

NO.90A THE CRESCENT CHELTENHAM

**SITE AREA : 650.70m<sup>2</sup>**

**Main dwelling**

- Ground floor area : 159.83 m<sup>2</sup>
- Garage area : 34.83 m<sup>2</sup>
- Deck area : 42.89 m<sup>2</sup>
- Porch area : 26.32m<sup>2</sup>
- Existing Pergola: 11.98m<sup>2</sup>
- First floor area: 138.15 m<sup>2</sup>
- First floor front balcony :13.31m<sup>2</sup>

**Secondary dwelling**

- Floor area: 45.36 m<sup>2</sup>

**Total floor area : 378.16m<sup>2</sup> (<380m<sup>2</sup>)**

**Site coverage : 265.77m<sup>2</sup> (40.84%<50%)**

**Landscape area : 201.94 m<sup>2</sup> (31.03%>30%)**

**SITE PLAN**



**SPACE PLUS + DESIGN**

**M** 0433 792 777  
**T** 02 8385 2182  
**E** a.spaceplus@gmail.com  
Postal address : LEVEL 5, Suite 12  
11 The Boulevard Strathfield NSW 2135

**IMPORTANT NOTE:**  
ALL DIMENSIONS MUST BE CHECKED ON SITE PRIOR TO STARTING ANY WORKS OR PRODUCING ANY SHOP DRAWINGS. USE WRITTEN DIMENSIONS IN PREFERENCE TO SCALED DRAWINGS. THESE DRAWINGS ARE THE PROPERTY OF SPACE PLUS & MUST NOT BE REPRODUCED WHOLLY OR IN PART WITHOUT WRITTEN CONSENT OF SPACE PLUS.

rev	date	notes
A	01.12.2022	AMENDED
B	17.01.2023	AMENDED
C	03.04.2023	AMENDED



project / address  
**PROPOSED NEW DWELLING &  
SECONDARY DWELLING**  
at  
90A The Crescent, CHELTENHAM 2119

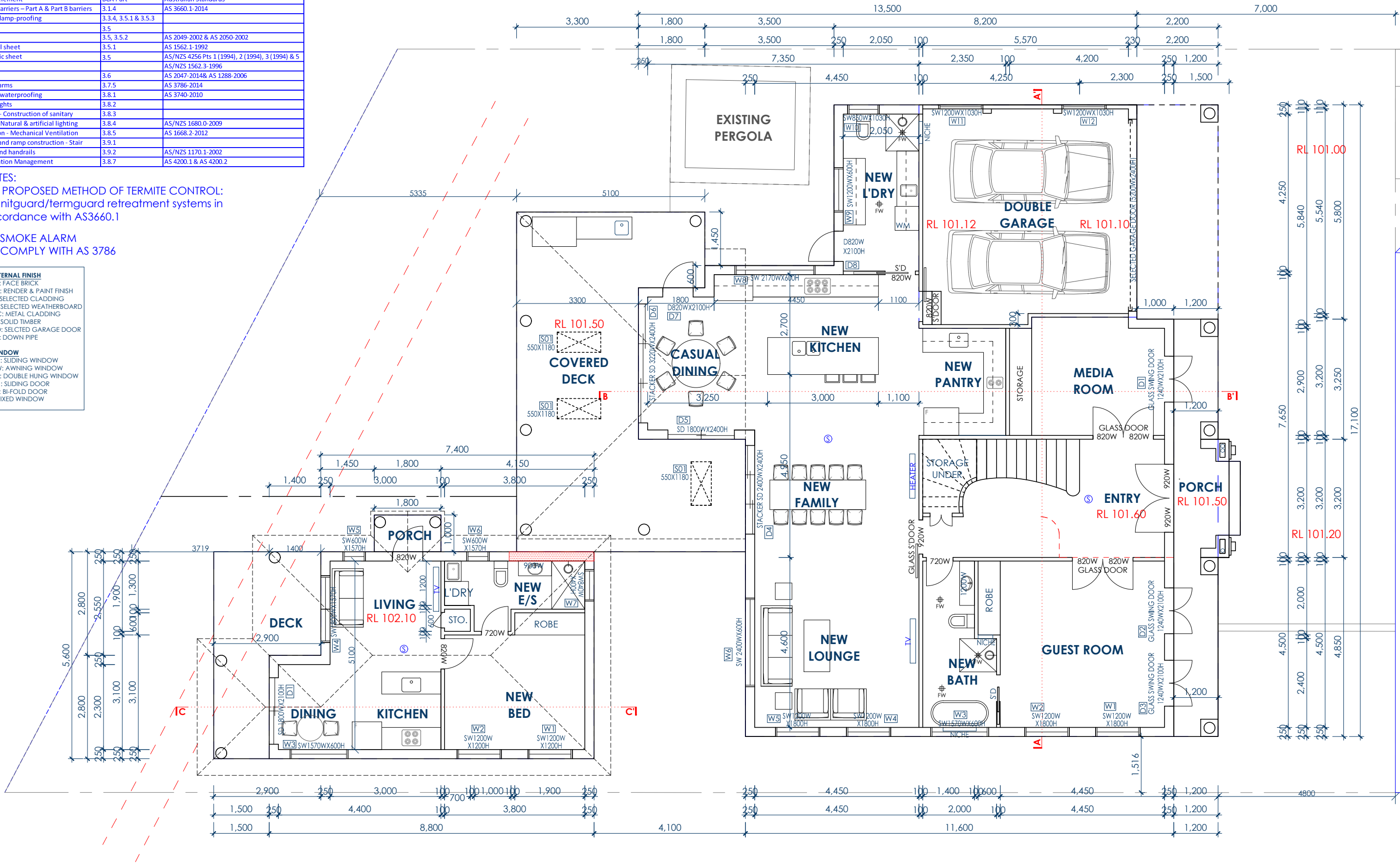
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drawing title		GJ	22.11.2021	scale @ A3
SITE PLAN				1:300
drawing number				revision
21143A -1				C

