

SCHEDULE OF DRAWINGS:

DA-000 DA-001 DA-002 DA-003 DA-004 DA-005 DA-005 DA-006 DA-007 DA-008 DA-009 DA-010 DA-011 DA-012 DA-013 DA-013 DA-014 DA-015 DA-016 DA-017 DA-018 DA-019		plan plan ncept plan a-a b-b c-c d-d elevation elevation elevation perspective perspective perspective shes	nts 1:200 1:200 1:200 1:100 1:100 1:100 1:100 1:100 1:100 1:100 1:100 1:100 1:100 1:100 1:100 1:100
	schedule of finishes shadow diagrams driveway concept		
27.021	ann annay borrior	- P- C	



architect:

Voytek Trzebiatowski NSW 10087 project No: F name: F address: 3

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

date: August 2022 stage: DA ISSUE drawing No scale: title: DA-00 nts

cover page



Voytek Trzebiatowski NSW 10087

project No: name:

address:

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: 1:200 scale: title:





LEGEND:

site boundary

Evans Road

adjacent buildings

existing trees retained

green roof

void

solar panel array

suspended driveway

slab on ground ramp

ramp graded to existing drain

natural unaltered landscape -shrubs, grasses and ground cover (subject to Asset Protection Zone maintenance)

natural unaltered rock outcrops

TOTAL Floor AREA: 209.4m²

158.8m² upper floor AREA 50.6m² lower floor AREA green roof AREA 304.6m²

site AREA

building footprint site coverage

landscaped area

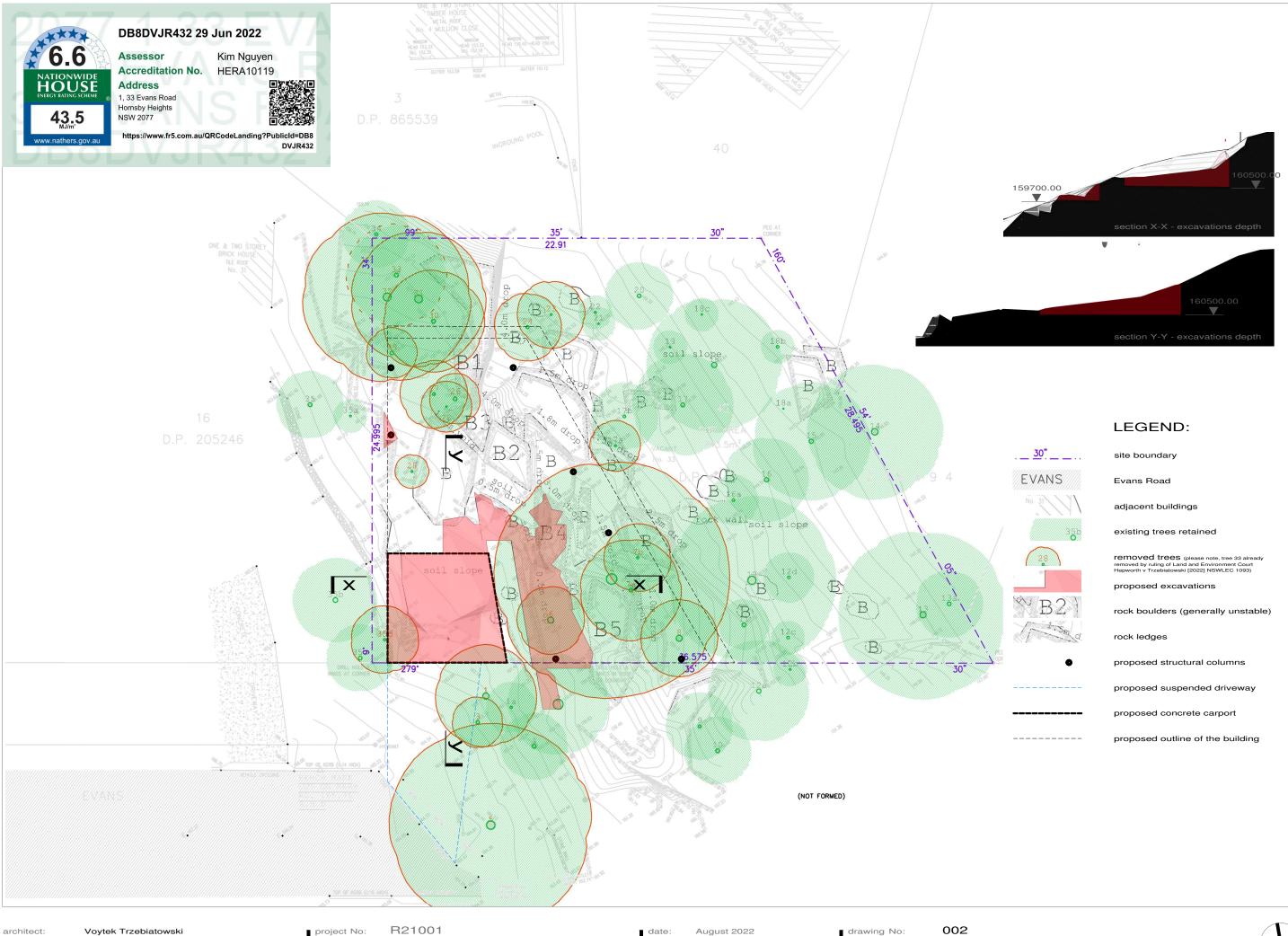
743.5m²

223.5m² 30.06 % (<50%)

394.7m² 53.08% (>30%)



site/landscape plan



Voytek Trzebiatowski NSW 10087

project No: name: address:

Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: scale: title:

1:200



site demolition plan



R21001 project No: name:

address:

Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: scale: title.

