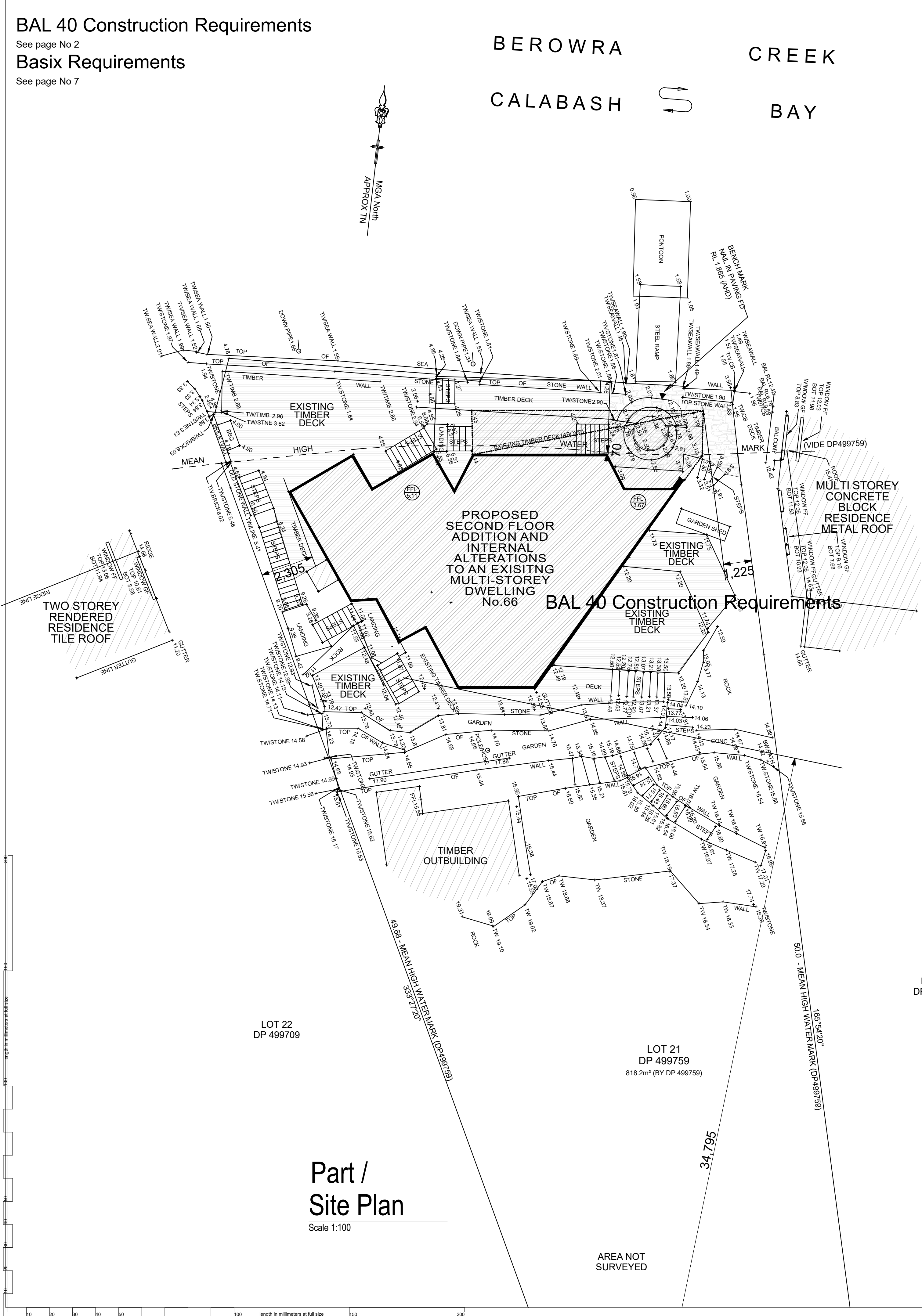


BAL 40 Construction Requirements

See page No 2

Basix Requirements

See page No 7



CALCULATIONS / AREA STATEMENT

HLEP Map Sheet Number = 015

ZONING = C4

HERITAGE CONSERVATION AREA = NOT APPLICABLE TO THIS LAND

ACID SULFATE SOIL CLASS = ACID SULFATE SOIL CLASS 5

TERRISTIAL BIODIVERSITY = YES

FORESHORE BUILDINE LINE = 2m

BUSHFIRE = BAL 40 (refer to bushfire report)

ALLOTMENT AREA = 818.2m2 by DP 499759

MAXIMUM BUILDING HEIGHT =(10.5m maximum permitted)
EXISITNG DWELLING HEIGHT = REMAINS UNCHAGED
PROPOSED DWELLING HEIGHT = 12.515m AT RIDGE POINT (highest point to natural ground level)

MAXIMUM FLOOR SPACE RATIO = 0.3:1
PROPOSED FLOOR SPACE RATIO (in accordance with HLEP gross floor area definition) = 0.26:1

EXISTING DWELLING FLOOR AREA excluding OUTDOOR VERANDAH AND DECK AREAS = 222.14m2
PROPOSED DWELLING FLOOR AREA excluding OUTDOOR VERANDAH AND DECK AREAS = 222.14m2 + second floor addition 35.9m2 = 258.04m2

EXISTING DWELLING GROUND FLOOR AREA= 69.0m2

EXISTING DWELLING FIRST FLOOR AREA = 82.41m2

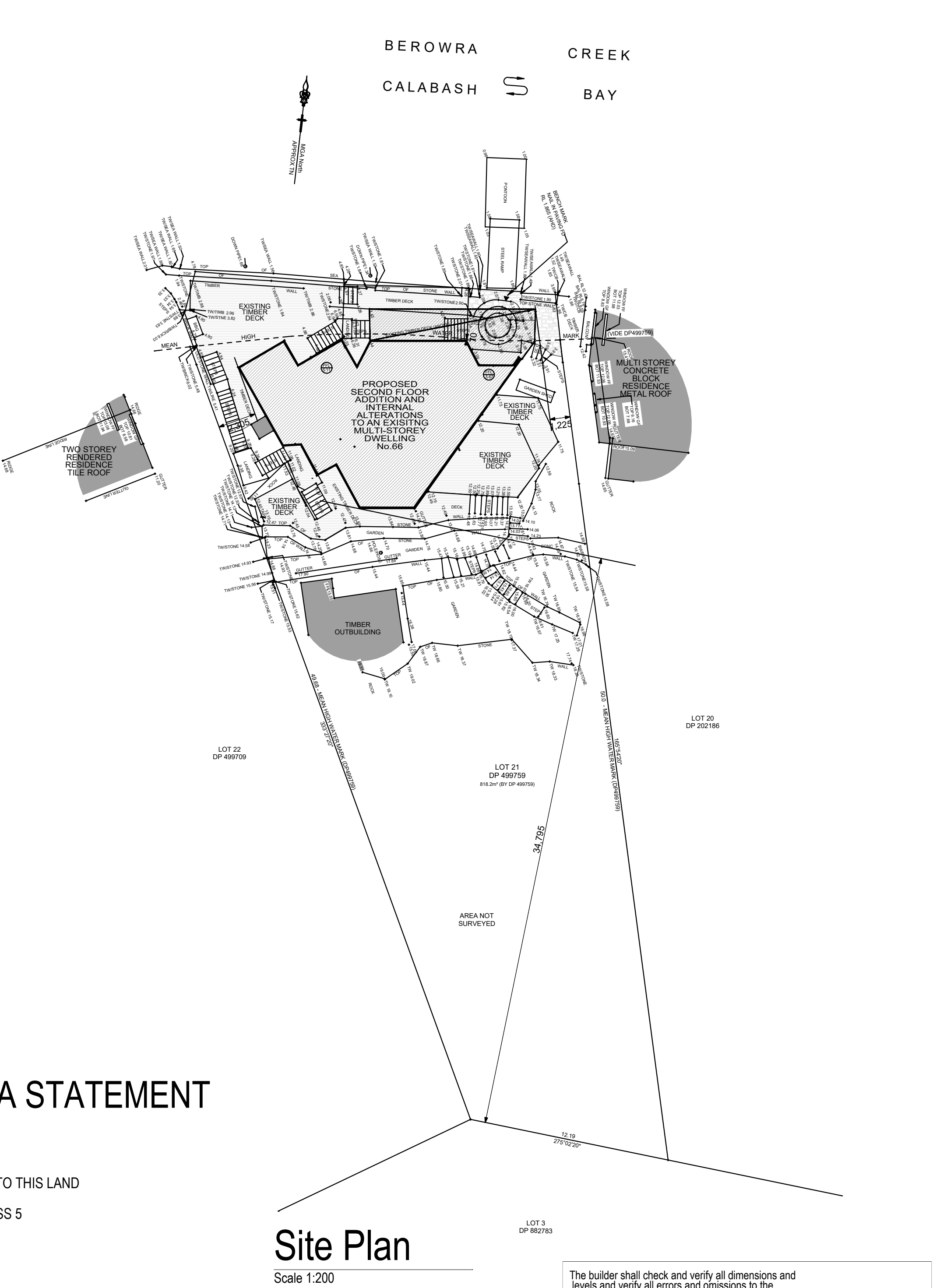
EXISTING DWELLING SECOND FLOOR AREA = 70.73m2
PROPOSED DWELLING SECOND FLOOR AREA = 106.63m2

EXISITNG SITE COVERAGE = 32.99%
PROPOSED SITE COVERAGE = 32.99% (remains unchanged no additional site coverage created)

LANDSCAPED AREA = 548.31m2

PRIVATE OPEN SPACE AREA = greater than 24.0m2 with a greater dimension of 4.0m

DWELLING SETBACKS
FRONT SETBACK = 0.07m to mean high water mark (EXISITNG / REMAINS UNCHANGED)
REAR SETBACK = 34.795m (EXISITNG / REMAINS UNCHANGED)
SIDE SETBACK (EAST) = 1.225m (EXISITNG / REMAINS UNCHANGED)
SIDE SETBACK (WEST) = 2.305m (EXISITNG / REMAINS UNCHANGED)



Site Plan

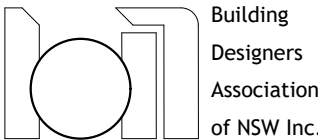
Scale 1:200

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All works to be set out by registered surveyor.