Building element	BCA Part	Australian Standards
Termite barriers – Part A & Part B barriers	3.1.4	AS 3660.1-2014
Building damp-proofing	3.3.4, 3.5.1 & 3.5.3	
Roofing	3.5	
• Tiles	3.5, 3.5.2	AS 2049-2002 & AS 2050-2002
• Metal sheet	3.5.1	AS 1562.1-1992
• Plastic sheet	3.5	AS/NZS 4256 Pts 1 (1994), 2 (1994), 3 (1994) & 5 (1994)
Glazing	3.6	AS 2047-2014 & AS 1288-2006
Smoke alarms	3.7.5	AS 3786-2014
Wet area waterproofing	3.8.1	AS 3740-2010
Room heights	3.8.2	
Facilities - Construction of sanitary	3.8.3	
Lighting - Natural & artificial lighting	3.8.4	AS/NZS 1680.0-2009
Ventilation - Mechanical Ventilation	3.8.5	AS 1668.2-2012
Stairway and ramp construction - Stair	3.9.1	
Barriers and handrails	3.9.2	AS/NZS 1170.1-2002
Condensation Management	3.8.7	AS 4200.1 & AS 4200.2



NOTES:  
THE PROPOSED METHOD OF TERMITE CONTROL:  
Granitguard/termguard retreatment systems in  
accordance with AS3660.1

☉ SMOKE ALARM  
COMPLY WITH AS 3786

<b>EXTERNAL FINISH</b>
FB : FACE BRICK
RP : RENDER & PAINT FINISH
C: SELECTED CLADDING
W: SELECTED WEATHERBOARD
MC: METAL CLADDING
ST: SOLID TIMBER
GD: SELECTED GARAGE DOOR
DP: DOWN PIPE
<b>WINDOW</b>
SW: SLIDING WINDOW
AW: AWNING WINDOW
DH: DOUBLE HUNG WINDOW
SD: SLIDING DOOR
BD: BI-FOLD DOOR
F: FIXED WINDOW



