling - 11a Austral Ave, Beecroft	
Street address	11a Austral Avenue Beecroft 2119	
Local Government Area	Hornsby Shire Council	
Plan type and plan number	deposited 857137	
Lot no.	172	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	

Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	50	Target 50

Certificate Prepared by		
Name / Company Name:	LC Consulting Engineers	
ABN (if applicable):	39626532527	

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 13171495 Tuesday, 23 August 2022 page 1/7

Schedule of BASIX commitments			
The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.			
Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">at least one outdoor tap in the development (note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 13171495 Tuesday, 23 August 2022 page 3/7

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 6 of the bedrooms / study; dedicatedat least 3 of the living / dining rooms; dedicatedthe kitchen; dedicated		✓ ✓ ✓	✓ ✓ ✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 13171495 Tuesday, 23 August 2022 page 5/7

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 13171495 Tuesday, 23 August 2022 page 7/7

Description of project

Project address	Assessor details and thermal loads		
Project name	Single dwelling - 11a Austral Ave, Beecroft	Assessor number	DMN161768
Street address	11a Austral Avenue Beecroft 2119	Certificate number	0007983224
Local Government Area	Hornsby Shire Council	Climate zone	56
Plan type and plan number	Deposited Plan 857137	Area adjusted cooling load (MJ/m²/year)	23
Lot no.	172	Area adjusted heating load (MJ/m²/year)	34
Section no.	-	Ceiling fan in at least one bedroom	No
		Ceiling fan in at least one living room or other conditioned area	No
Project type	Project score		
Project type	separate dwelling house	Water	40
No. of bedrooms	5	Thermal Comfort	Pass
Site details		Energy	50
Site area (m²)	805		
Roof area (m²)	343		
Conditioned floor area (m2)	377.7		
Unconditioned floor area (m2)	5.0		
Total area of garden and lawn (m2)	354		

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 13171495 Tuesday, 23 August 2022 page 2/7

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Floor and wall construction			
Area			
floor - concrete slab on ground	All or part of floor area square metres		
floor - suspended floor above garage	All or part of floor area		

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 13171495 Tuesday, 23 August 2022 page 4/7

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">all bathrooms/toilets; dedicatedthe laundry; dedicatedall hallways; dedicated		✓ ✓ ✓	✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 13171495 Tuesday, 23 August 2022 page 6/7

TITLE: **BASIX COMMITMENT**

DRW: **RW** DRW #: **DA-050**

CHK: **HY** REV #: **B**

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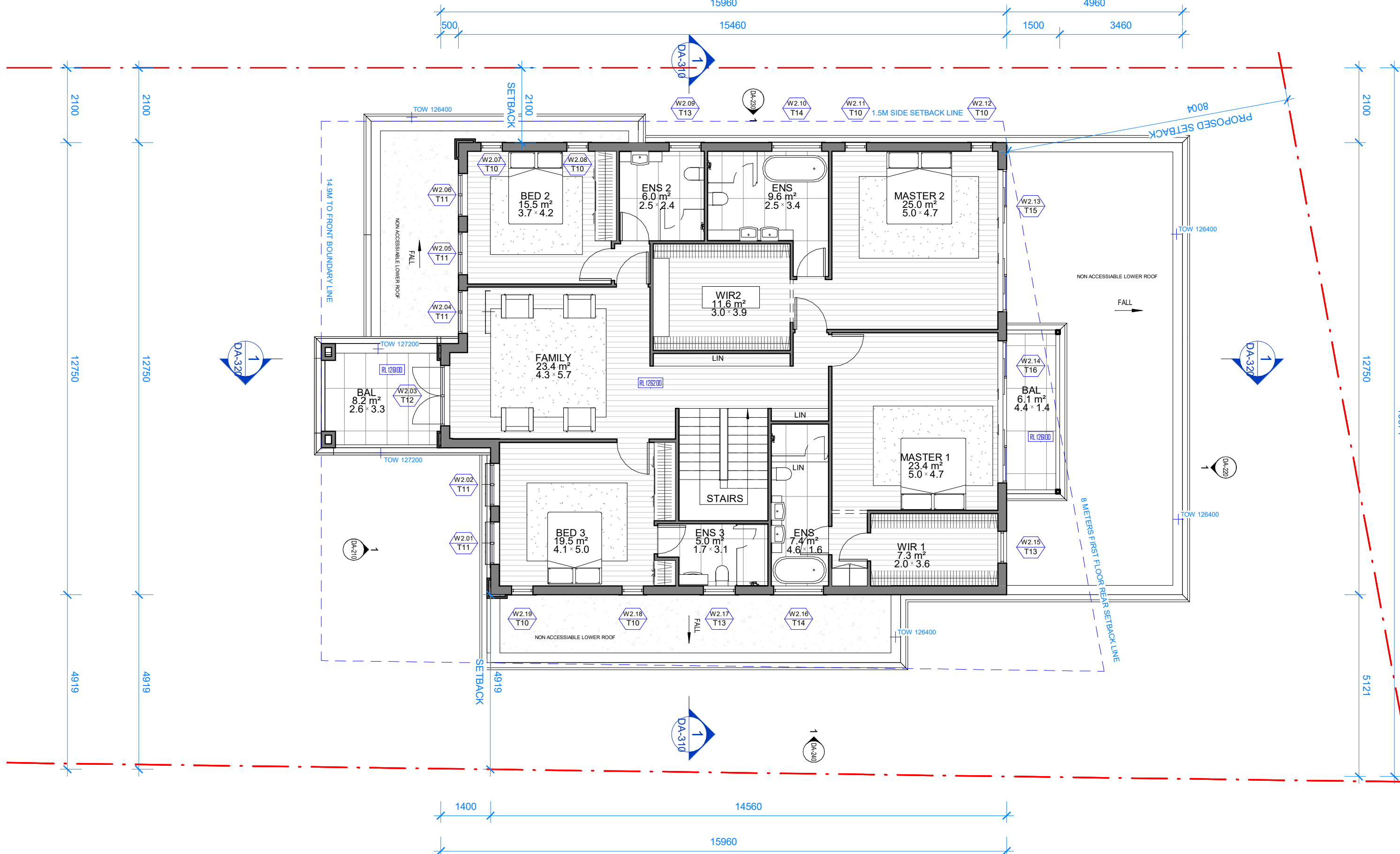
REV	COMMENTS	DATE
A	ISSUED FOR DA	19/08/2022
B	ISSUED FOR DA	13/01/2023