I.L. New & Associates MBDA, NSW

P.O. Box 58
Kurmond 2754 NSW
Ph : 0416 041 027
Em : ilnew@internode.on.net



For:
Richard and Jo-Anne Green
Project Name: PROPOSED SECOND FLOOR ADDITION AND INTERNAL ALTERATIONS TO AN EXISTING MULTI-STOREY DWELLING

Lots 21 DP499759 , No66 Calabash Point
Berowra Waters LGA Hornsby

Drawing Title:
- Site Plan
Site Plan

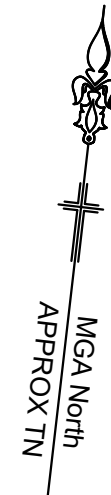
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Date:

Status: preliminary design
Checked By:

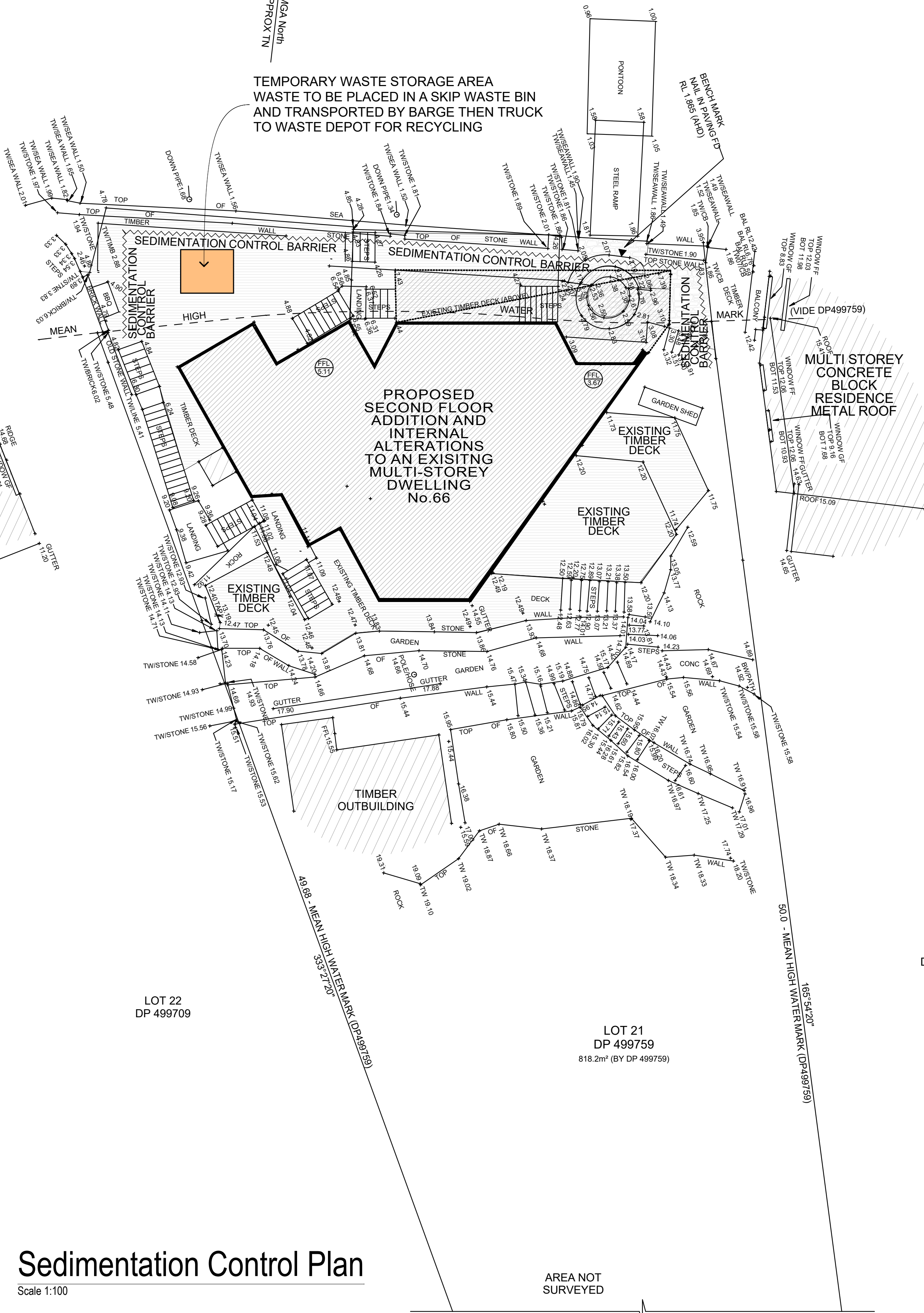
Project No:
080601
Layout No.:
1

Plot Date: 27/12/2022

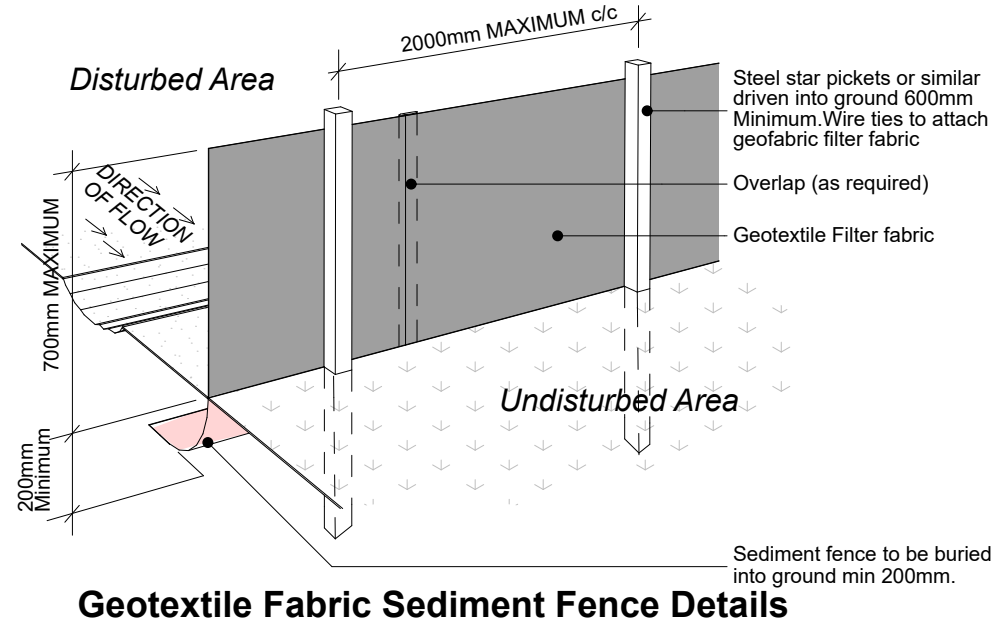
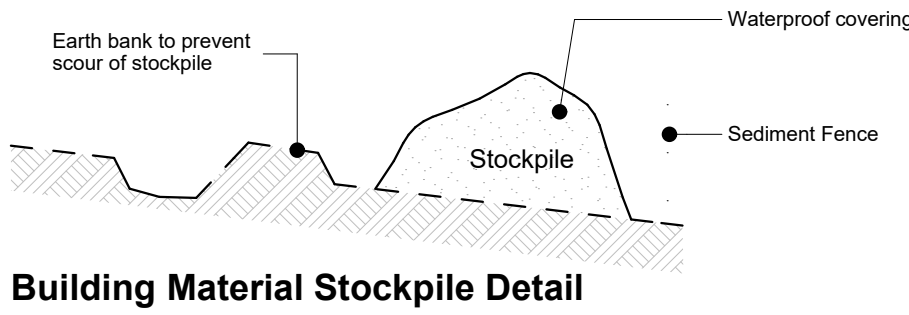
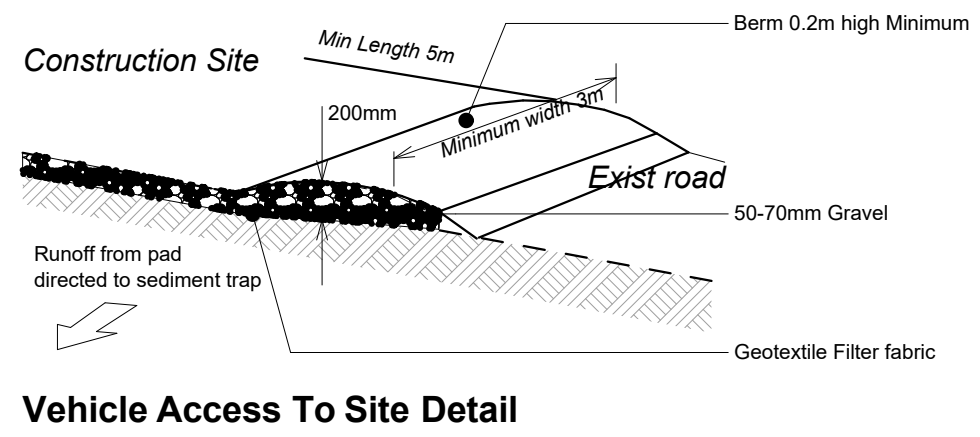
BEROWRA CREEK
CALABASH BAY



TEMPORARY WASTE STORAGE AREA
WASTE TO BE PLACED IN A SKIP WASTE BIN
AND TRANSPORTED BY BARGE THEN TRUCK
TO WASTE DEPOT FOR RECYCLING



Sedimentation Control Plan
Scale 1:100



SEDIMENTATION CONTROL NOTES

- 1 : ALL EROSION CONTROL MEASURES ARE TO BE INSTALLED & MAINTAINED IN ACCORDANCE WITH MANAGING URBAN STORMWATER ,3rd EDITION PRODUCED BY THE NSW DEPARTMENT OF HOUSING, STANDARD DRAWING (SO) NUMBERS REFERENCE CAN BE OBTAINED FROM THIS PUBLICATION
- 2 : ALL EROSION & SILATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTIONWORKS, & ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARY DURING CONSTRUCTION
- 3 : ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON COUCL APPROVED DEVELOPMENT CONSENT. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENT ETC.
- 4 : INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS, LIKELY TO COLLECTSILT LADDEN WATER
- 5 : NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERSACT & ALL COUNCIL REQUIREMENTS