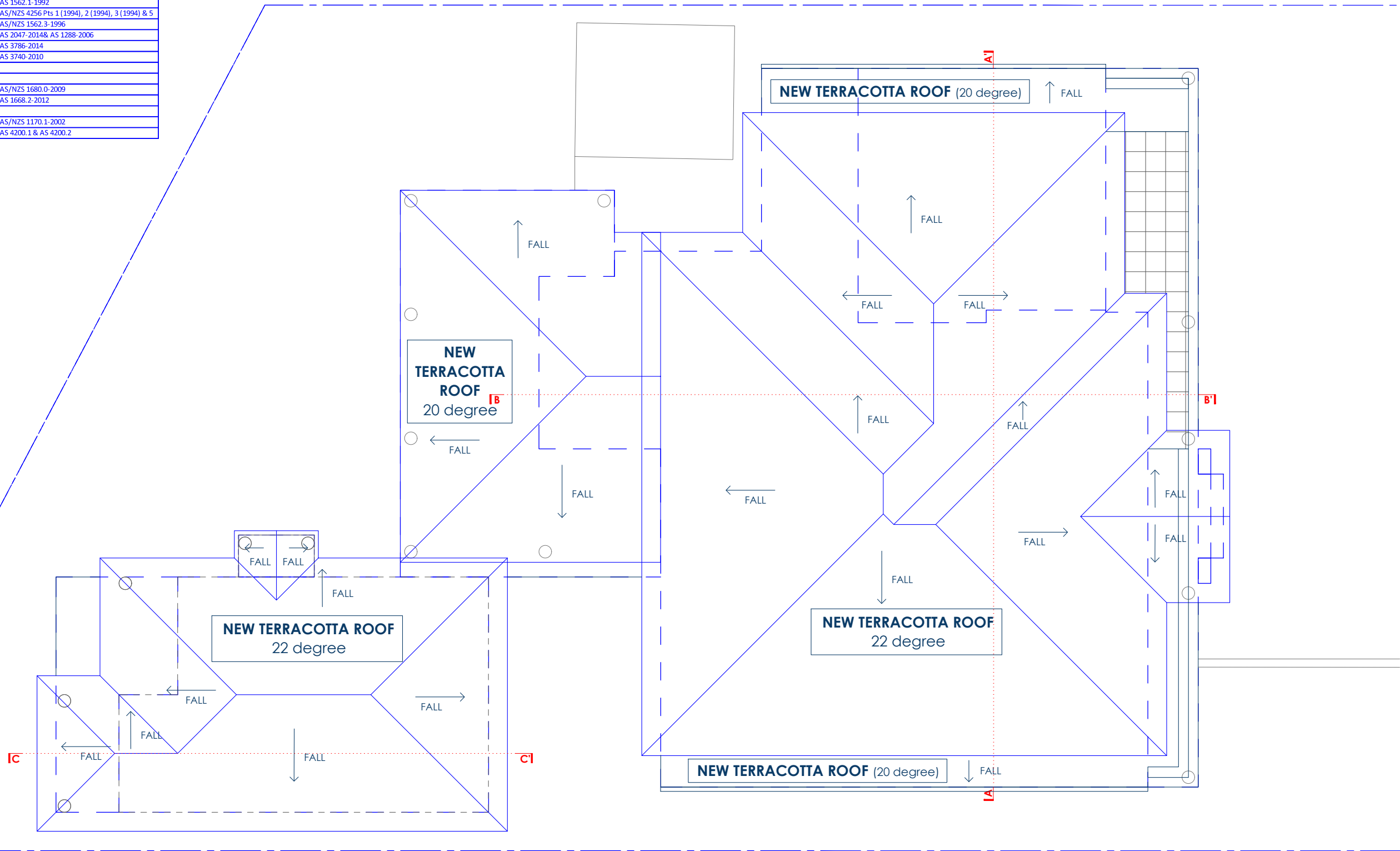
# PROPOSED GROUDN FLOOR PLAN

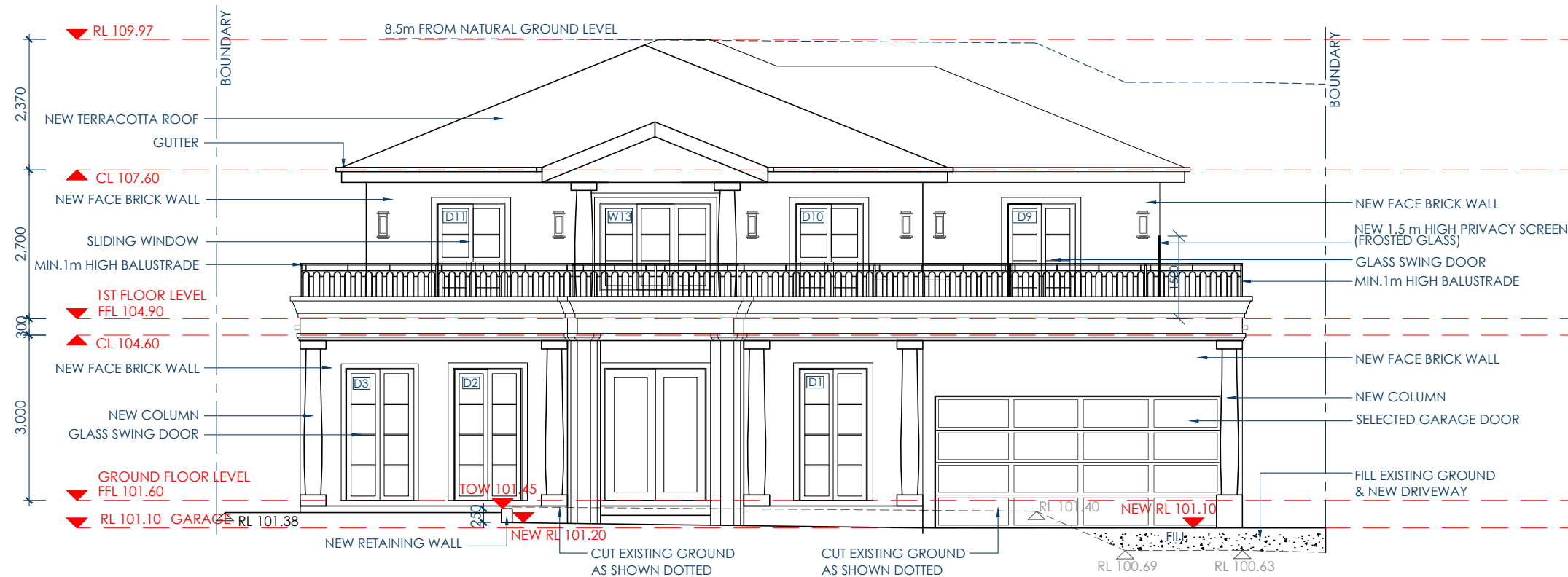
 Space Plus design	<b>SPACE PLUS + DESIGN</b> M 0433 792 777 T 02 8385 2182 E a.spaceplus@gmail.com Postal address : LEVEL 5, Suite 12 11 The Boulevard Strathfield NSW 2135	<b>IMPORTANT NOTE:</b> ALL DIMENSIONS MUST BE CHECKED ON SITE PRIOR TO STARTING ANY WORKS OR PRODUCING ANY SHOP DRAWINGS. USE WRITTEN DIMENSIONS IN PREFERENCE TO SCALED DRAWINGS. THESE DRAWINGS ARE THE PROPERTY OF SPACE PLUS & MUST NOT BE REPRODUCED WHOLLY OR IN PART WITHOUT WRITTEN CONSENT OF SPACE PLUS.		project / address <b>PROPOSED NEW DWELLING &amp; SECONDARY DWELLING</b> at 90A The Crescent, CHELTENHAM 2119	FOR DA	drawn by GJ	first issue date 22.11.2021	revision date
					drawing title <b>FLOOR PLAN</b>			scale @ A3 1:100
					drawing number <b>21143A - 2</b>			revision <b>C</b>



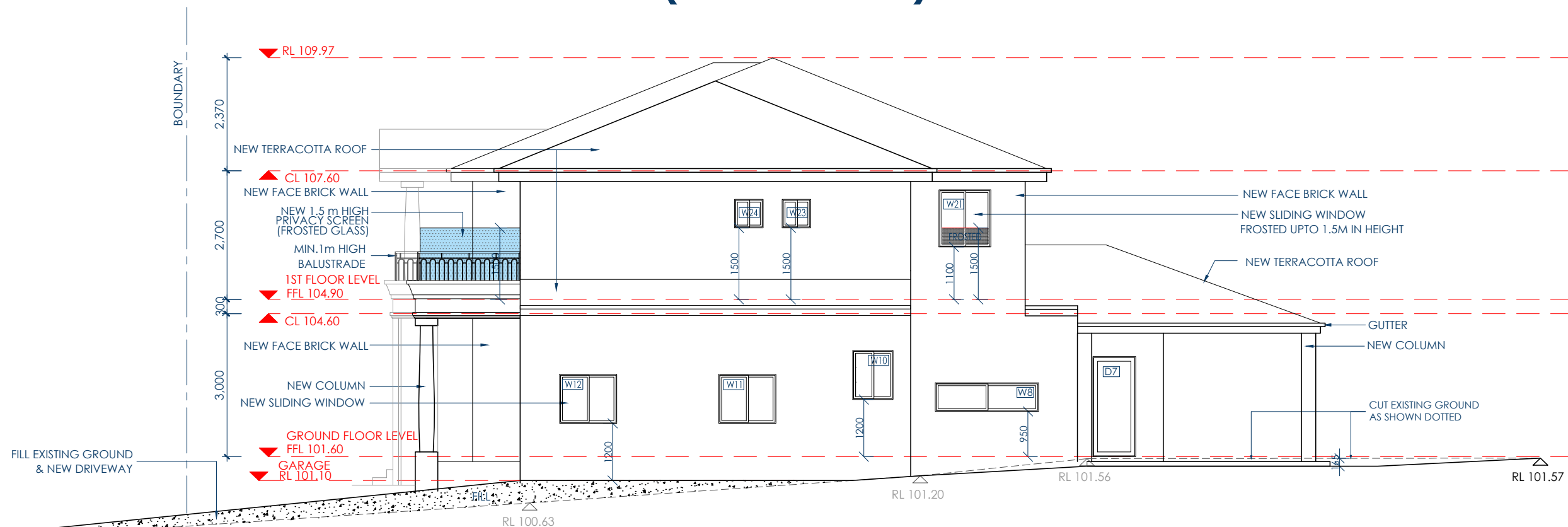
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**WINDOW**  
 SW: SLIDING WINDOW  
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FRONT (NORTH-EAST) ELEVATION