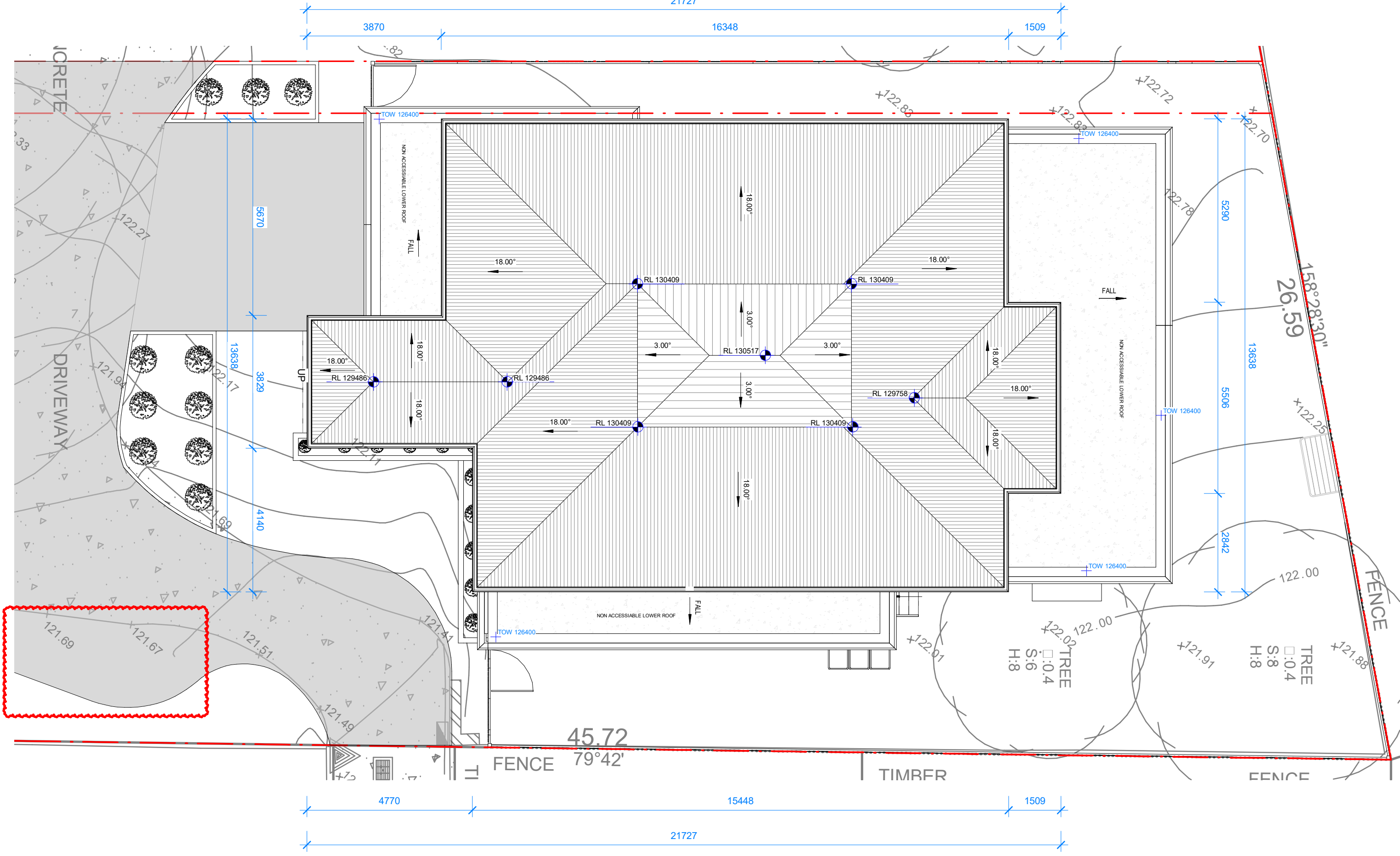
PRJ #: **1923**

STATUS: **ISSUED FOR DA**

CLIENT: **Owner**

ADD: **11a Austral Ave, Beecroft**





TITLE: **ROOF PLAN**

DRW: **AA** DRW #: **DA-130**
CHK: **RW** REV #: **C**
NORTH: 

SCALE: 0 1 2 3 4
SCALE 1:100 1:100 @ A3

REV	COMMENTS	DATE
A	ISSUED FOR DA	19/08/2022
B	ISSUED FOR DA	13/01/2023
C	ISSUED FOR DA	24/03/2023

PRJ #: **1923**
STATUS: **ISSUED FOR DA**
CLIENT: **Owner**
ADD: **11a Austral Ave,
Beecroft**



1 WEST ELEVATION
Scale 1 : 100
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TITLE: WEST ELEVATION

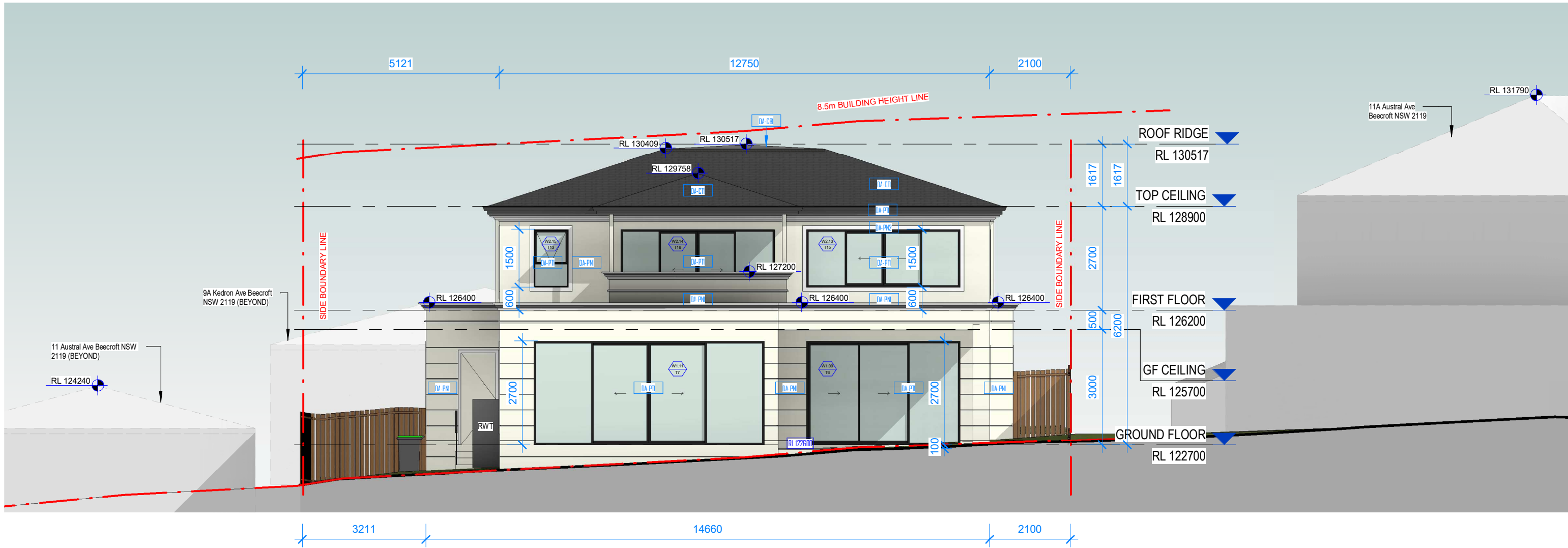
DRW: AA DRW #: DA-210

CHK: RW REV #: B

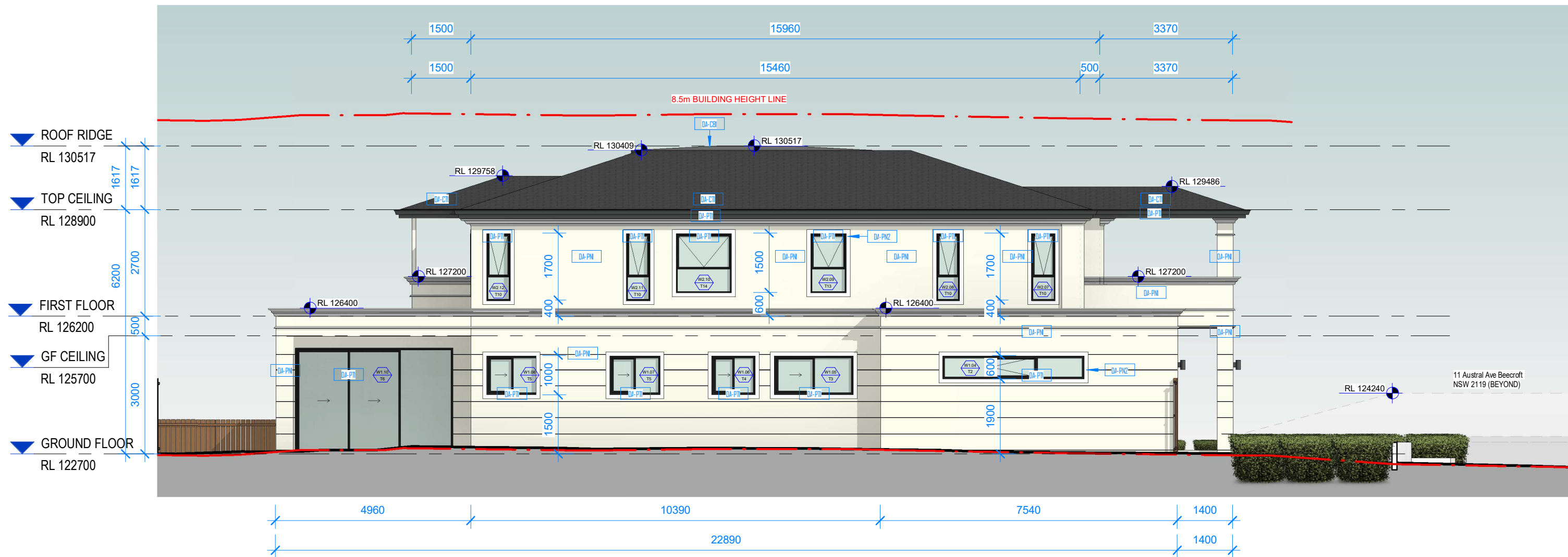
NORTH: SCALE: 0 1 2 3 4
SCALE 1:100 1 : 100 @ A3