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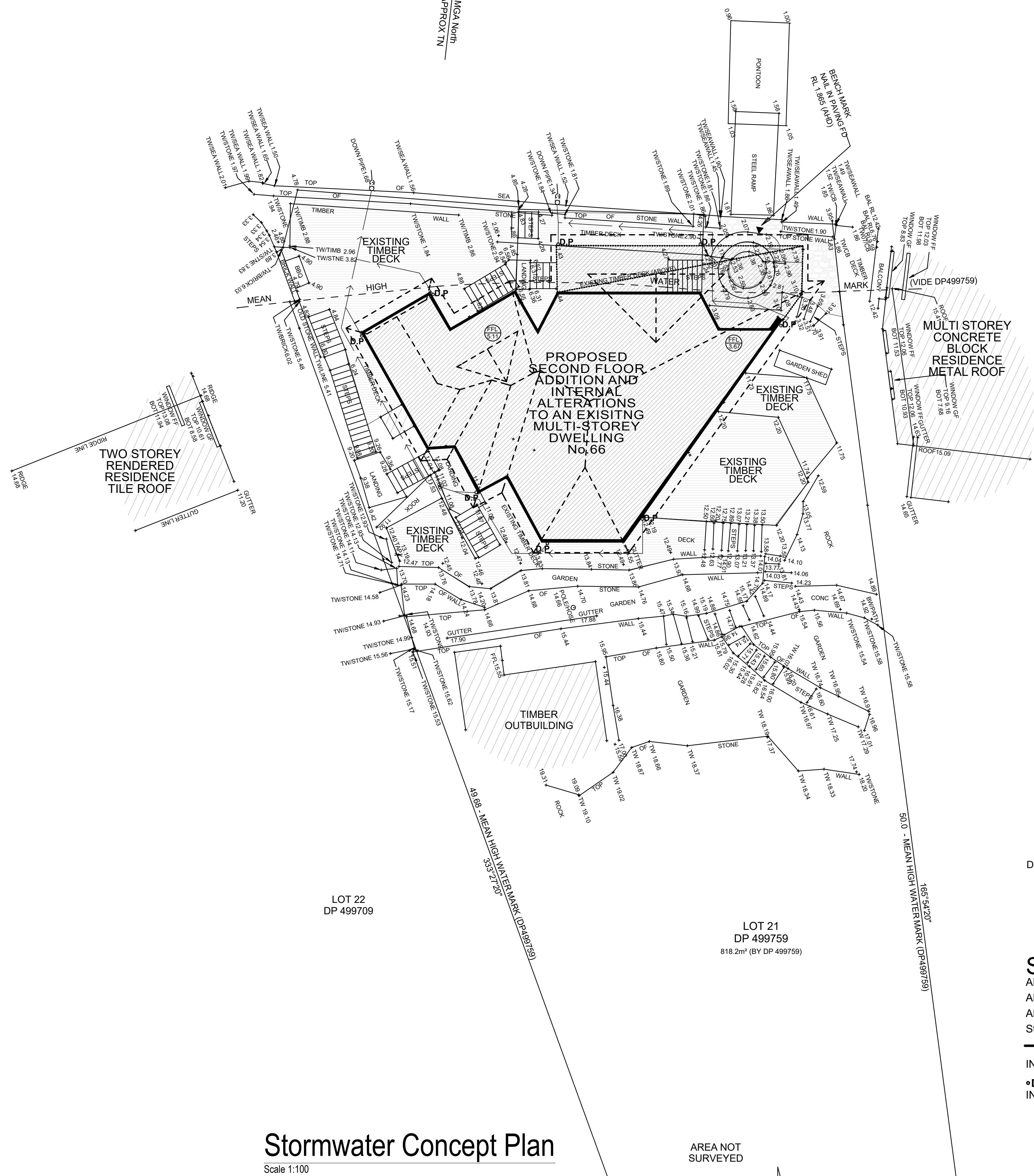
I.L. New & Associates MBDA, NSW
PO Box 58
Kurmond 2754 NSW
Ph : 0416 041 027
Em : ilnew@internode.on.net

Building Designers Association of NSW Inc.

For:
Richard and Jo-Anne Green
Project Name: **PROPOSED SECOND FLOOR ADDITION AND INTERNAL ALTERATIONS TO AN EXISTING MULTI-STOREY DWELLING**
Lots 21 DP499759 , No66 Calabash Point Berowra Waters LGA Hornsby

Drawing Title: - Sedimentation Control Plan Sedimentation Control Plan, Sedimentation Control Plan	
Scale: as noted	Date:
Status: preliminary design	Checked By:
Project No: 080601	Layout No.: 3

BEROWRA CREEK
CALABASH BAY



Stormwater Concept Plan
Scale 1:100

LOT 20
DP 202186

LOT 21
DP 499759
818.2m² (BY DP 499759)

STORMWATER DRAINAGE

All work to be done to the satisfaction of the Hornsby Shire Council
All pipes to be 100mm diameter unless noted otherwise
All pipes to be grade UPVC at a minimum of 1% unless noted otherwise
Stormwater drainage to be gravity fed to main stormwater drainage line and drain to Calabash Bay

INDICATES 100mm DIA STORMWATER PIPELINE (MINIMUM FALL 1 IN 100)

•D.P.
INDICATES DOWNPIPE POSITION

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Lots 21 DP499759, No66 Calabash Point
Berowra Waters LGA Hornsby

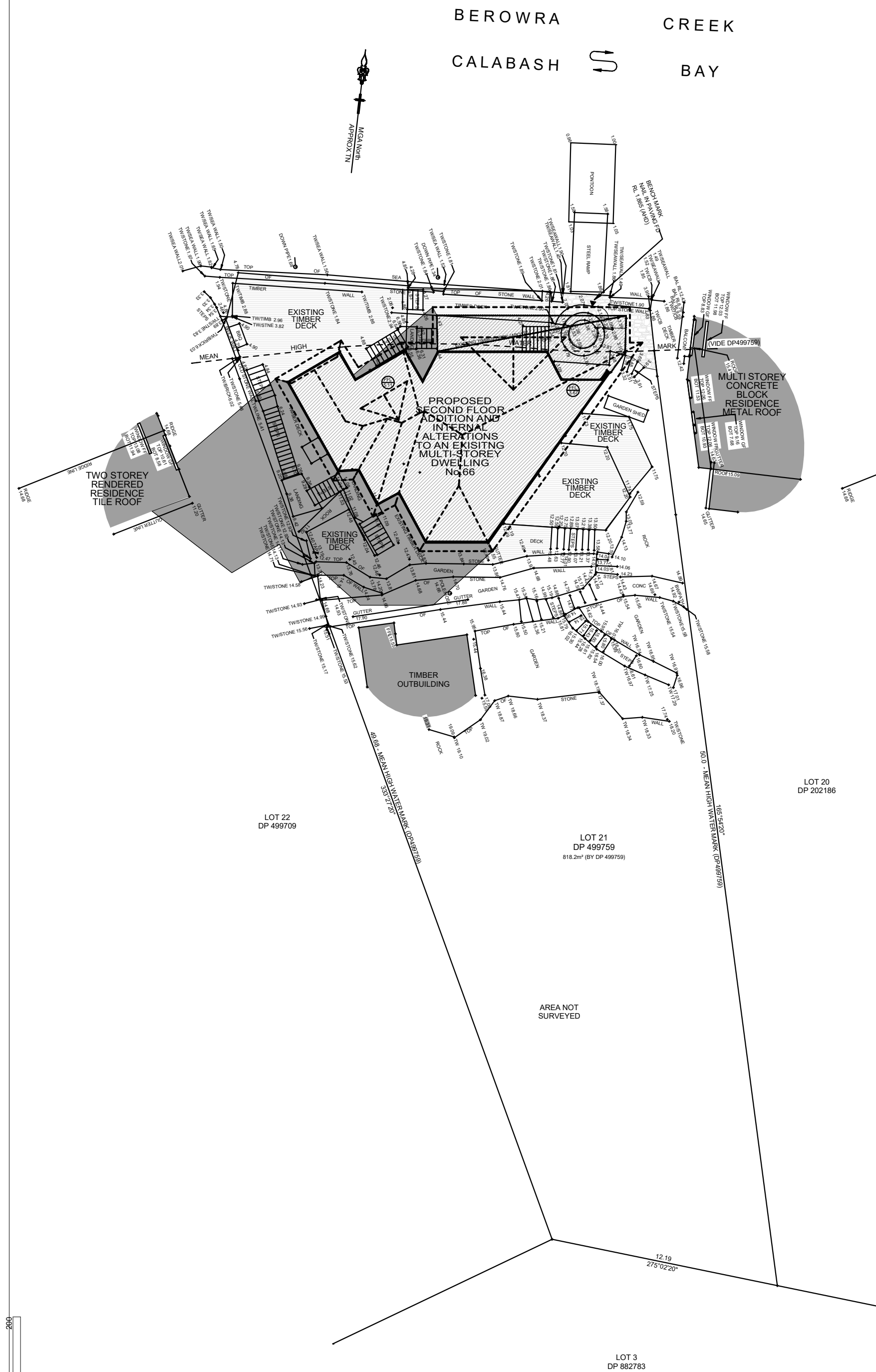
Drawing Title:
• Stormwater Concept Plan
Stormwater Concept Plan