SIDE (NORTH-WEST) ELEVATION



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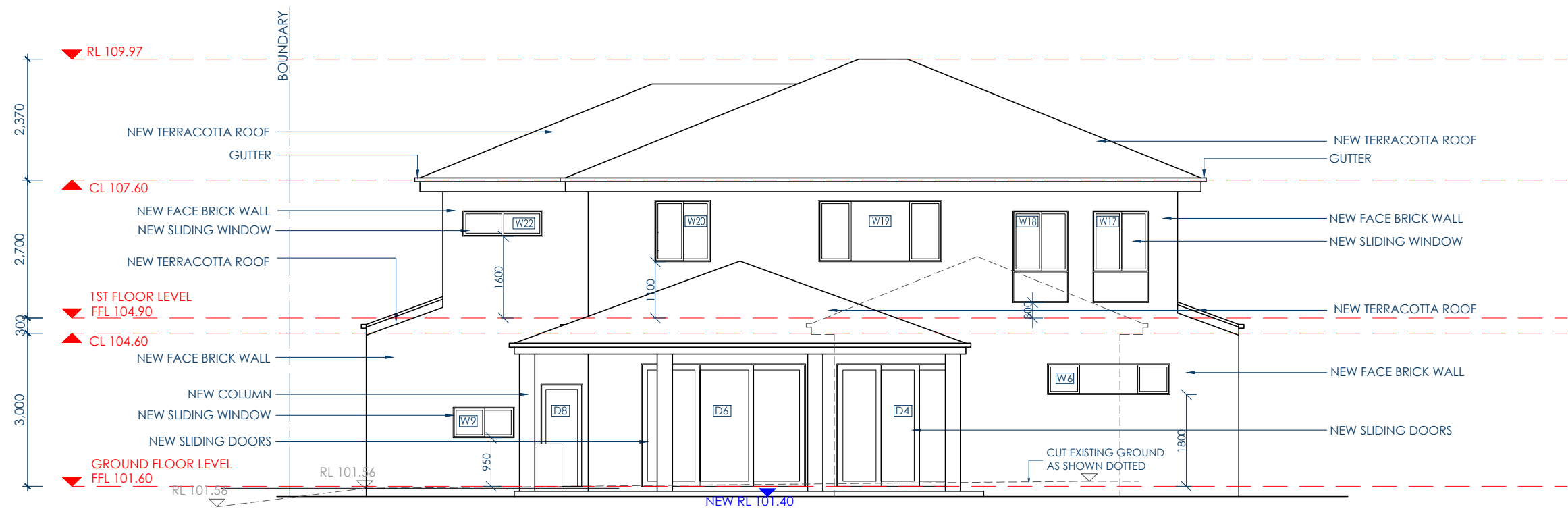
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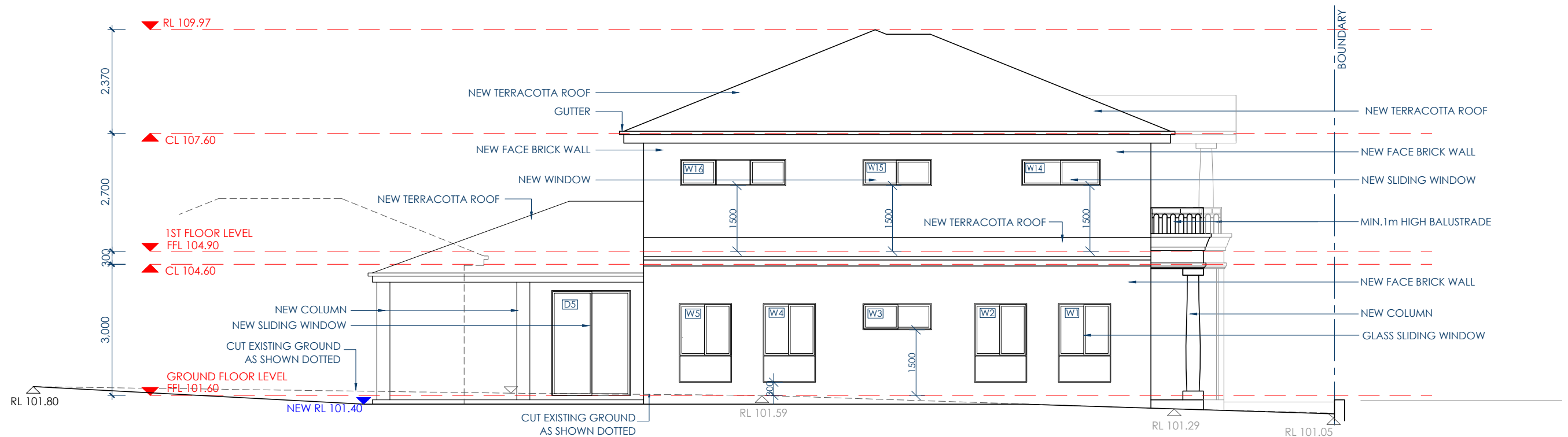
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				C