REV	COMMENTS	DATE
A	ISSUED FOR DA	19/08/2022
B	ISSUED FOR DA	13/01/2023

PRJ #: 1923
STATUS: ISSUED FOR DA
CLIENT: Owner
ADD: 11a Austral Ave,
Beecroft

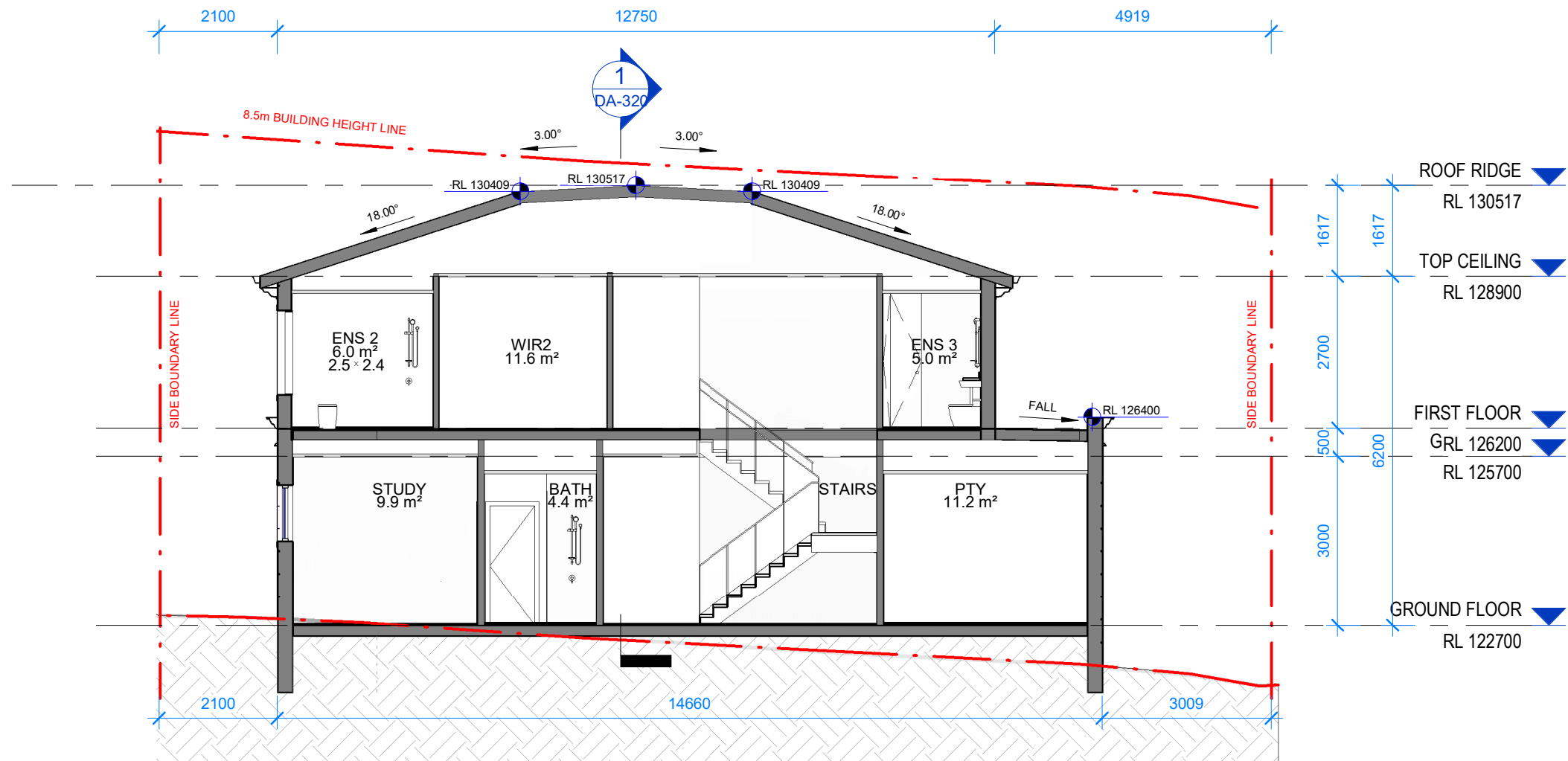


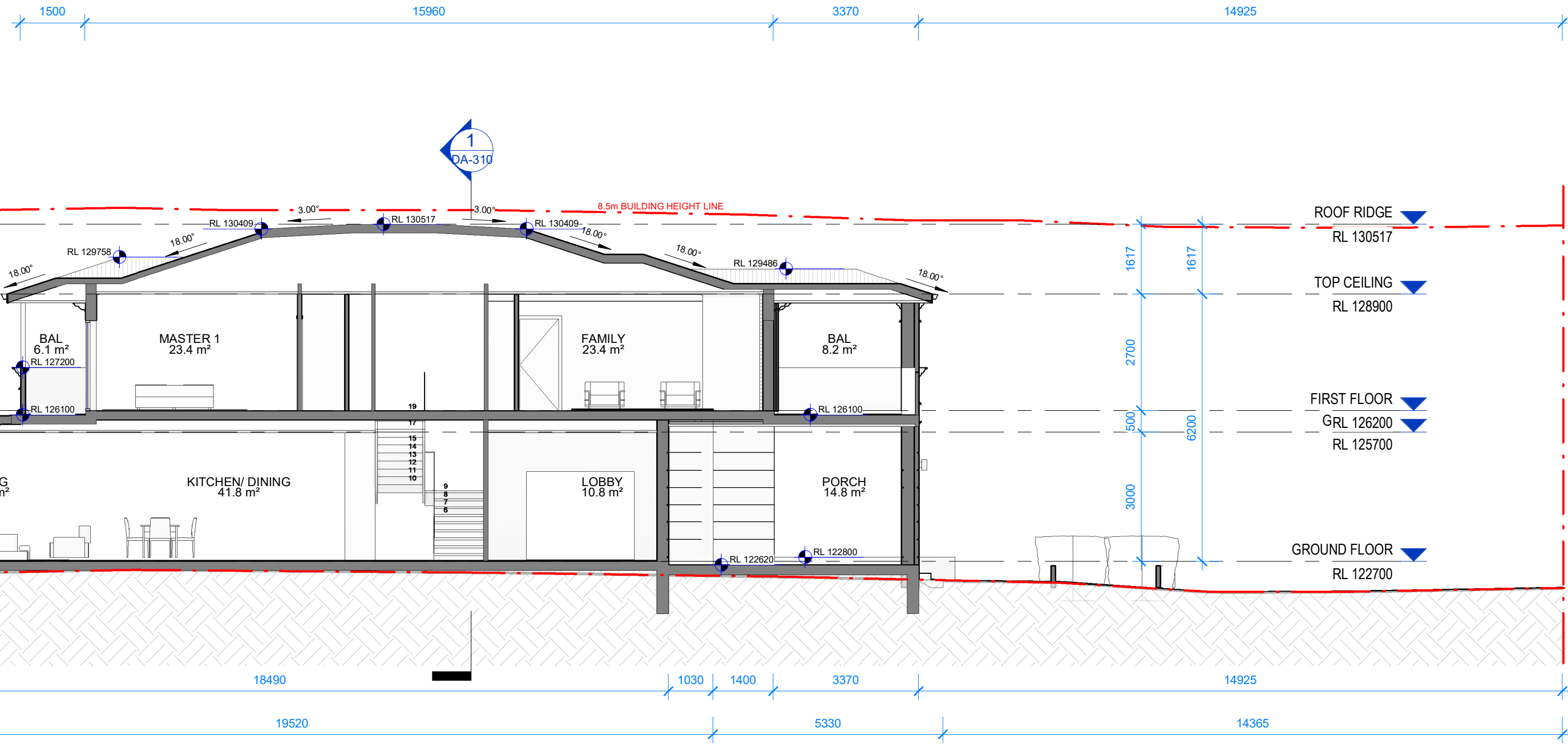
1 EAST ELEVATION
Scale 1 : 100
:

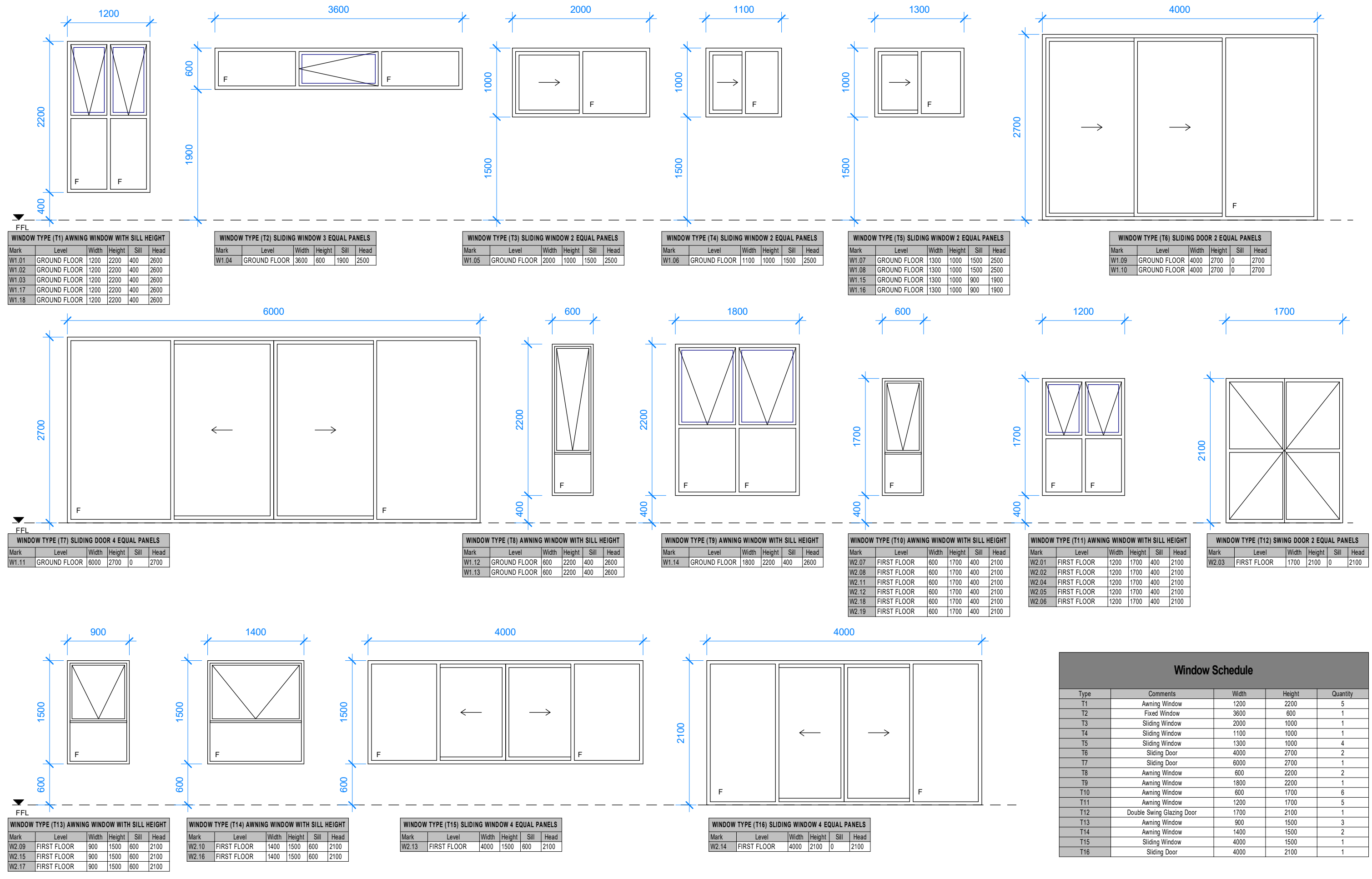


1 NORTH ELEVATION
Scale 1 : 100
:

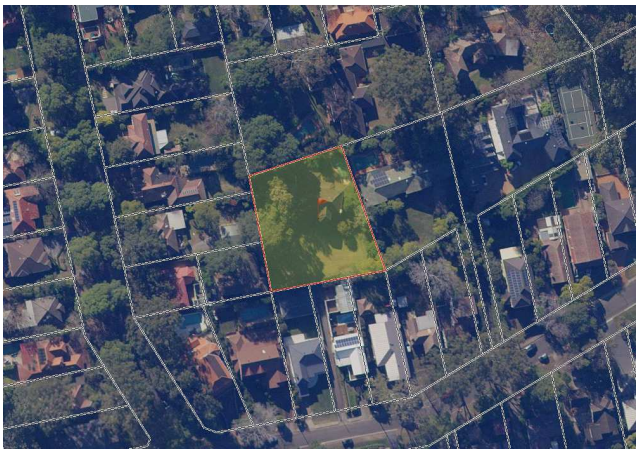








Window Schedule				
Type	Comments	Width	Height	Quantity
T1	Awning Window	1200	2200	5
T2	Fixed Window	3600	600	1
T3	Sliding Window	2000	1000	1
T4	Sliding Window	1100	1000	1
T5	Sliding Window	1300	1000	4
T6	Sliding Door	4000	2700	2
T7	Sliding Door	6000	2700	1
T8	Awning Window	600	2200	2
T9	Awning Window	1800	2200	1
T10	Awning Window	600	1700	6
T11	Awning Window	1200	1700	5
T12	Double Swing Glazing Door	1700	2100	1
T13	Awning Window	900	1500	3
T14	Awning Window	1400	1500	2
T15	Sliding Window	4000	1500	1
T16	Sliding Door	4000	2100	1



AERIAL VIEW IMAGE SOURCE: Six Maps



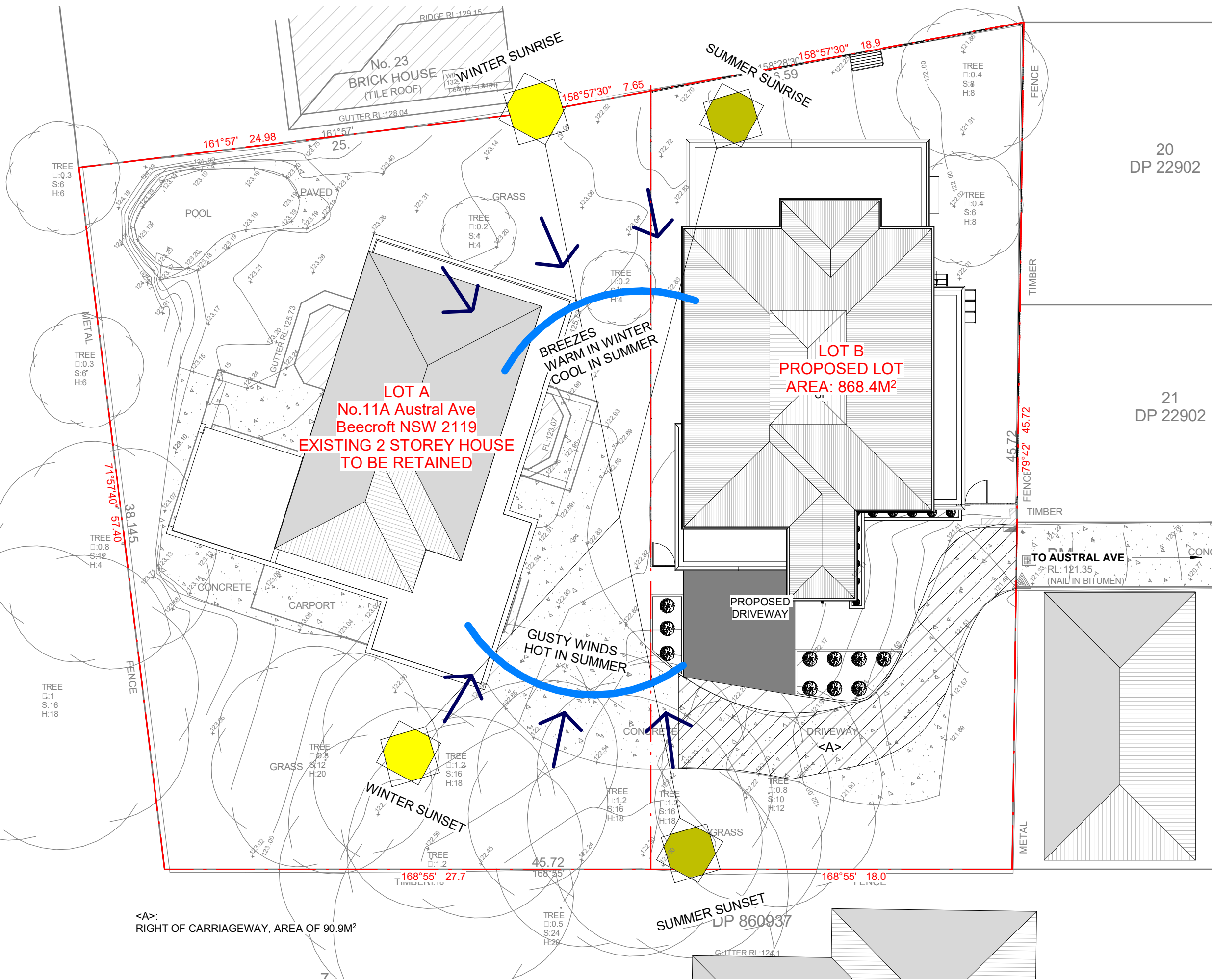
11 AUSTAL AVE(RIGHT), SITE ENTRANCE WAY(MIDDLE), 13 AUSTRAL AVE(LEFT)