Scale: as noted
Status: preliminary design

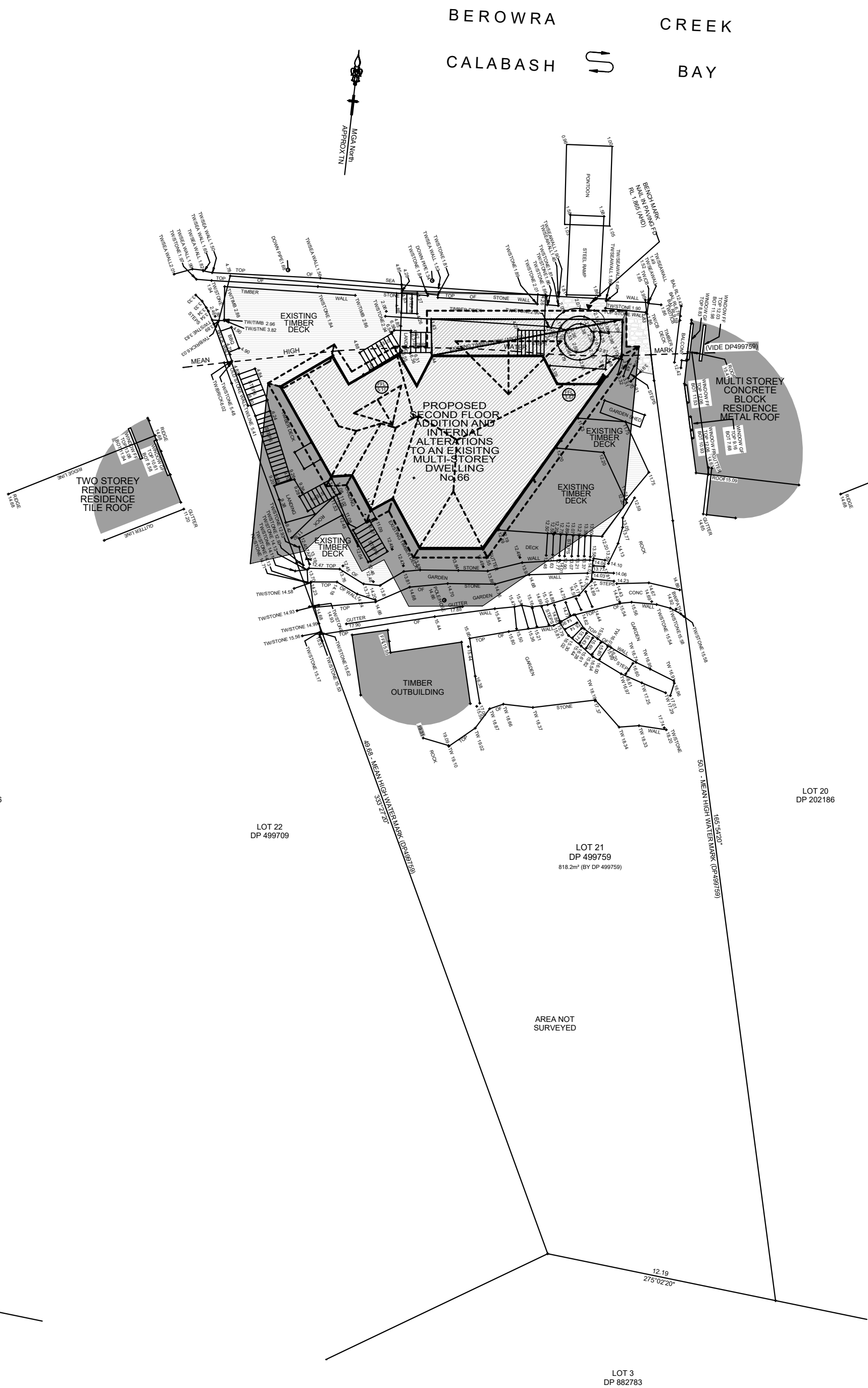
Project No:
080601

Layout No.:
4

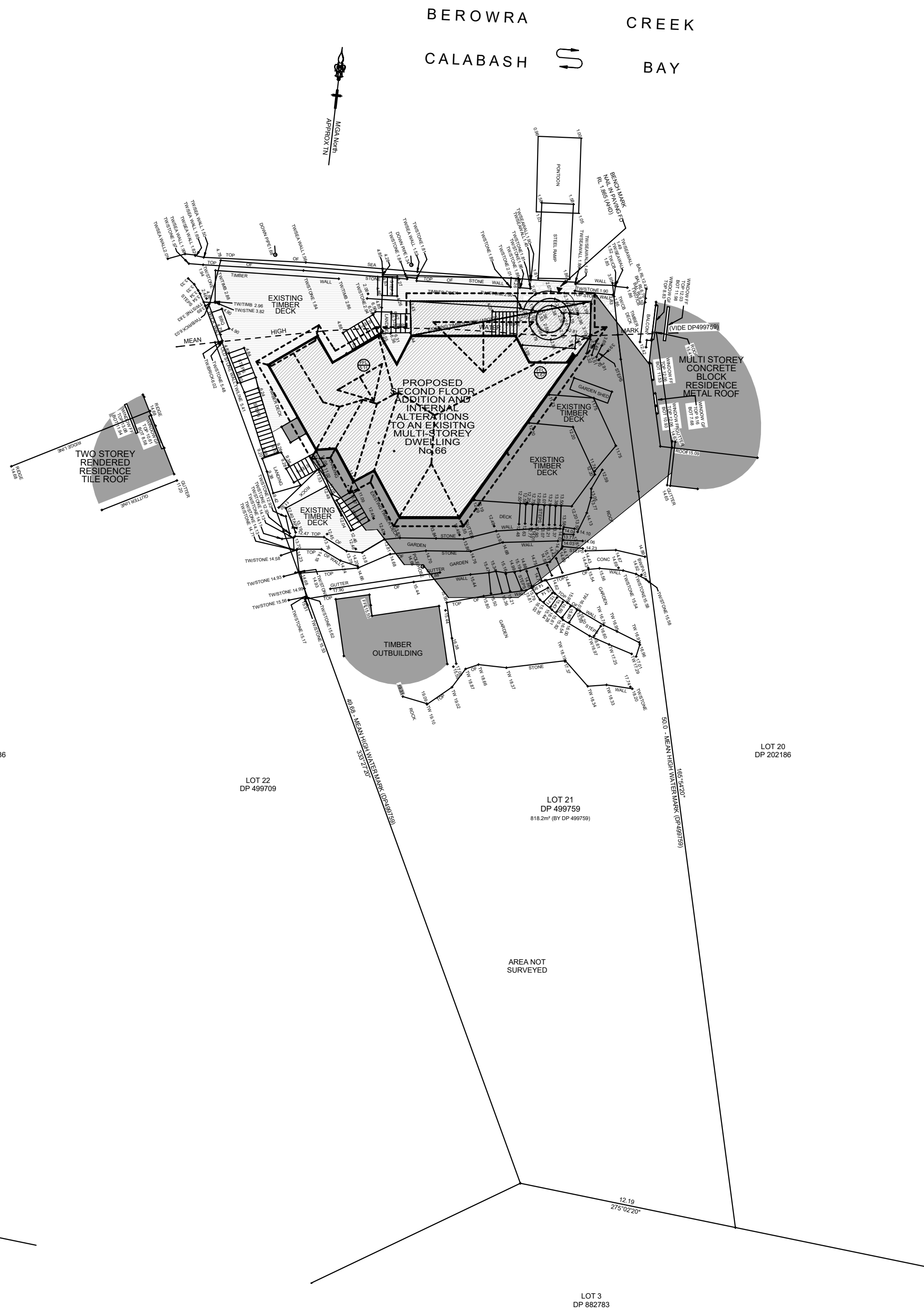
Plot Date: 27/12/2022



9AM June21 Shadow Diagram
Scale 1:200



12PM June21 Shadow Diagram
Scale 1:200




3PM June21 Shadow Diagram
Scale 1:200

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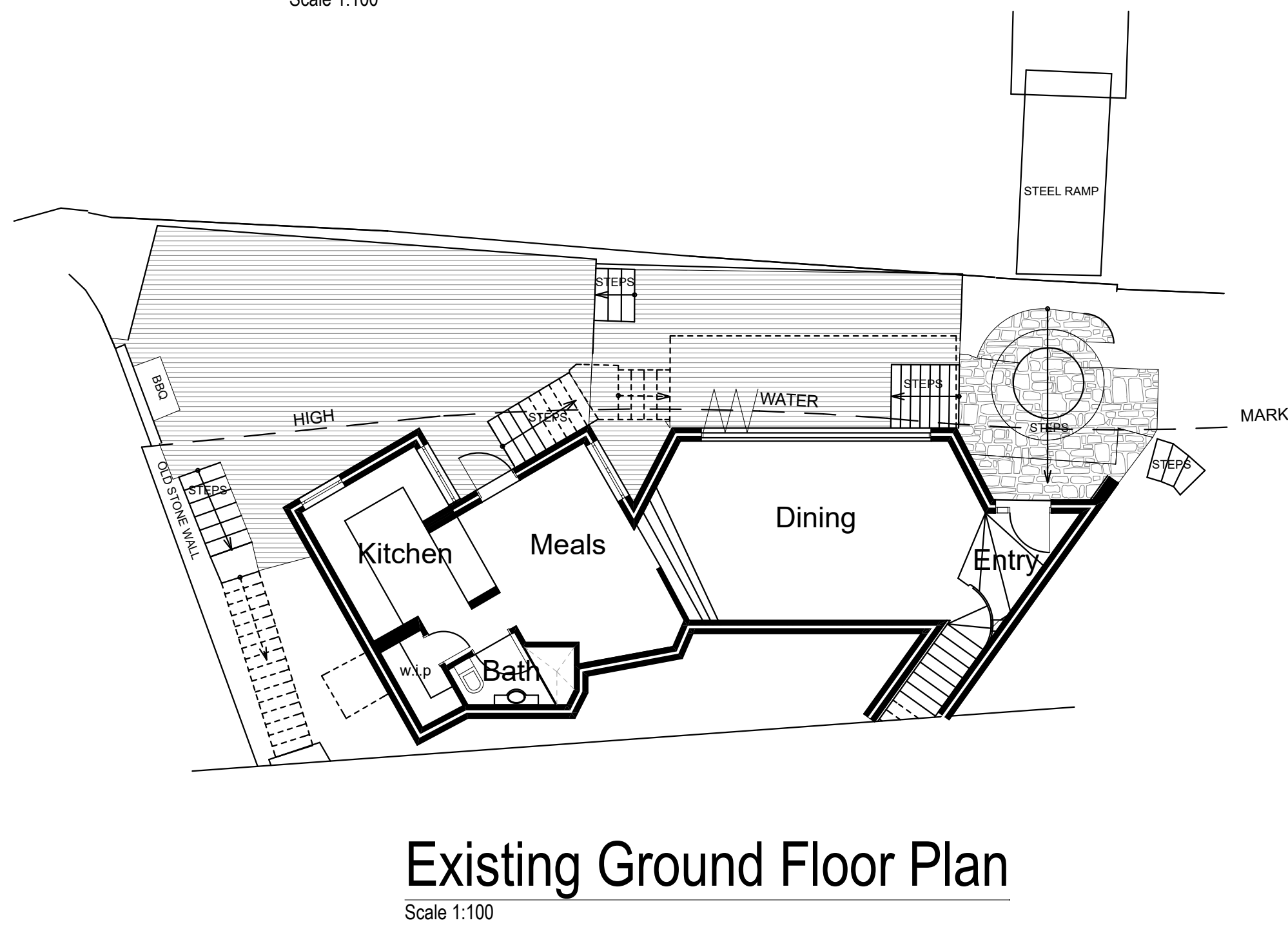
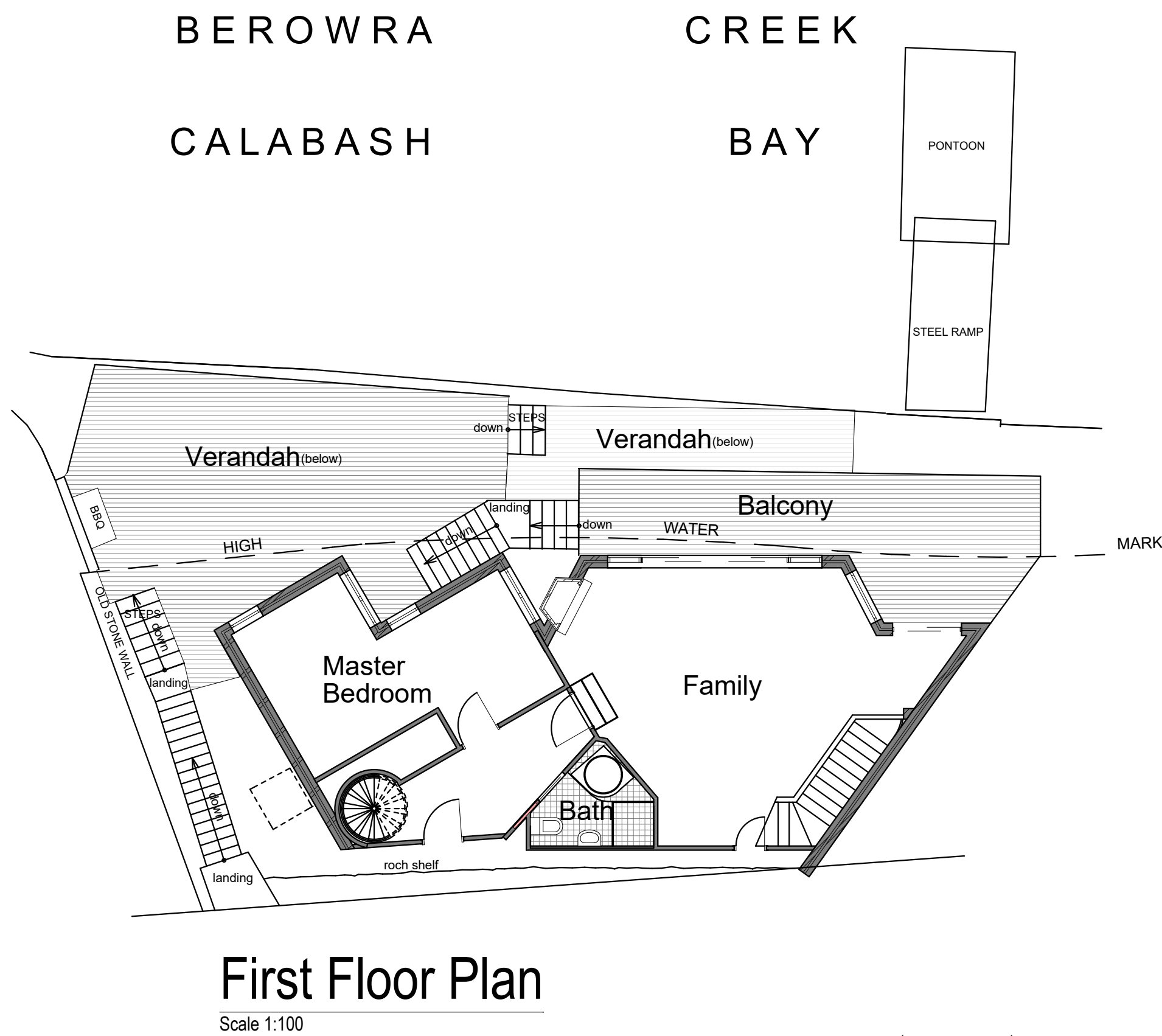
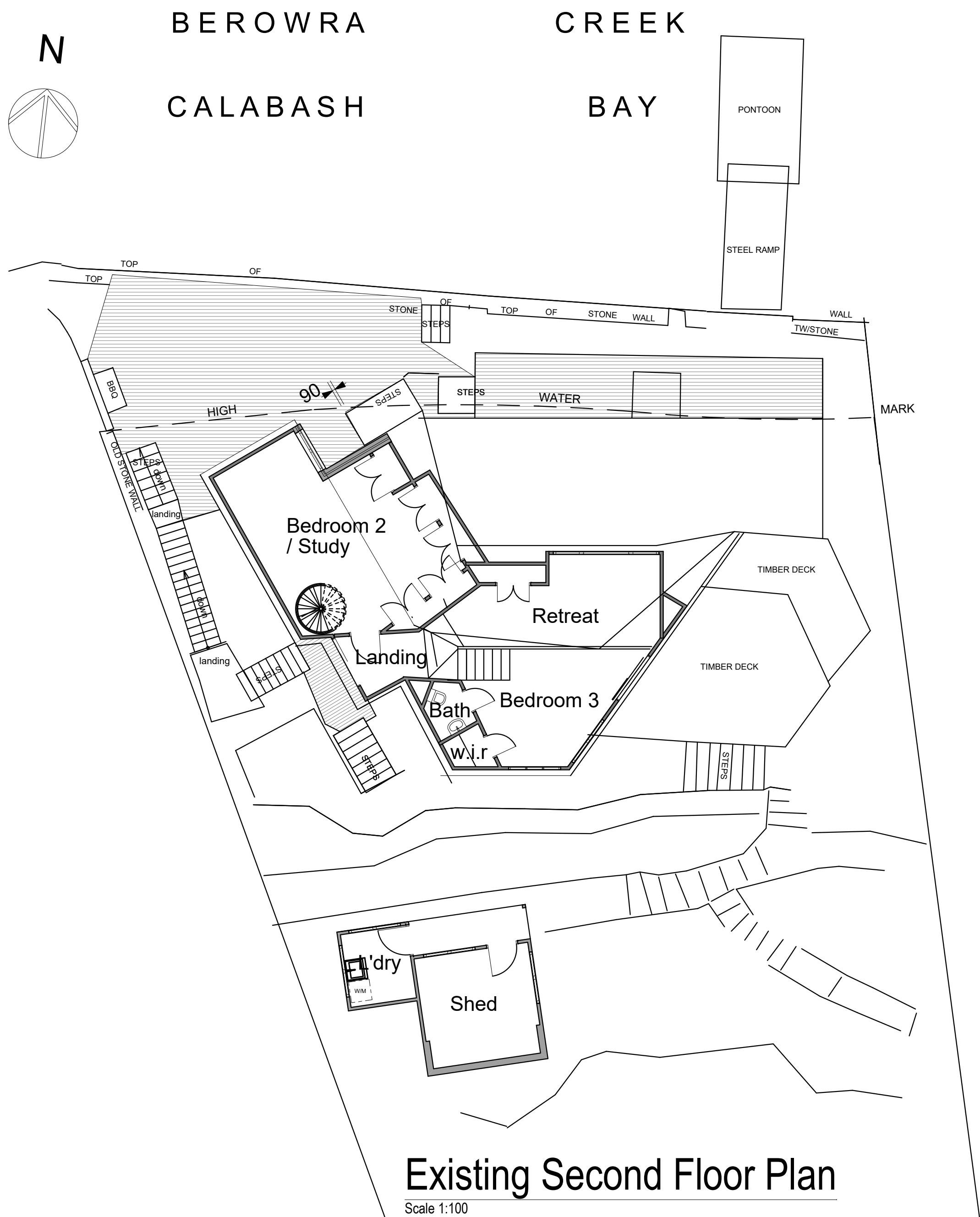
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Lots 21 DP499759 , No66 Calabash Point Berowra Waters LGA Hornsby