REAR (SOUTH-WEST) ELEVATION



SIDE (SOUTH EAST) ELEVATION



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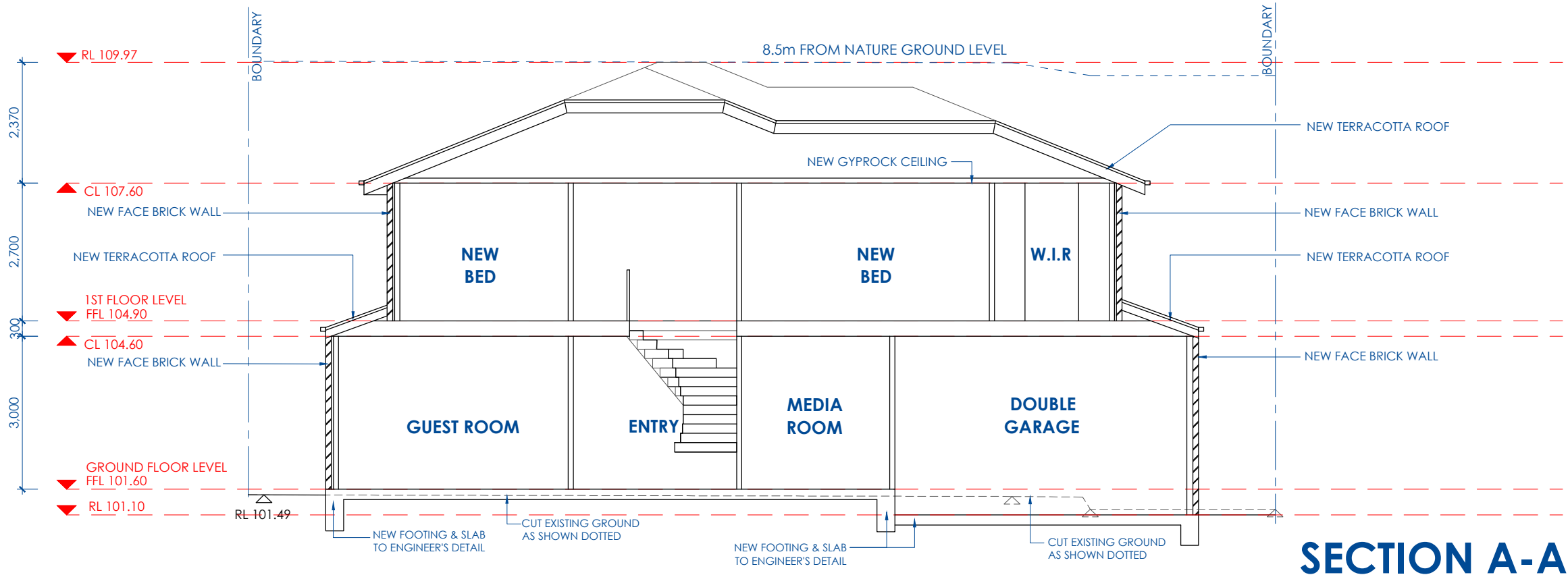
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drawing title	<b>ELEVATIONS</b>		scale @ A3
drawing number	<b>21143A - 6</b>		revision
			<b>C</b>



## BASIX REQUIREMENTS (1335465S\_04)

### Water Commitments

#### Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 20 square metres of the site.

#### Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development. The applicant must install taps with a minimum rating of 3 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.

#### Alternative water

#### Rainwater tank

The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- the cold water tap that supplies each clothes washer in the development

#### Stormwater tank

The applicant must install a stormwater tank with a capacity of at least 10800 litres on the site. This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the stormwater tank to collect overflow from the rainwater tank.

The applicant must configure the stormwater tank to collect runoff from:

- at least 50 square metres of roof area of the development (excluding the area of the roof which drains to any rainwater tank or private dam)
- at least 30 square metres of impervious areas

The applicant must connect the stormwater tank to:

- a sub-surface or non-aerosol irrigation system, or if the stormwater has been appropriately treated in accordance with applicable regulatory requirements, to at least one outdoor tap in the development (Note: NSWHealth does not recommend that stormwater be used to irrigate edible plants which are consumed raw.)

### Thermal Comfort Commitments

#### General features

The dwelling must not have more than 2 storeys.

The conditioned floor area of the dwelling must not exceed 300 square metres.

The dwelling must not contain open mezzanine area exceeding 25 square metres.

The dwelling must not contain third level habitable attic room.

#### Floor, walls and ceiling/roof

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below

Construction	Conditioned floor area (m <sup>2</sup> )	Attic area (m <sup>2</sup> )
floor - concrete slab on ground, 140 square metres	nil	
floor - above habitable rooms or mezzanines, 100 square metres, framed	nil	
floor - suspended floor above garage, framed	nil	
external wall - brick veneer	2.56 (or 3.40 including construction)	
external wall - other/undecided	3.40 (including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 2.45 (up), roof: foil backed blanket (100 mm)	3 wind driven ventilator(s) + eave vents; medium (solar absorptance 0.475-0.70)
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 2.58 (up), roof: foil backed blanket (100 mm)	framed; medium (solar absorptance 0.475-0.70)

#### Windows, glazed doors and skylights

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

- For the following glass and frame types, the certifier check can be performed by visual inspection.
  - Aluminium single clear
  - Aluminium double (air) clear
  - Timber/uPVC/fibreglass single clear
  - Timber/uPVC/fibreglass double (air) clear
- For other glass or frame types, each window and glazed door must be accompanied by certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.
- Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.

The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total

skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).

Shading device	Maximum floor area (m <sup>2</sup> )	U-value	SHGC	Shading device
S01	0.71			aluminium, moulded plastic single clear
				no shading
Window/door type	Minimum U-value	Maximum SHGC	Type	Shading device
<b>North-East facing</b>				
D1	2100	1240	aluminium, single, clear	solid overhang 1200 mm, 600 mm above head of window or glazed door
W13	2100	2020	aluminium, single, clear	eave 450 mm, 280 mm above head of window or glazed door
D10	2100	1240	aluminium, single, clear	eave 450 mm, 280 mm above head of window or glazed door
D6	2100	1240	aluminium, single, clear	eave 450 mm, 280 mm above head of window or glazed door
D11	2100	1240	aluminium, single, clear	eave 450 mm, 280 mm above head of window or glazed door
D3	2100	1240	aluminium, single, clear	solid overhang 1200 mm, 600 mm above head of window or glazed door
D2	2100	1240	aluminium, single, clear	solid overhang 1200 mm, 600 mm above head of window or glazed door
<b>South-East facing</b>				
W15	600	1570	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 450 mm, 380 mm above head of window or glazed door
W16	600	2400	aluminium, single, clear	eave 450 mm, 380 mm above head of window or glazed door
W3	600	1570	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	none
D5	2400	1800	aluminium, single, clear	verandah 2700 mm, 2590 mm above base of window or glazed door
W4	1800	1200	aluminium, single, clear	none
W5	1800	1200	aluminium, single, clear	none
W1	1800	1200	aluminium, single, clear	none
W14	600	1800	aluminium, single, clear	eave 450 mm, 380 mm above head of window or glazed door
W2	1800	1200	aluminium, single, clear	none
<b>South-West facing</b>				
D4	2400	2400	aluminium, single, clear	verandah 6200 mm, 2590 mm above base of window or glazed door
W20	1200	1060	aluminium, single, clear	eave 450 mm, 180 mm above head of window or glazed door
W22	600	1570	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 450 mm, 380 mm above head of window or glazed door
W9	600	1200	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 450 mm, 450 mm above head of window or glazed door
D6	2400	3220	aluminium, single, clear	verandah 3300 mm, 2590 mm above base of window or glazed door
W19	1200	2400	aluminium, single, clear	eave 450 mm, 180 mm above head of window or glazed door
D8	2100	820	U-value: 6.6, SHGC: 0.369 - 0.451 (aluminium, single, tint)	eave 550 mm, 3700 mm above head of window or glazed door
W17	1800	1060	aluminium, single, clear	eave 450 mm, 380 mm above head of window or glazed door
W18	1800	1060	aluminium, single, clear	eave 450 mm, 380 mm above head of window or glazed door
W8	600	2400	aluminium, single, clear	eave 550 mm, 3300 mm above head of window or glazed door
<b>North-West facing</b>				
W11	1030	1200	aluminium, single, clear	none
W21	1200	1060	aluminium, single, clear	eave 450 mm, 380 mm above head of window or glazed door
W12	1030	1200	aluminium, single, clear	none
D7	2100	820	aluminium, single, clear	verandah 2250 mm, 2590 mm above base of window or glazed door
W23	600	600	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 450 mm, 380 mm above head of window or glazed door
W8	600	2170	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 550 mm, 4500 mm above head of window or glazed door
W10	1030	860	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	none
W24	600	600	aluminium, single, clear	eave 450 mm, 380 mm above head of window or glazed door