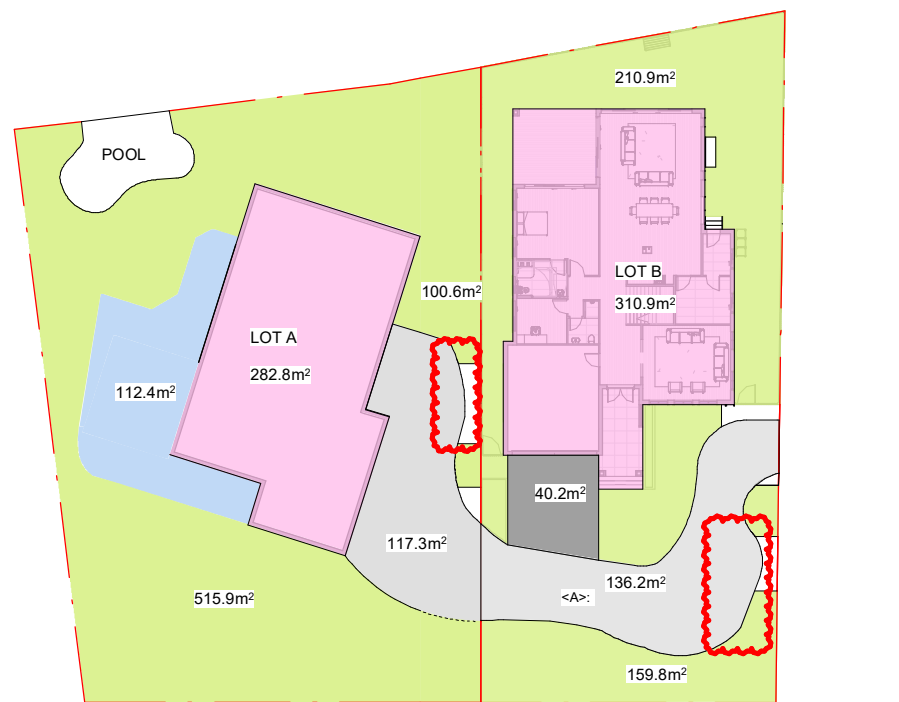


17 AUSTRAL AVE



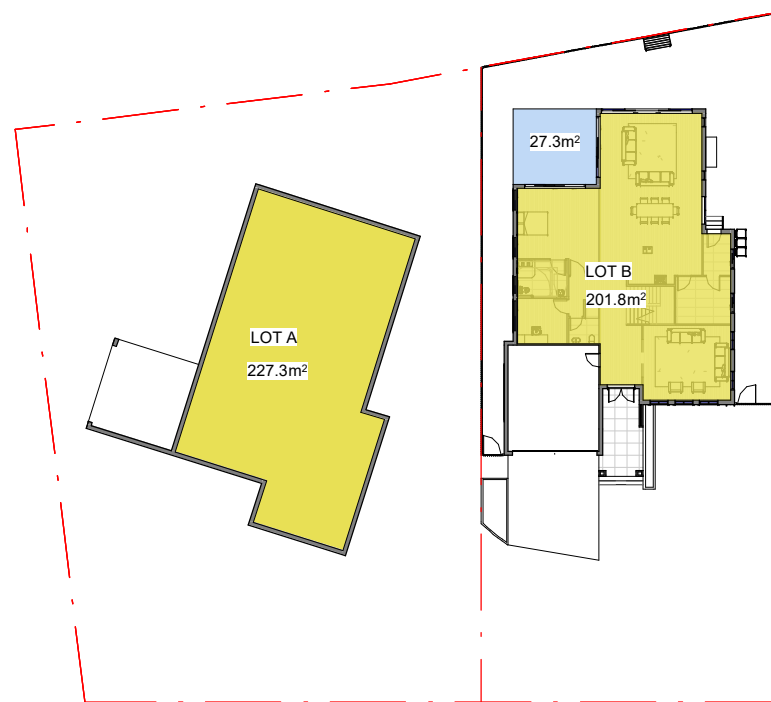
5 KEDRON AVE



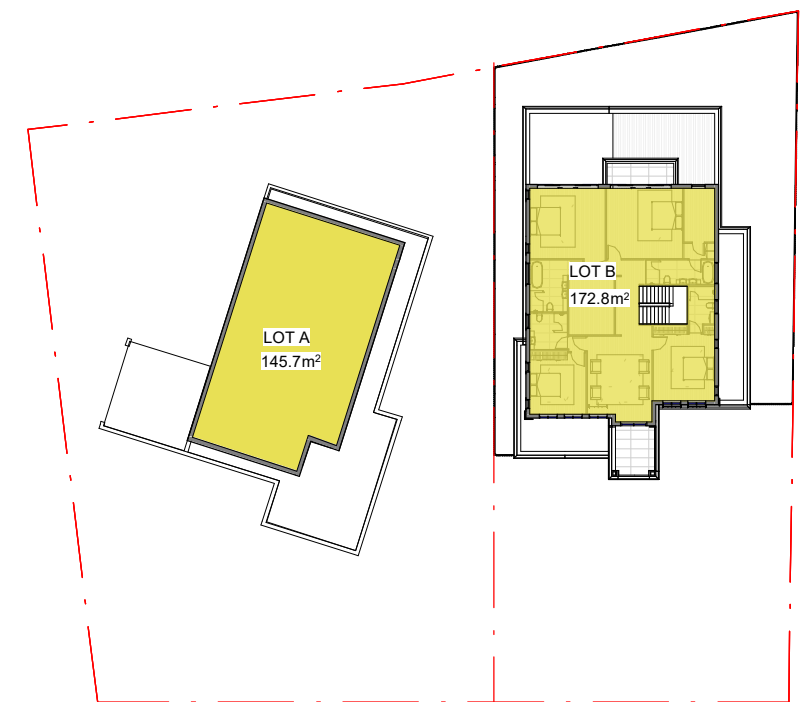


1 AREA CALCULATION 1
Scal 1 : 500
e:

<A>:
RIGHT OF CARRIAGEWAY, AREA OF 136.2m²



2 AREA CALCULATION 2
Scal 1 : 500
e:



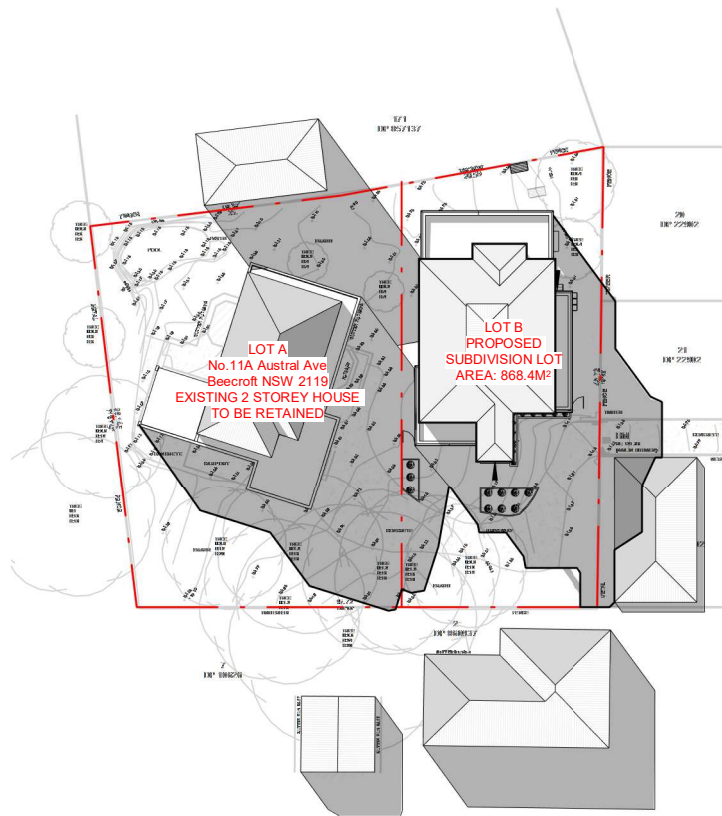
3 AREA CALCULATION 3
Scal 1 : 500
e:

DEVELOPMENT CALCULATION - EXISTING

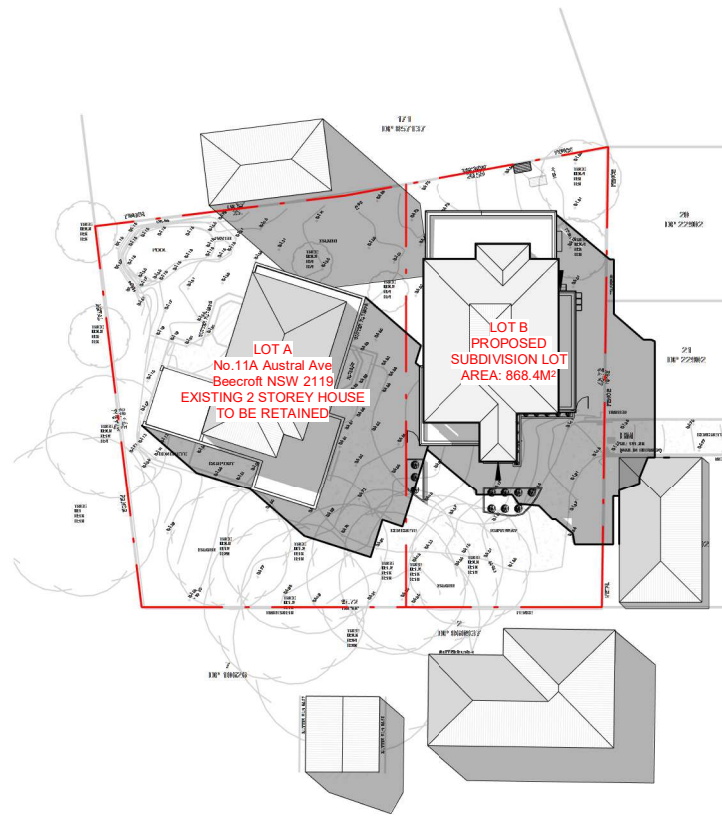
SITE AREA		1139.5m²	
LOT A WIDTH AT BUILDING LINE		41.3m	
BUILDING HEIGHT		NA	
SETBACK			
FRONT			
REQUIRED		NA	
PROPOSED		NA	
SECONDARY ROAD			
REQUIRED		NA	
PROPOSED		NA	
SIDE			
REQUIRED GL		0.9m	
REQUIRED FF		1.5m	
PROPOSED GL		4.3m	
PROPOSED FF		7.4m	
REAR			
REQUIRED GF		3.0m	
PROPOSED GF		3.0m	
REQUIRED FF		8.0m	
PROPOSED FF		8.0m	
SITE COVERAGE			
REQUIRED COVERAGE		40% x 1139.5=455.8m²	
PROPOSED COVERAGE		282.8m²	
GROSS FLOOR AREA			
REQUIRED FLOOR AREA		430.0m²	
PROPOSED FLOOR AREA		373.0m²	
PROPOSED GROUND FLOOR GFA		227.3m²	
PROPOSED BASEMENT GFA		0m²	
PROPOSED FIRST FLOOR GFA		145.7m²	
LANDSCAPE			
REQUIRED LANDSCAPE AREA		455.8m²	
PROPOSED LANDSCAPE AREA		616.5m²	
LANDSCAPE RATIO		54.1%	
AREA FORWARD BUILDING LINE		167.1m²	
LANDSCAPE FORWARD BUILDING LINE		100.6m²	
REQUIRED RATIO		50.0%	
PROPOSED RATIO		60.2%	
LANDSCAPE BEHIND BUILDING LINE		515.9m²	
REQUIRED RATIO		50.0%	
PROPOSED RATIO		83.7%	
PRINCIPAL PRIVATE OPEN SPACE			
REQUIRED PPOS		24.0m²	
PROPOSED PPOS		112.4m²	

DEVELOPMENT CALCULATION - PROPOSED LOT

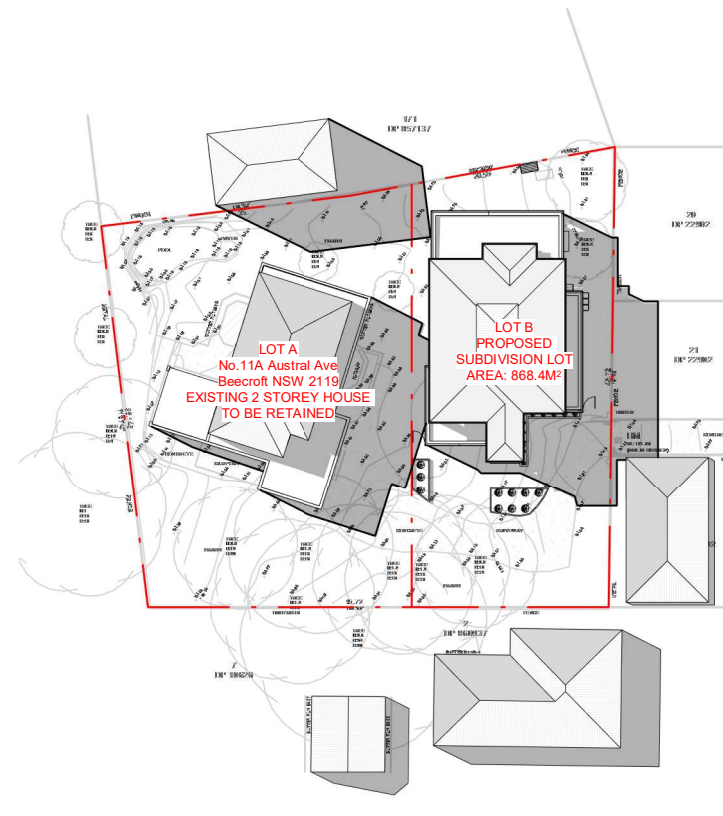
SITE AREA		868.4m²	
LOT B WIDTH AT BUILDING LINE		19.5m	
BUILDING HEIGHT		8.3m	
SETBACK			
FRONT			
REQUIRED		NA	
PROPOSED		14.9m	
SECONDARY ROAD			
REQUIRED		NA	
PROPOSED		NA	
SIDE			
REQUIRED GF		0.9m	
REQUIRED FF		1.5m	
PROPOSED NORTH GF		1.5m	
PROPOSED SOUTH GF		3.0m	
PROPOSED NORTH FF		2.1m	
PROPOSED SOUTH FF		4.9m	
REAR			
REQUIRED GF		3.0m	
PROPOSED GF		4.1m	
REQUIRED FF		8.0m	
PROPOSED FF		8.0m	
SITE COVERAGE			
REQUIRED COVERAGE		50% x 868.4=434.2m²	
PROPOSED COVERAGE		310.9m²	
GROSS FLOOR AREA			
REQUIRED FLOOR AREA		380.0m²	
PROPOSED FLOOR AREA		374.6m²	
PROPOSED GROUND FLOOR GFA		201.8m²	
PROPOSED FIRST FLOOR GFA		172.8m²	
LANDSCAPE			
REQUIRED LANDSCAPE AREA		260.5m²	
PROPOSED LANDSCAPE AREA		369.1m²	
LANDSCAPE RATIO		42.5%	
AREA FORWARD BUILDING LINE		207.8m²	
LANDSCAPE FORWARD BUILDING LINE		158.2m²	
REQUIRED RATIO		50.0%	
PROPOSED RATIO		58.3%	
LANDSCAPE BEHIND BUILDING LINE		210.9m²	
REQUIRED RATIO		50.0%	
PROPOSED RATIO		76.1%	
PRINCIPAL PRIVATE OPEN SPACE			
REQUIRED PPOS		24.0m²	
PROPOSED PPOS		27.3m²	