Drawing Title:
- June 21 Shadow Diagrams
9AM June21 Shadow Diagram, 12PM June21 Shadow Diagram, 3PM June21 Shadow Diagram
Scale: as noted
Date:
Status: preliminary design
Checked By:
Project No:
080601
Layout No.:
5

Plot Date: 27/12/2022



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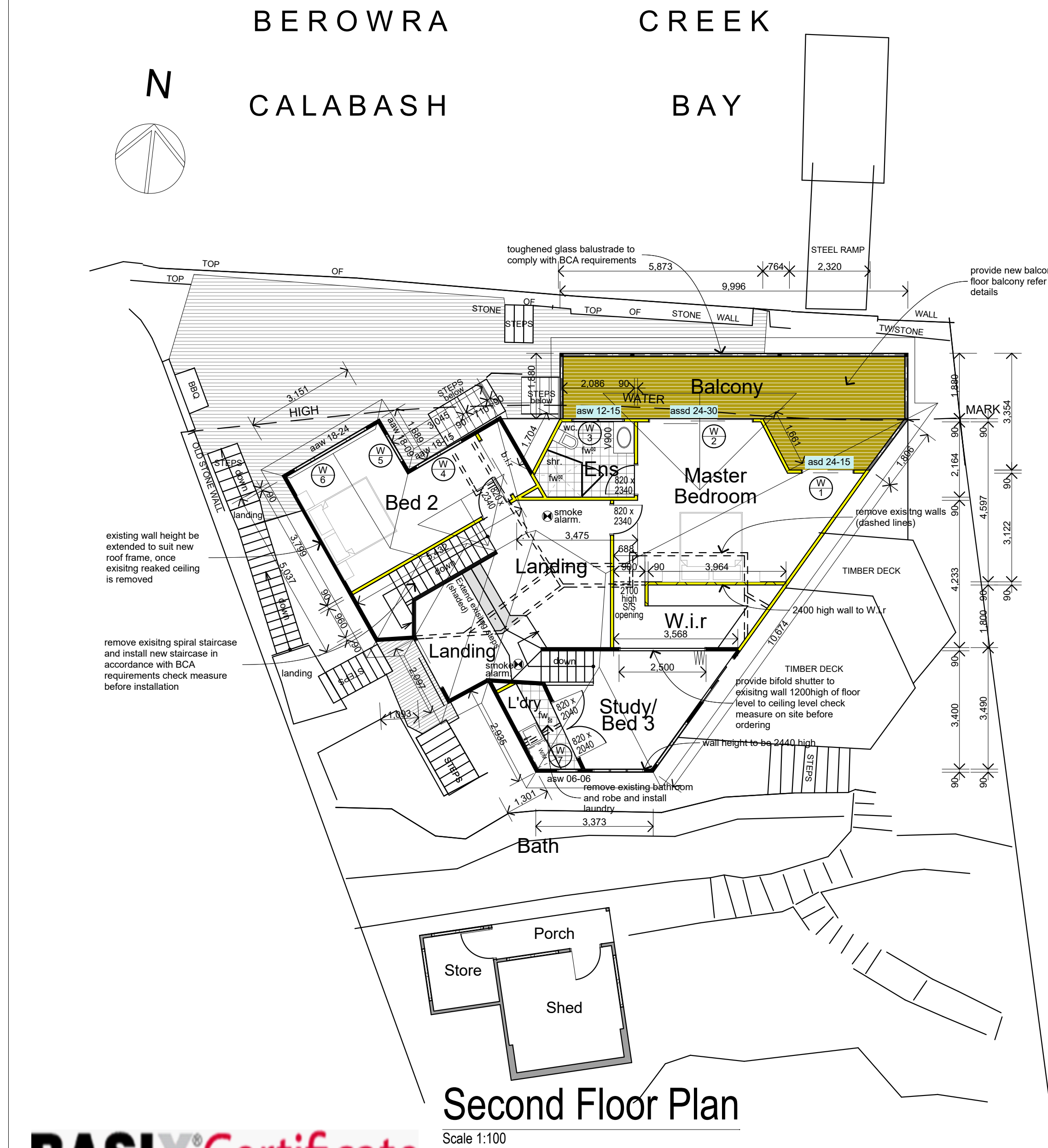
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Project Name: PROPOSED SECOND FLOOR ADDITION AND INTERNAL ALTERATIONS TO AN EXISTING MULTI-STOREY DWELLING
Lots 21 DP499759 , No66 Calabash Point Berowra Waters LGA Hornsby