### Energy Commitments

#### Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.

#### Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3.5 Star (old label). The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 3.5 Star (old label). The cooling system must provide for day/night zoning between living areas and bedrooms.

#### Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3.5 Star (old label). The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 3.5 Star (old label). The heating system must provide for day/night zoning between living areas and bedrooms.

#### Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a  
Kitchen: individual fan, not ducted; Operation control: manual switch on/off  
Laundry: natural ventilation only, or no laundry; Operation control: n/a

#### Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- at least 6 of the bedrooms / study; dedicated
- at least 2 of the living / dining rooms; dedicated
- the kitchen; dedicated
- all bathrooms/toilets; dedicated
- the laundry; dedicated
- all hallways; dedicated

#### Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.

#### Other

The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.

The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

The applicant must install a fixed outdoor clothes drying line as part of the development.



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#### rev date notes

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#### FOR DA

#### drawing title

SECTIONS

#### drawing number

21143A - 7

#### scale @ A3

1:100

#### revision

C

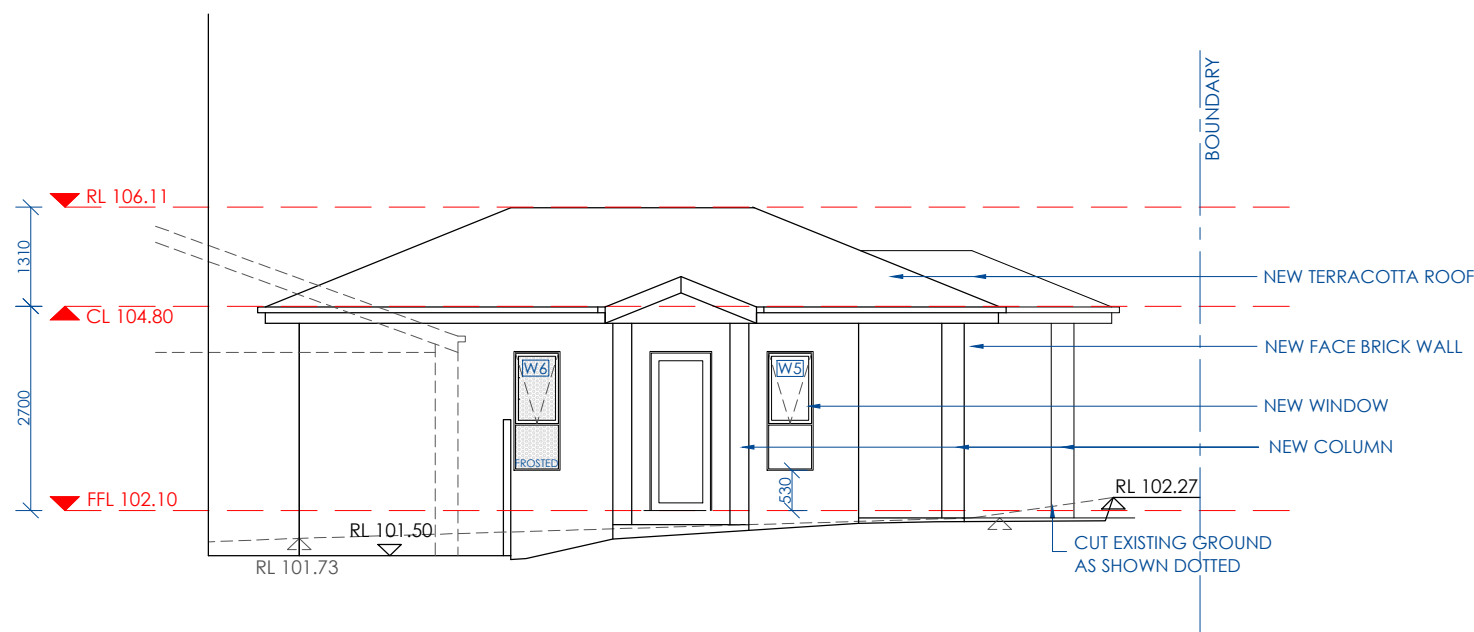




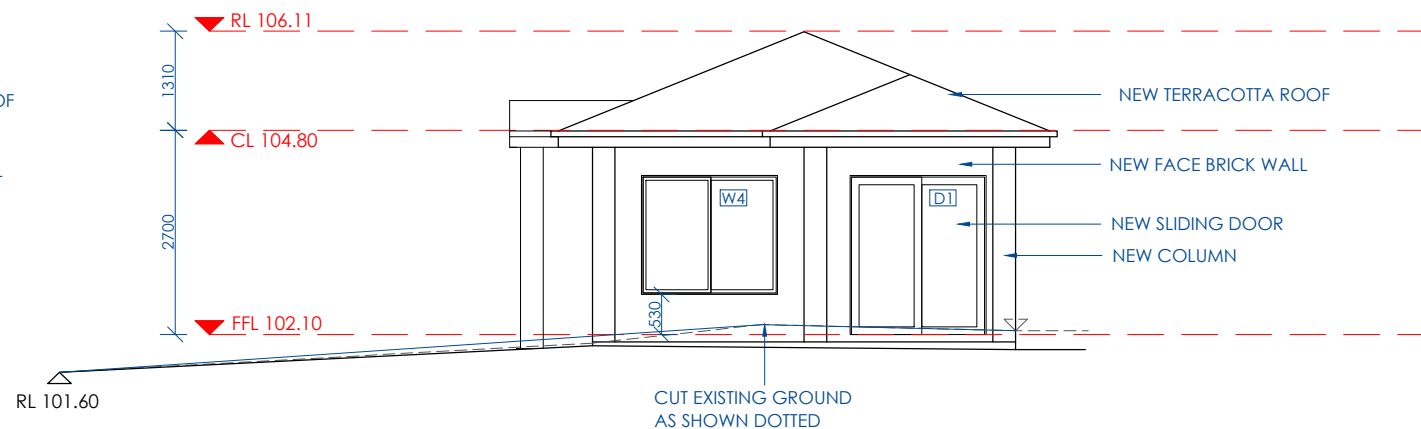
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drawing title	SECTIONS			scale @ A3 1:100
drawing number	21143A - 8			revision C