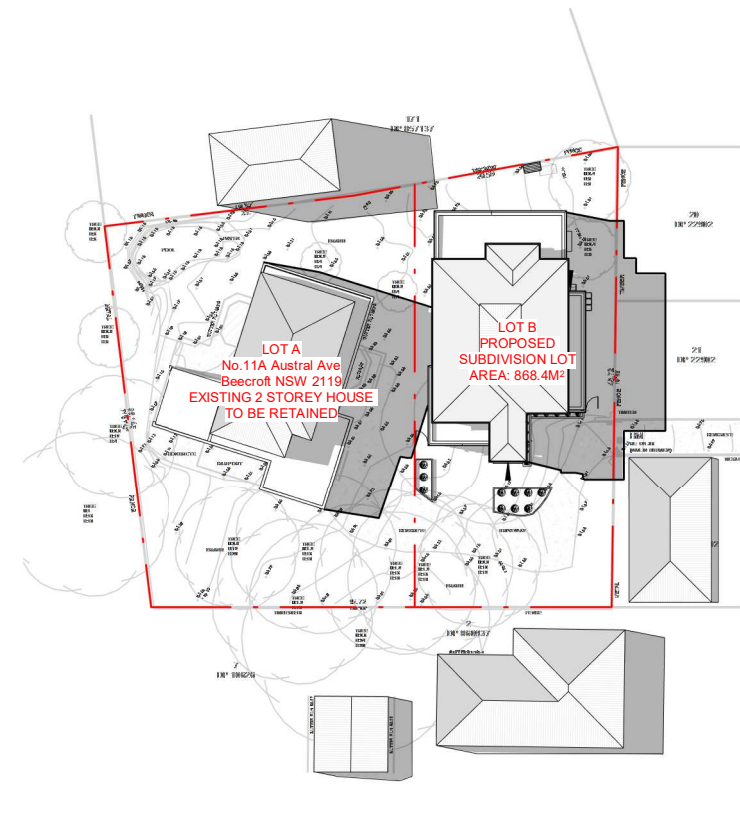
1 9 AM / 21st JUN
 Scal 1: 750
 e:



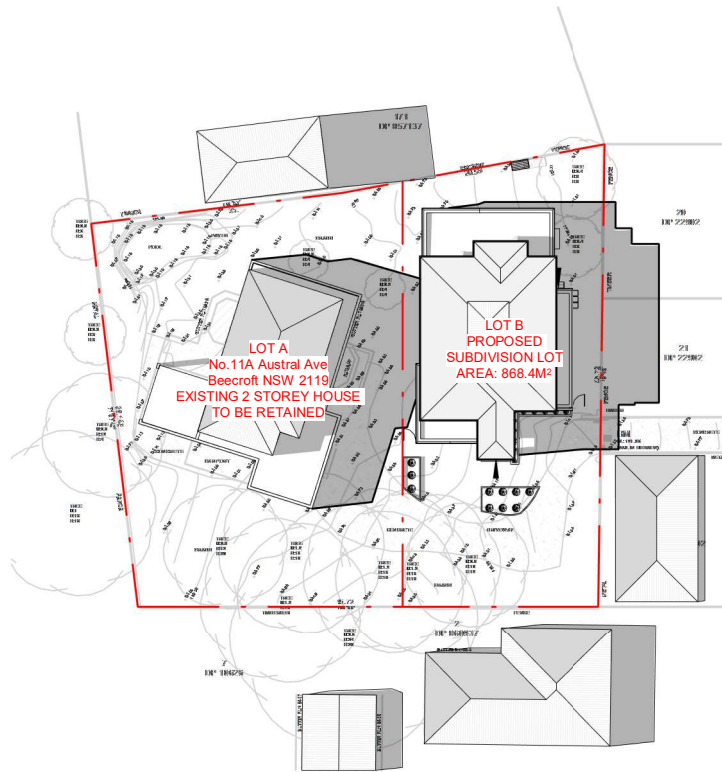
2 10 AM / 21st JUN
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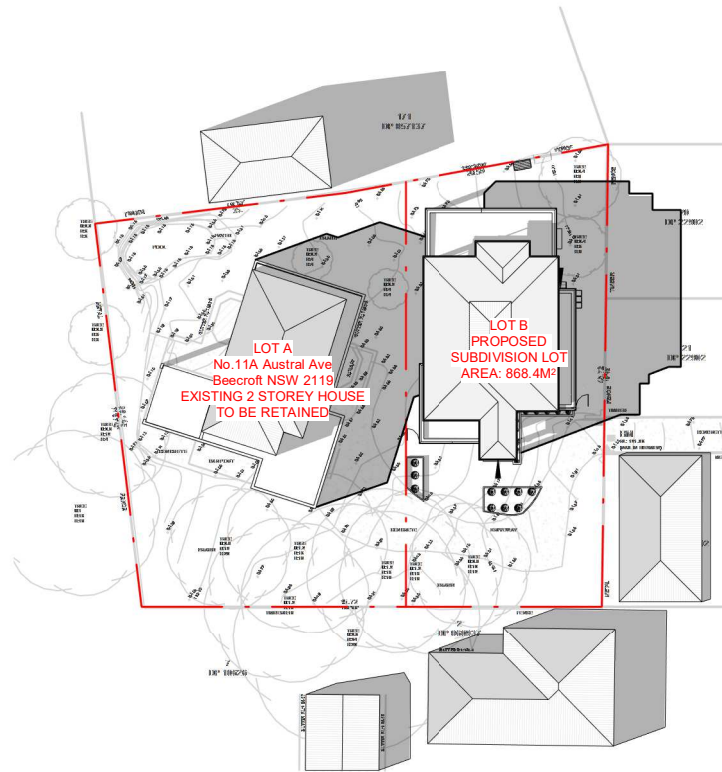
3 11 AM / 21st JUN
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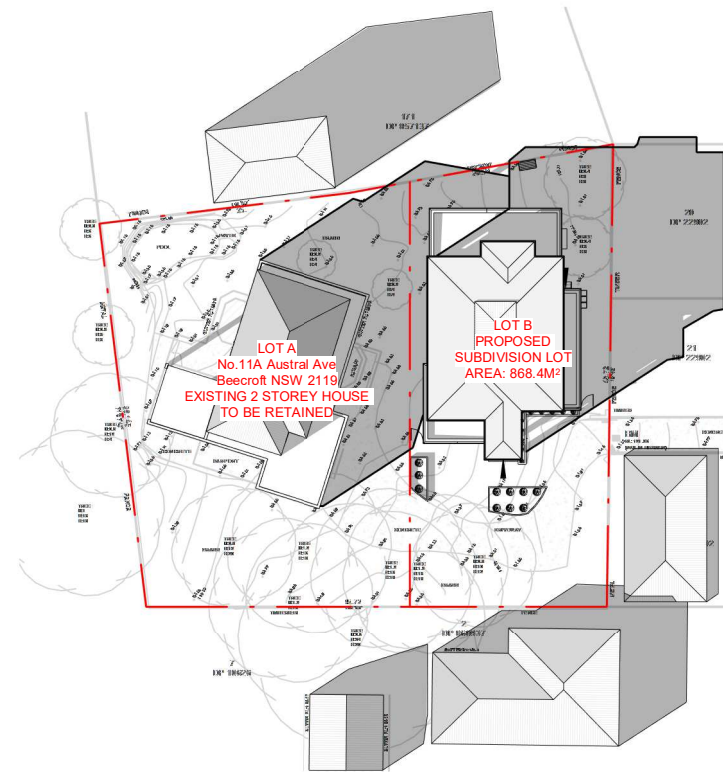
4 12 PM / 21st JUN
 Scal 1: 750
 e:



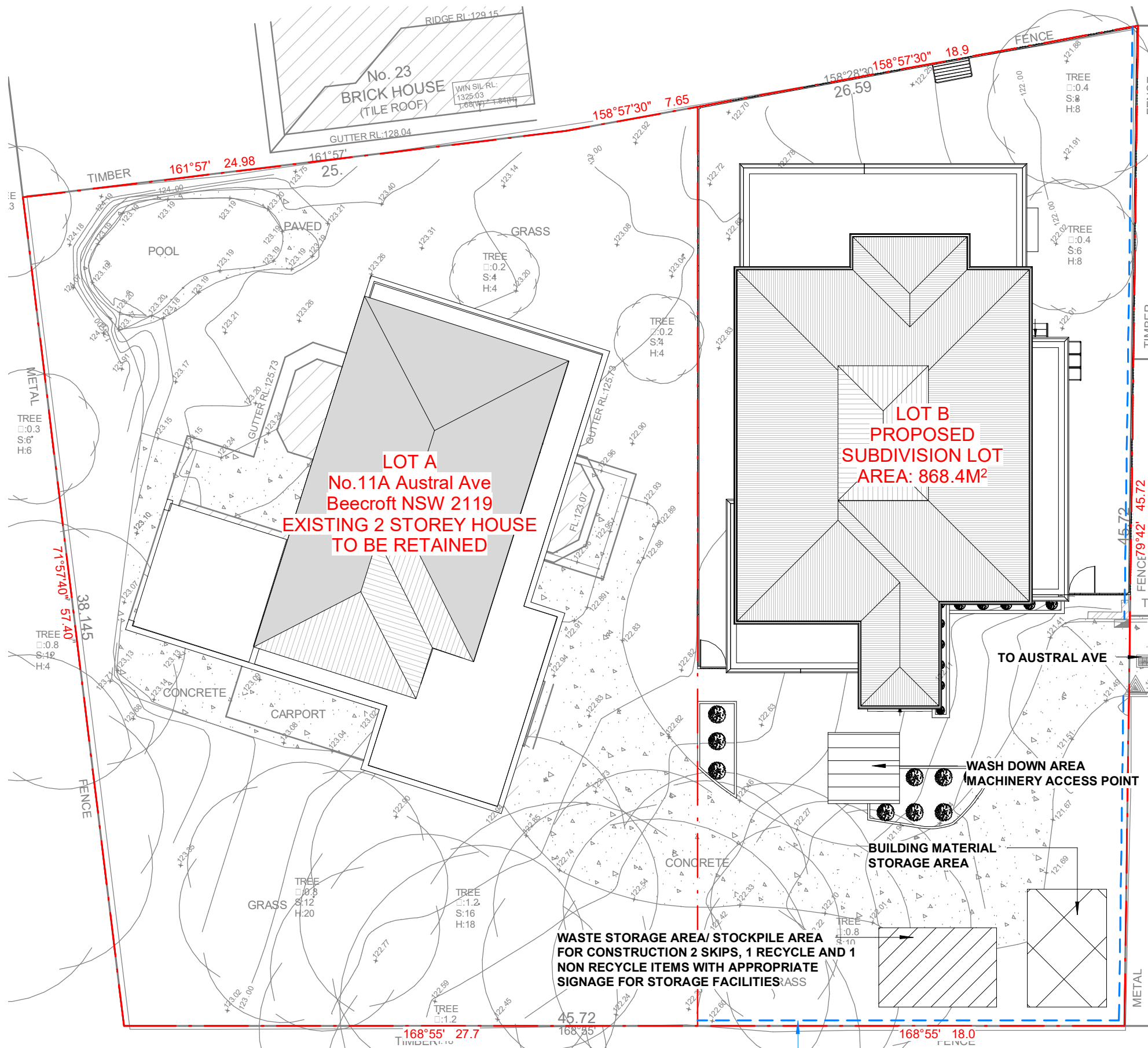
5 1 PM / 21st JUN
 Scal 1: 750
 e:



6 2 PM / 21st JUN
 Scal 1: 750
 e:



7 3 PM / 21st JUN
 Scal 1: 750
 e:



SILT FILTER FABRIC SECURED TO FRONT, SIDE AND REAR FENCING
-FABRIC TO BEGIN 100MM BELOW GROUND AND BE CONTINUOUS
TO 300MM ABOVE EXISTING GROUND LINE -TO BE REGULARLY
CLEARED OF BUILD-UP

CONSTRUCTION SEQUENCE

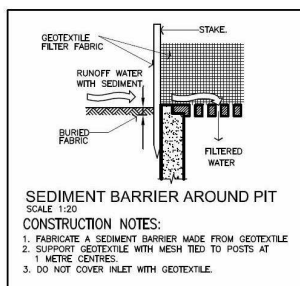
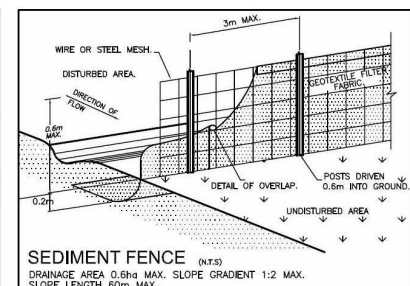
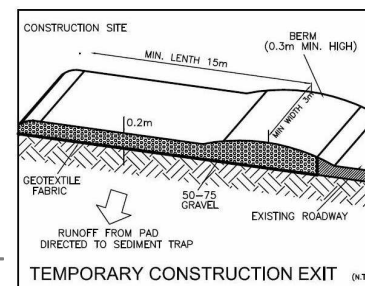
1. WHERE POSSIBLE ALL SILT FENCES, PERIMETER BANKS, SEDIMENT BASINS AND OTHER SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE INSTALLED AS A FIRST STEP IN THE CONSTRUCTION SEQUENCE.
2. CARRY OUT CLEANING WITHIN SCOPE OF WORKS AND BULK EARTHWORKS TAKING CARE OF MINIMIZE THE EXTENT OF DISTURBANCE DURING CONSTRUCTION.
3. CARRY OUT BULK EARTHWORKS IN ACCORDANCE WITH THE ENVIRONMENTAL MANAGEMENT PLAN AND TAKING CARE OF MINIMIZE THE EXTENT OF DISTURBANCE
4. ALL DISTURBED AREAS ARE TO BE HYDRO SEEDED AND STRAW MULCHED UPON COMPLETION OF THE BULK EARTHWORKS. SEEDED AREAS SHALL BE WATERED DURING AND AFTER CONSTRUCTION UNTIL A UNIFORMLY DISTRIBUTED DENSE VEGETATION COVERAGE IS ESTABLISHED.
5. WHILE ANY AREAS REMAIN DISTURBED (ie BEFORE AND DURING RE-VEGETATION) ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE RETAINED.
6. AREAS WHERE DEVICES ARE REMOVED ON COMPLETION OF WORKS SHALL BE RE-INSTATED TO PRE-CONSTRUCTION CONDITIONS.

SILT FENCE CONSTRUCTION NOTES

1. CONSTRUCT SILT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF SITE
2. DRIVE 1.5M LONG STAR PICKETS INTO THE GROUND AT 3M MAX CTS.
3. DIG A 150MM x 100MM TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER THE BASE OF THE FABRIC.
5. FIX SELF SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POST WITH WIRE TIES OR AS RECOMMENDED BY THE GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.

STABILISED SITE ACCESS & CONSTRUCTION NOTES

1. STRIP TOP-SOIL AND LEVEL SITE
2. COMPACT SUB-GRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30MM AGGREGATE. MINIMUM LENGTH SHALL BE 15 METRES OR TO THE BUILDING ALIGNMENT. MINIMUM WIDTH SHALL BE 3 METRES.
5. CONSTRUCT HUMP IMMEDIATELY WITH BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OF SEDIMENT TRAP.



External Finishes Schedule				
Keynote	Comments	Manufacturer	Description	Image
DA-CB1	Metal Roof	Fielders	KingKlip® 700 COLORBOND® steel in the colour Basalt™ or Similar	
DA-CT1	Roof	Monier	Monier Cambridge - Minimum Pitch with Sarking: 15° Minimum Pitch or Similar	
DA-PN1	External Wall	DuluxGroup (Australia) Pty Ltd	Dulux Beige Royal or Similar	
DA-PN2	Exterior Molding/ Soffit Lining	DuluxGroup (Australia) Pty Ltd	Vivid White PN1E1	
DA-PT1	Exterior Window Frame/ Door Frame/ Garage Door/ Gutter/ Fascia	DuluxGroup (Australia) Pty Ltd	Dulux Colorbond Monument or Similar	
DA-ST1	External Planter	Tile Factory Outlet	Dampier Grey Natural Stacked Stone or Similar	