Drawing Title:
- Existing Floor Plans
Existing Second Floor Plan, First Floor Plan, Existing Ground Floor Plan
Scale: as noted
Status: preliminary design
Project No:
080601

Date:
Checked By:
Layout No.:
6

Plot Date: 27/12/2022



BASIX Certificate

Alterations and Additions

Certificate number: A479681
Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

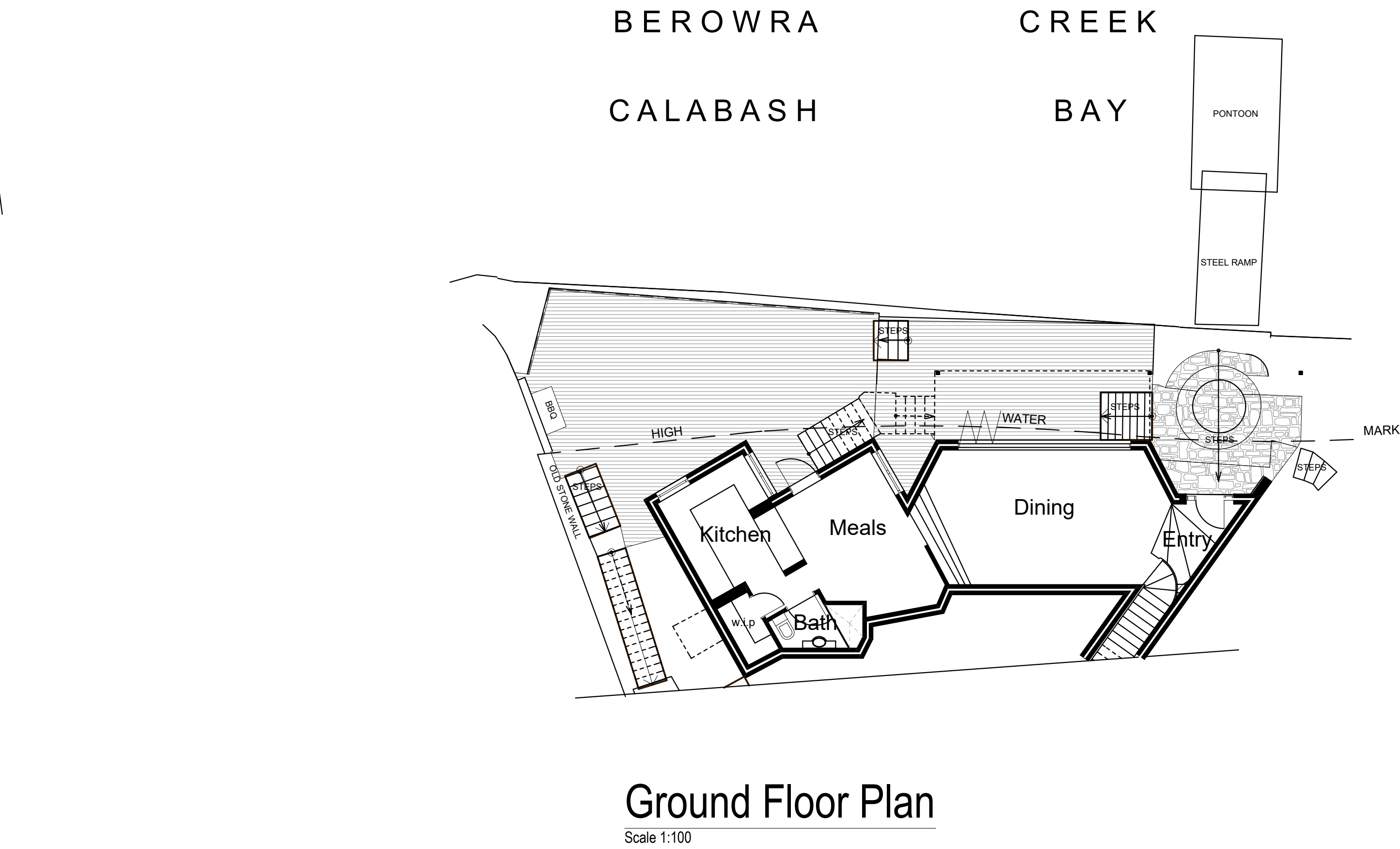
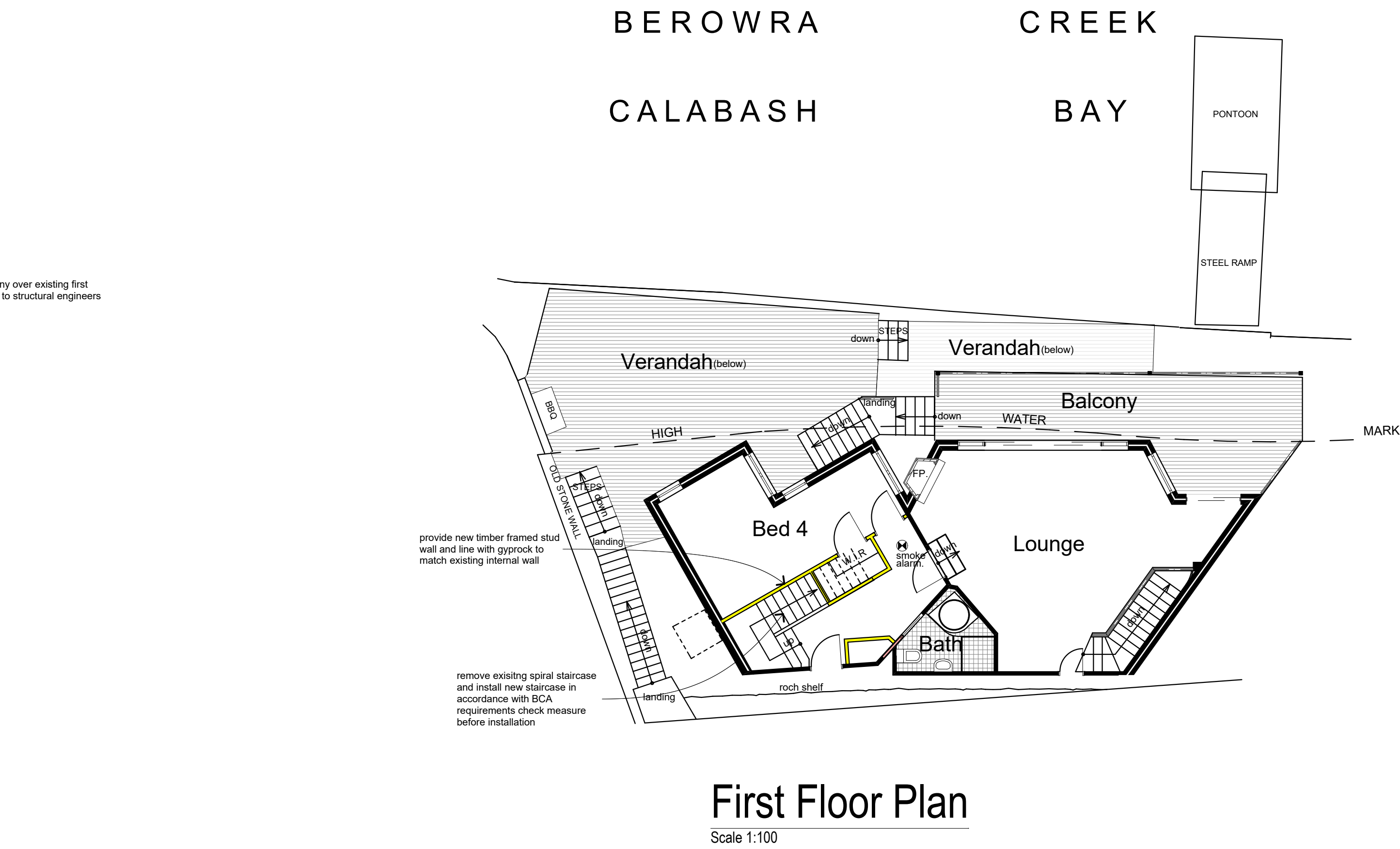
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction
Insulation requirements
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	dark (solar absorbance > 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	dark (solar absorbance > 0.70)

Glazing requirements
Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Shading device Distance (m)	Frame and glass type
W1	N	3.6	0	0	eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	N	7.2	0	0	eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	N	1.8	0	0	eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)



Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Shading device Distance (m)	Shading device	Frame and glass type
W4	NW	2.7	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	NE	1.62	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W6	NW	4.32	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	S	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

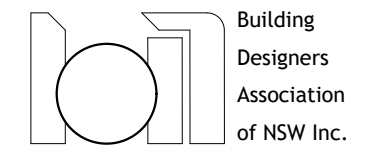
BCA Notes
1. NOTE: All plans are to be read in conjunction and comply with the BASIX Certificate, Bushfire and Geotech Reports
2. IMPORTANT NOTE: Any proposed product changes are to be approved by the CC to be immediately notified to the Private Certifying Authority for concurrence
3. Termite Control shall be in accordance with N.C.C. 2019 Vol 2 Part 3.1.4. and AS 3660.1.
4. All external mber framed walls to be wrapped in a breathable vapour permeable membrane that complies + installed with AS/NZS 4200.1 + AS/NZS 4200.2.
5. Metal Roof Design and Installation shall be in accordance with N.C.C. 2019 Vol 2 Part 3.5.1. AS/NZS 1562