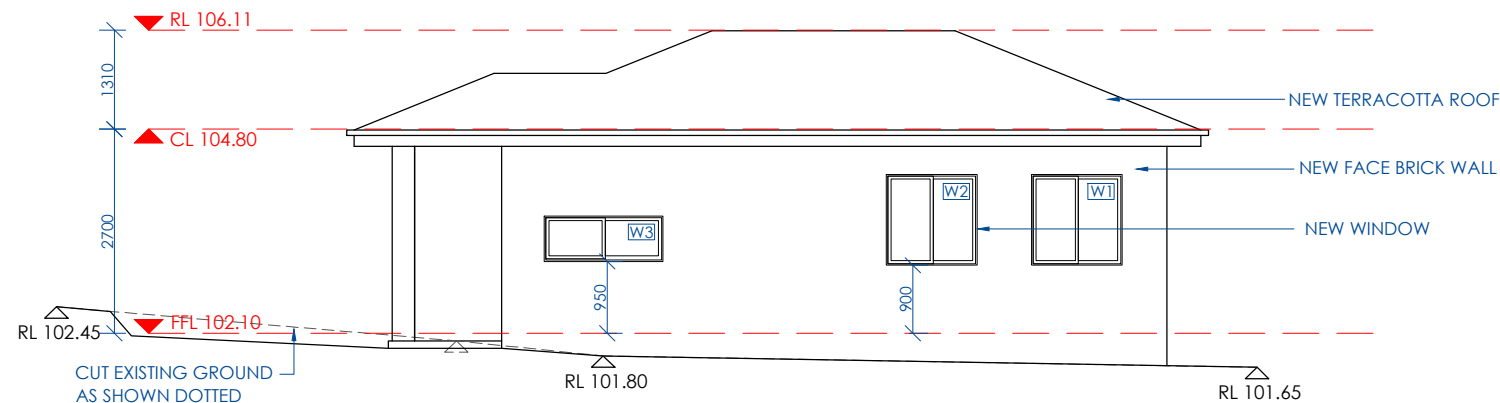
# SECONDARY DWELLING



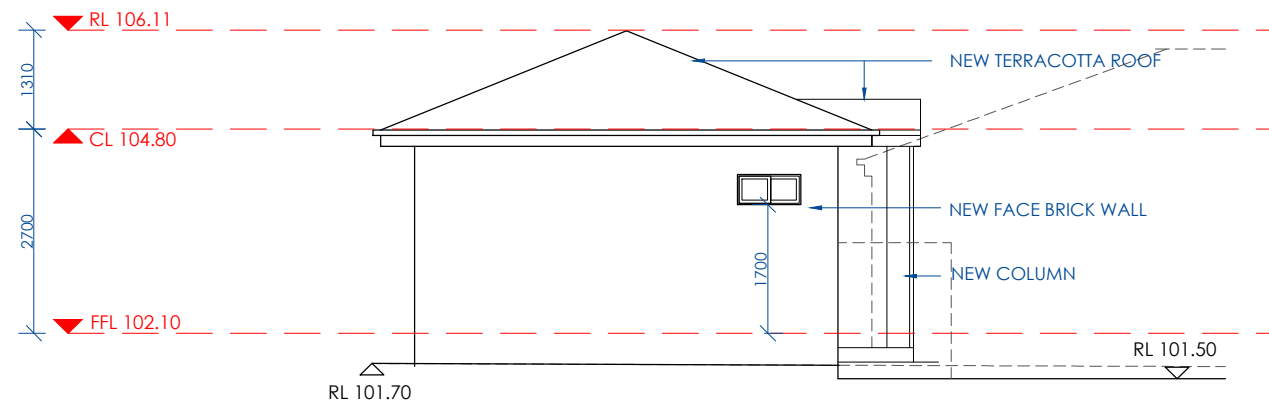
## NORTH WEST ELEVATION



## SOUTH WEST ELEVATION



## SOUTH EAST ELEVATION



## NORTH EAST ELEVATION



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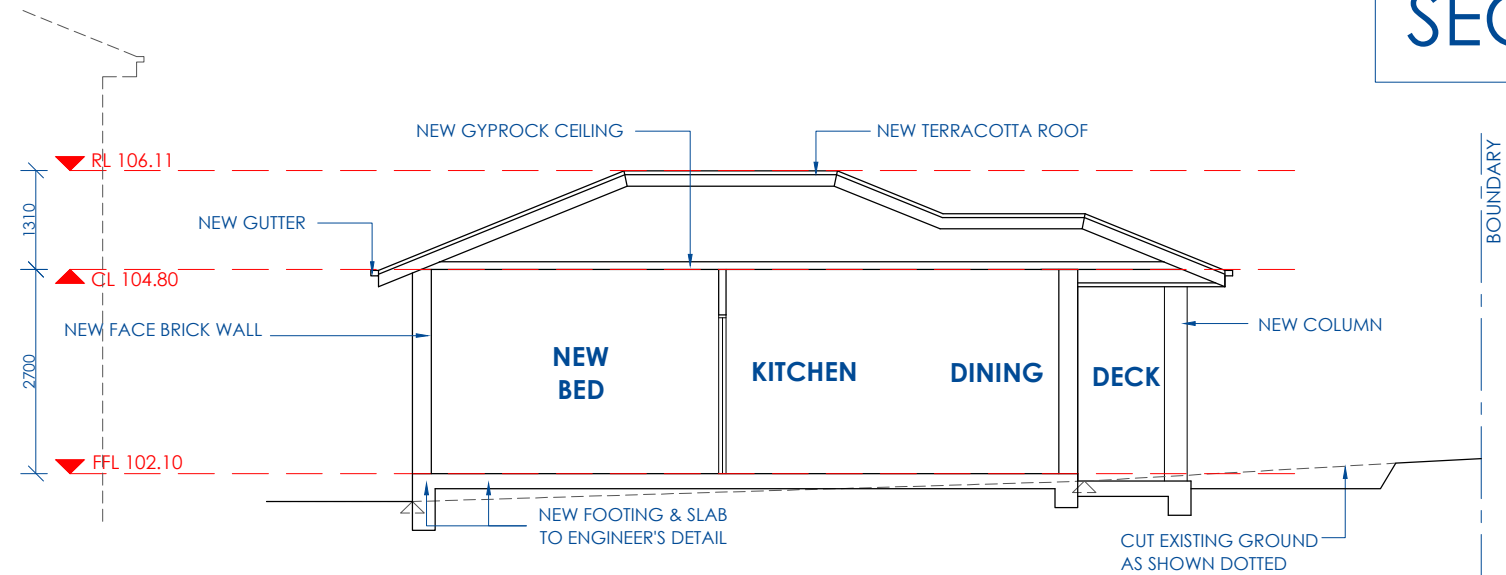
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drawing number			1:100
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			C