6. All external wall Claddings must be compliant with the requirements of N.C.C. 2019 Vol 2 Part 3.5.4. deemed to satisfy provisions and AS/NZS 1859.4.
7. All Balustrades to comply with N.C.C. 2019 Vol 2 Part 3.9 and AS 1684, AS 1170, AS 1288 and AS/NZS 2208
8. All stairs providing access to comply with N.C.C. 2019 Vol 2 Part 3.9.1 & 3.9.2 and AS 4586 including slip resistance P3 / R10 for Dry or P4 / R11 for Wet.
9. All windows to be restricted in accordance with N.C.C. 2019 Vol 2 Part 3.9.2.6 & Part 3.9.2.7. Protection of openable windows where floor below is greater than 2 meters
10. Allow for separate taps for the washing machine and keep separate for those of the laundry tub. A dedicated laundry space comprising of at least on washtub and space for washing machine must be provided in accordance with N.C.C. 2019 Vol 2 Part 3.83
11. Provide Plasterboard Lining installed to Manufacturers Specifications & AS 2589
12. All waterproofing to AS3740 and N.C.C. 2019 Vol 2 Part 3.8.1. Provide a Guaranteed Flexible Waterproof Membrane to all Wet Area Floors & Shower walls to manufactured instructions.
13. Provide li off hinges where pan is within 1.2 meters of hinged side of door in accordance with N.C.C. 2019 Vol 2 Part 3.8.3.
14. Provide hardwired & interconnected smoke alarm devices. Smoke alarms to be installed to AS 3786 and the N.C.C. 2019 Vol 2 Part 3.7.5.
15. Inter-tenancy walls between primary and secondary dwelling (Granny Flats) must be constructed from a tested system that achieves a 60/60/60 as per N.C.C. 2019 Vol 2 Part 3.7.3. and N.C.C. 2019 Vol 2 Part 3.8.6. Sound Insulation RW and CTR 50 or greater
16. Condensation Management must be adhered to in accordance with N.C.C. 2019 Vol 2 Part 3

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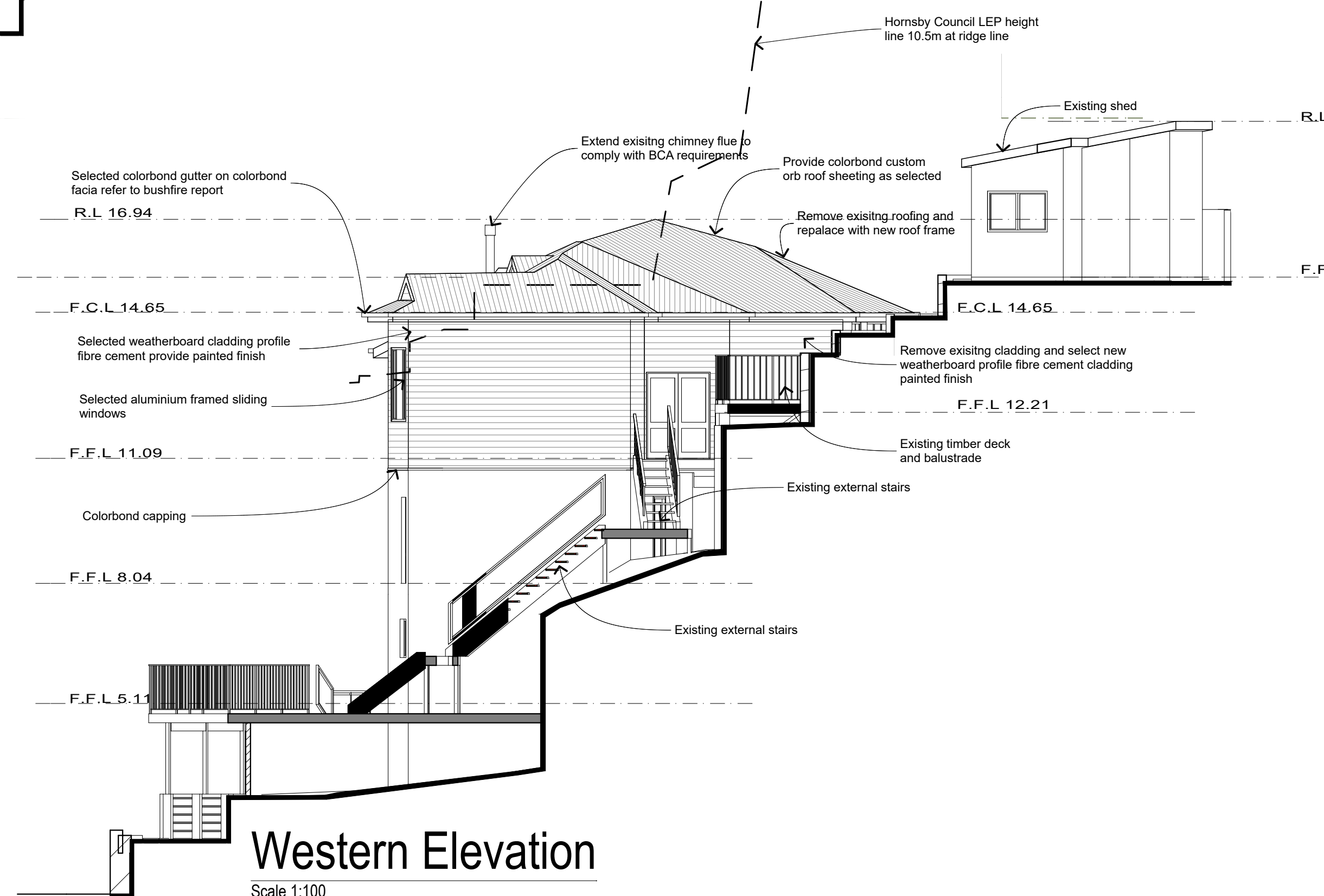
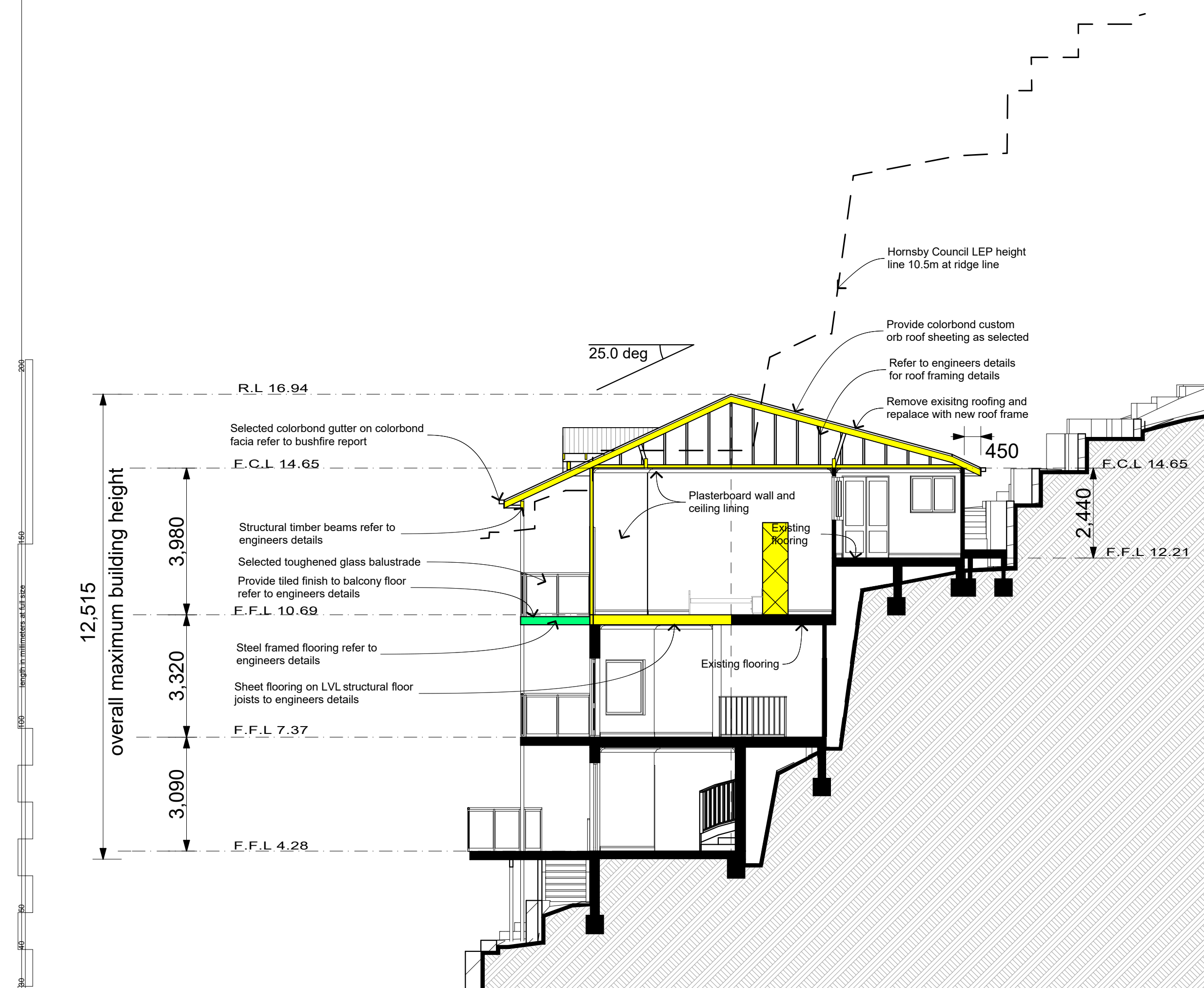
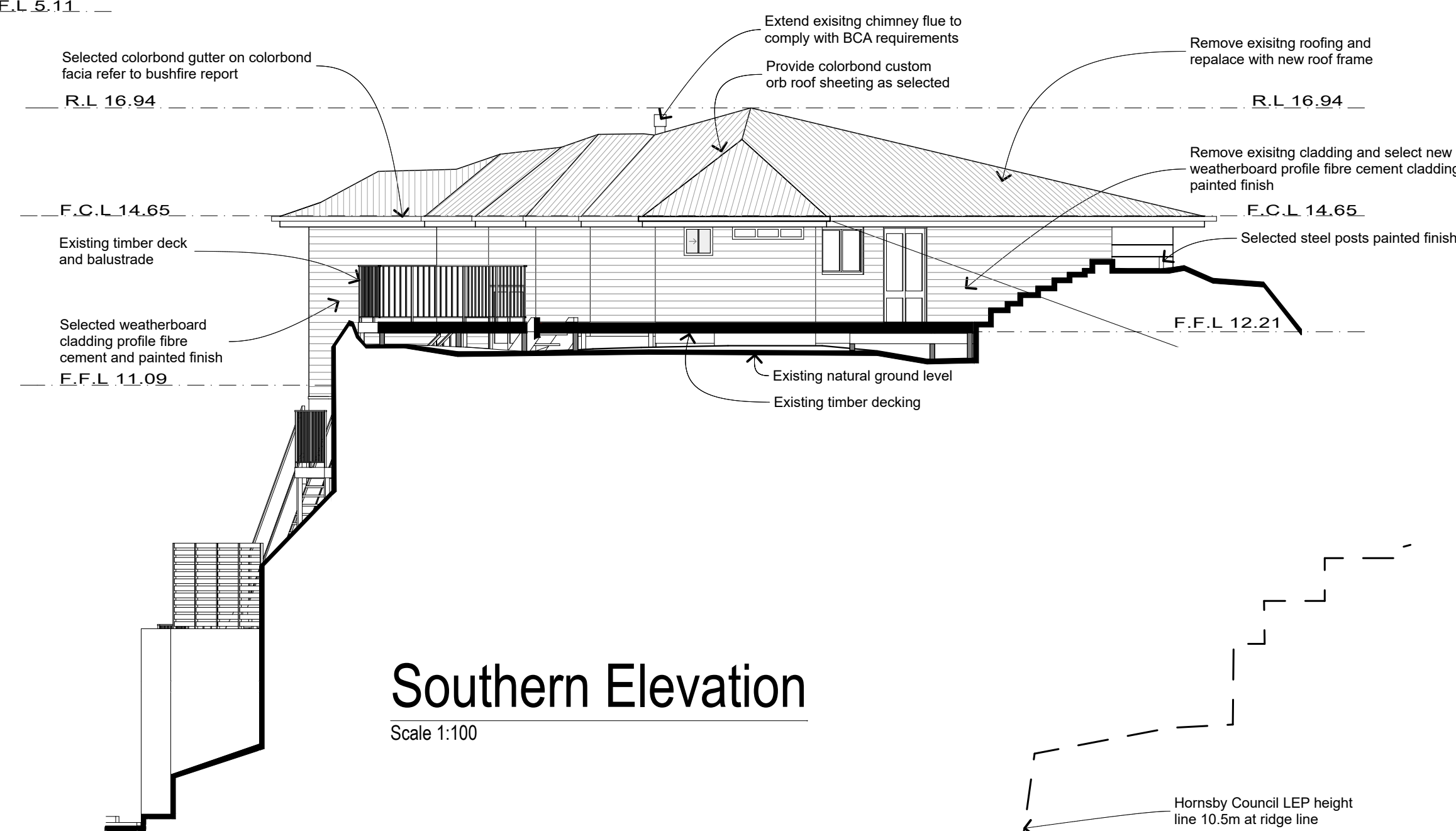
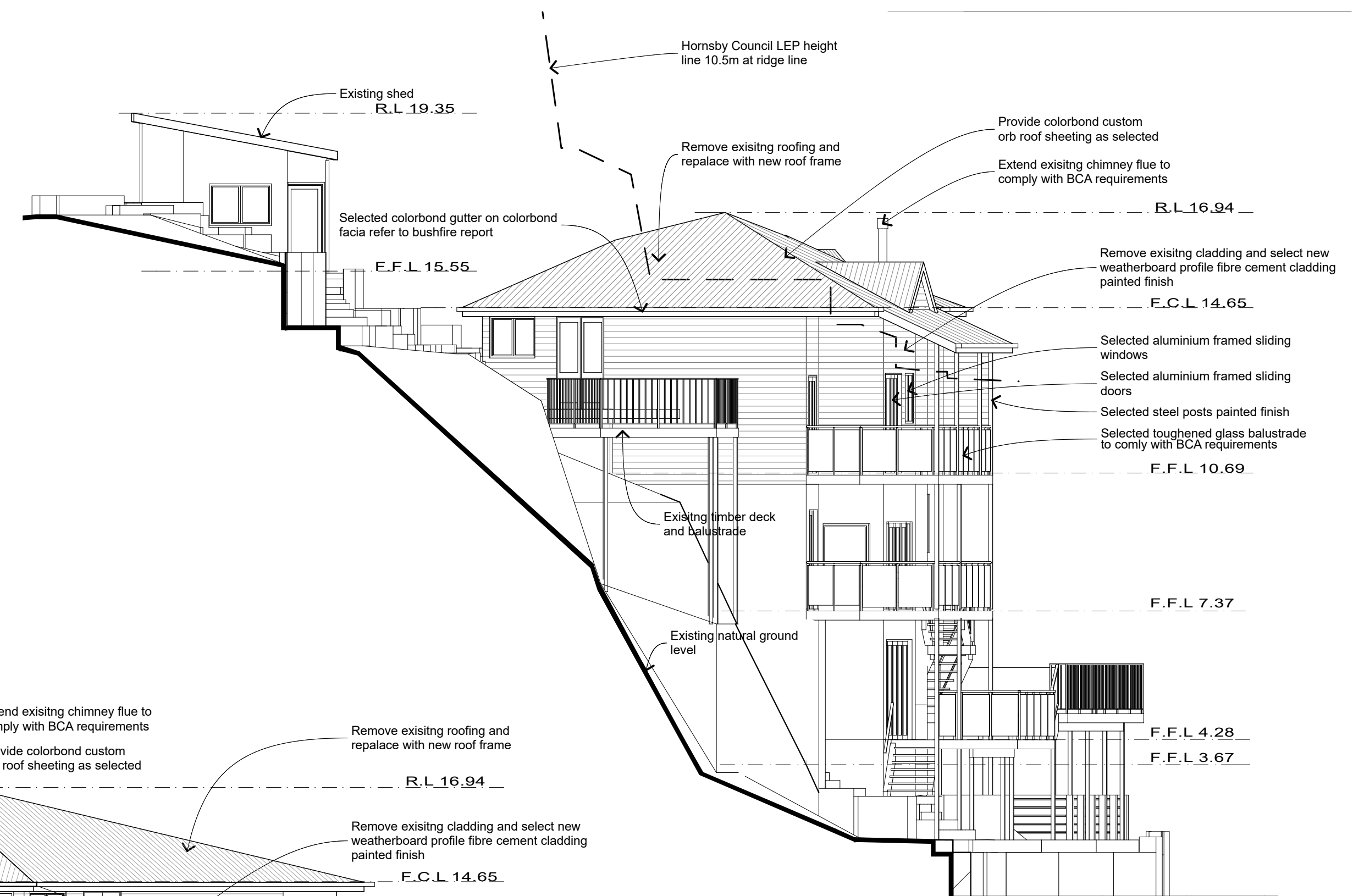
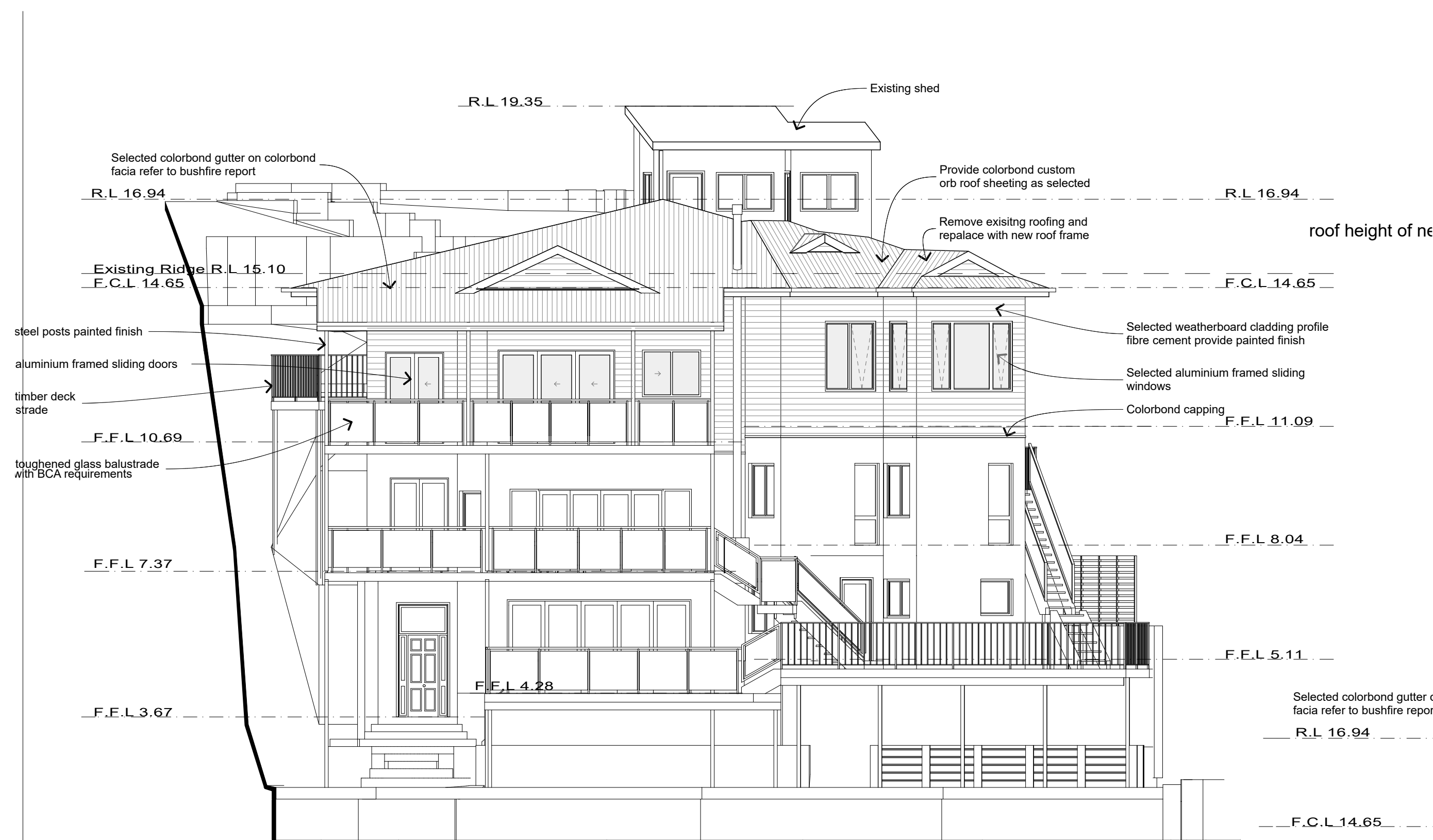
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Project Name: **PROPOSED SECOND FLOOR ADDITION AND INTERNAL ALTERATIONS TO AN EXISTING MULTI-STORY DWELLING**
Lots 21 DP499759, No66 Calabash Point Berowra Waters LGA Hornsby

Drawing Title:
- Floor Plans
Ground Floor Plan, First Floor Plan, Second Floor
Plan, Section A-A
Scale: as noted
Status: preliminary design
Project No:
080601
Plot Date:

Date:
Checked By:
Layout No.:
7
27/12/2022



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INTERNAL ALTERATIONS TO AN EXISTING
MULTI-STORY DWELLING

**Lots 21 DP499759 , No66 Calabash Point
Berowra Waters LGA Hornsby**

Drawing Title:
- Elevations
 Northern Elevation, Western Elevation, Southern
 Elevation, Eastern Elevation, Section A:A

Scale: as noted

ate:

Status: preliminary design

Checked By:

Project No:
080601

Layout No.:
8

Plot Date:

7/12/2022