# SECONDARY DWELLING



SECTION C-C

## BASIX REQUIREMENTS (1337112S\_03)

### Water Commitments

**Landscape**  
The applicant must plant indigenous or low water use species of vegetation throughout 40 square metres of the site.

**Fixtures**  
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.  
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.  
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.  
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

**Alternative water**  
**Rainwater tank**  
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.  
The applicant must configure the rainwater tank to collect rain runoff from at least 42 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).  
The applicant must connect the rainwater tank to:  
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

### Thermal Comfort Commitments

**General features**  
The dwelling must not have more than 2 storeys.  
The conditioned floor area of the dwelling must not exceed 300 square metres.  
The dwelling must not contain open mezzanine area exceeding 25 square metres.  
The dwelling must not contain third level habitable attic room.

**Floor, walls and ceiling/roof**  
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.

Construction	Additional insulation required (R-value)	Other specifications
floor - concrete slab on ground	nil	
external wall - brick veneer	2.86 (or 3.40 including construction)	
external wall - other/undecided	3.40 (including construction)	
ceiling and roof - flat ceiling / pitched roof	ceiling: 2.45 (up), roof: full backed blanket (100 mm)	1 wind-driven ventilator(s) + eave vents; medium (solar absorptance 0.475-0.70)

Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

**Windows, glazed doors and skylights**  
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table. The following requirements must also be satisfied in relation to each window and glazed door:  
• For the following glass and frame types, the certifier check can be performed by visual inspection.  
- Aluminium single clear  
- Aluminium double (air) clear  
- Timber/uPVC/fibreglass single clear  
- Timber/uPVC/fibreglass double (air) clear  
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimensions within 1000)	Overshadowing
<b>North-East facing</b>					
W7	400	840	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 450 mm, 350 mm above head of window or glazed door	>4 m high, 5-8 m away
<b>South-East facing</b>					
W1	1200	1200	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	1-2 m high, <1.5 m away
W3	600	1570	aluminium, single, clear	eave 450 mm, 900 mm above head of window or glazed door	1-2 m high, <1.5 m away
W2	1200	1200	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	1-2 m high, <1.5 m away
<b>South-West facing</b>					
D1	2100	1800	aluminium, single, clear	verandah 1500 mm, 2700 mm above base of window or glazed door	1-2 m high, <1.5 m away
W4	1800	1570	aluminium, single, clear	verandah 1500 mm, 2700 mm above base of window or glazed door	not overshadowed
<b>North-West facing</b>					
W5	1570	600	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 450 mm, 350 mm above head of window or glazed door	not overshadowed
W5	1570	600	aluminium, single, clear	eave 450 mm, 350 mm above head of window or glazed door	not overshadowed

### Energy Commitments

**Hot water**  
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.

**Cooling system**  
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 1-phase airconditioning; Energy rating: 3 Star (old label)  
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 1-phase airconditioning; Energy rating: 3 Star (old label)  
The cooling system must provide for day/night zoning between living areas and bedrooms.

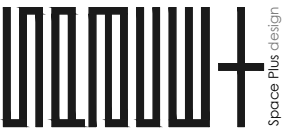
**Heating system**  
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3 Star (old label)  
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 3 Star (old label)  
The heating system must provide for day/night zoning between living areas and bedrooms.

**Ventilation**  
The applicant must install the following exhaust systems in the development:  
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a  
Kitchen: individual fan, not ducted; Operation control: manual switch on/off  
Laundry: individual fan, not ducted; Operation control: manual switch on/off

**Artificial lighting**  
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:  
• at least 1 of the bedrooms / study; dedicated  
• at least 1 of the living / dining rooms; dedicated  
• the kitchen; dedicated  
• all bathrooms/toilets; dedicated  
• the laundry; dedicated  
• all hallways; dedicated

**Natural lighting**  
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.  
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.

**ther**  
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.  
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.



**SPACE PLUS + DESIGN**  
**M** 0433 792 777  
**T** 02 8385 2182  
**E** a.spaceplus@gmail.com  
Postal address : LEVEL 5, Suite 12  
11 The Boulevard Strathfield NSW 2135

**IMPORTANT NOTE:**  
ALL DIMENSIONS MUST BE CHECKED ON SITE PRIOR TO STARTING ANY WORKS OR PRODUCING ANY SHOP DRAWINGS. USE WRITTEN DIMENSIONS IN PREFERENCE TO SCALED DRAWINGS. THESE DRAWINGS ARE THE PROPERTY OF SPACE PLUS & MUST NOT BE REPRODUCED WHOLLY OR IN PART WITHOUT WRITTEN CONSENT OF SPACE PLUS.

rev	date	notes
A	01.12.2022	AMENDED
B	17.01.2023	AMENDED
C	03.04.2023	AMENDED



project / address  
**PROPOSED NEW DWELLING & SECONDARY DWELLING**  
at  
90A The Crescent, CHELTENHAM 2119

FOR DA	drawing title	drawing number
SECTIONS	21143A - 10	

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1:100	C