003

1:200

DB8DVJR432 29 Jun 2022

Assessor Accreditation No. HERA10119 Address 1, 33 Evans Road Hornsby Heights NSW 2077

Kim Nguyen



https://www.fr5.com.au/QRCodeLandin PublicId=DB8 DVJR432



site boundary

Evans Road

adjacent buildings

proposed structural columns

proposed suspended driveway

proposed concrete carport

proposed outline of the building

tree protection

tree protection fencing to be installed adjacent to the development works, to create a combined TPZ exclusion zone for protected trees. TPZ signage to be installed on fencing. refer Arborist Report for tree protection details.

sediment and erosion control

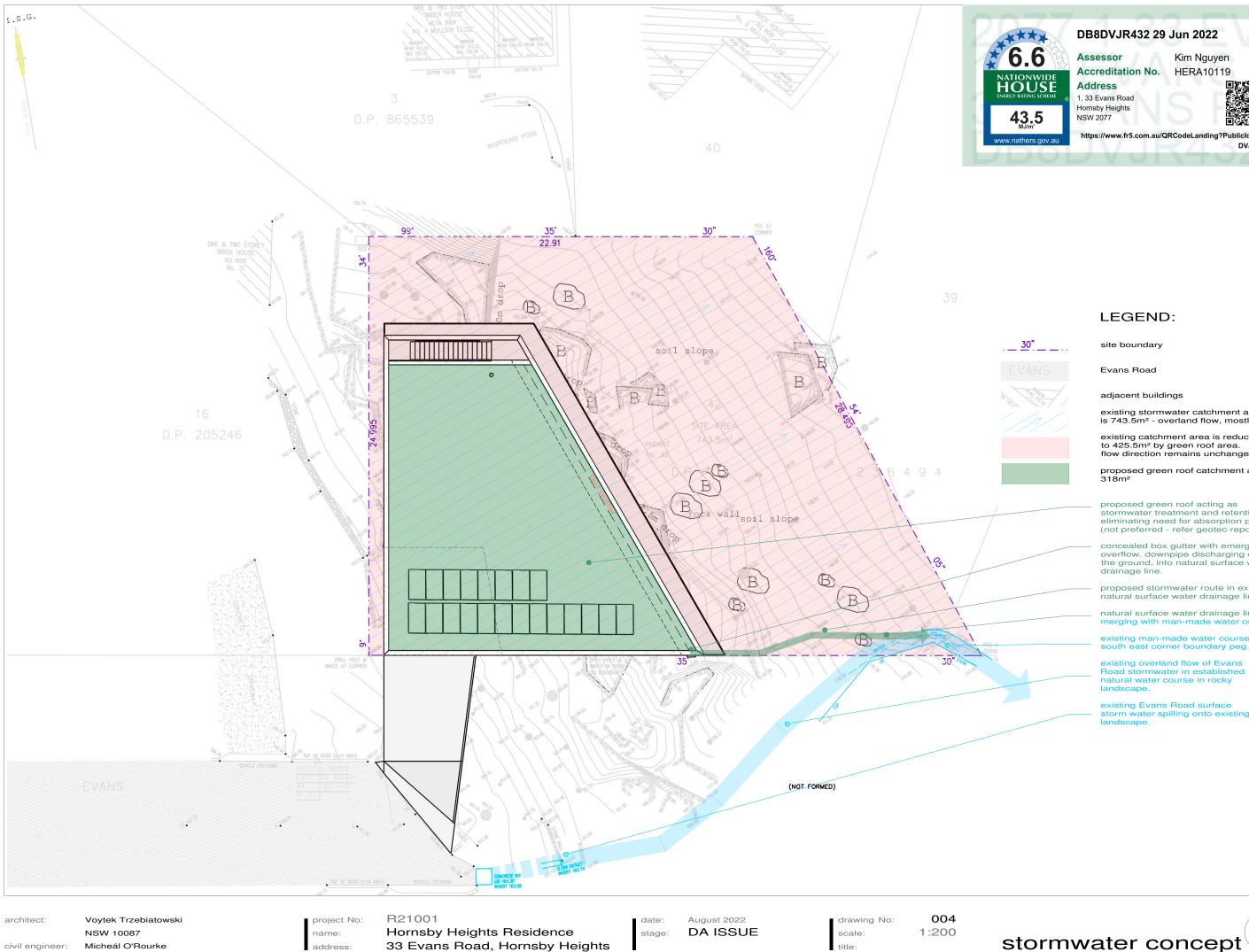
temporary support prior to excavation. refer to Geotech Report for details.

stabilising measures or the removal of boulder B1 is recommended prior to site works whilst stabilising measures to other boulders can be determined upon further inspection of boulders with respect to the proposed works.

generally - loose soils and unstable boulders to be secured or removed.



site protection plan



Micheál O'Rourke civil engineer:

address:

Hornsby Heights Residence 33 Evans Road, Hornsby Heights

scale: title

DB8DVJR432 29 Jun 2022

Assessor

Address

NSW 2077

1, 33 Evans Road Hornsby Heights

Kim Nguyen Accreditation No. HERA10119



DVJR432

https://www.fr5.com.au/QRCodeLanding?PublicId=DB8

LEGEND:

site boundary

Evans Road

adjacent buildings

existing stormwater catchment area is 743.5m² - overland flow, mostly east

existing catchment area is reduced to 425.5m² by green roof area. flow direction remains unchanged.

proposed green roof catchment area is 318m²

proposed green roof acting as stormwater treatment and retention eliminating need for absorption pit (not preferred - refer geotec report)

concealed box gutter with emergency overflow. downpipe discharging onto the ground, into natural surface water drainage line.

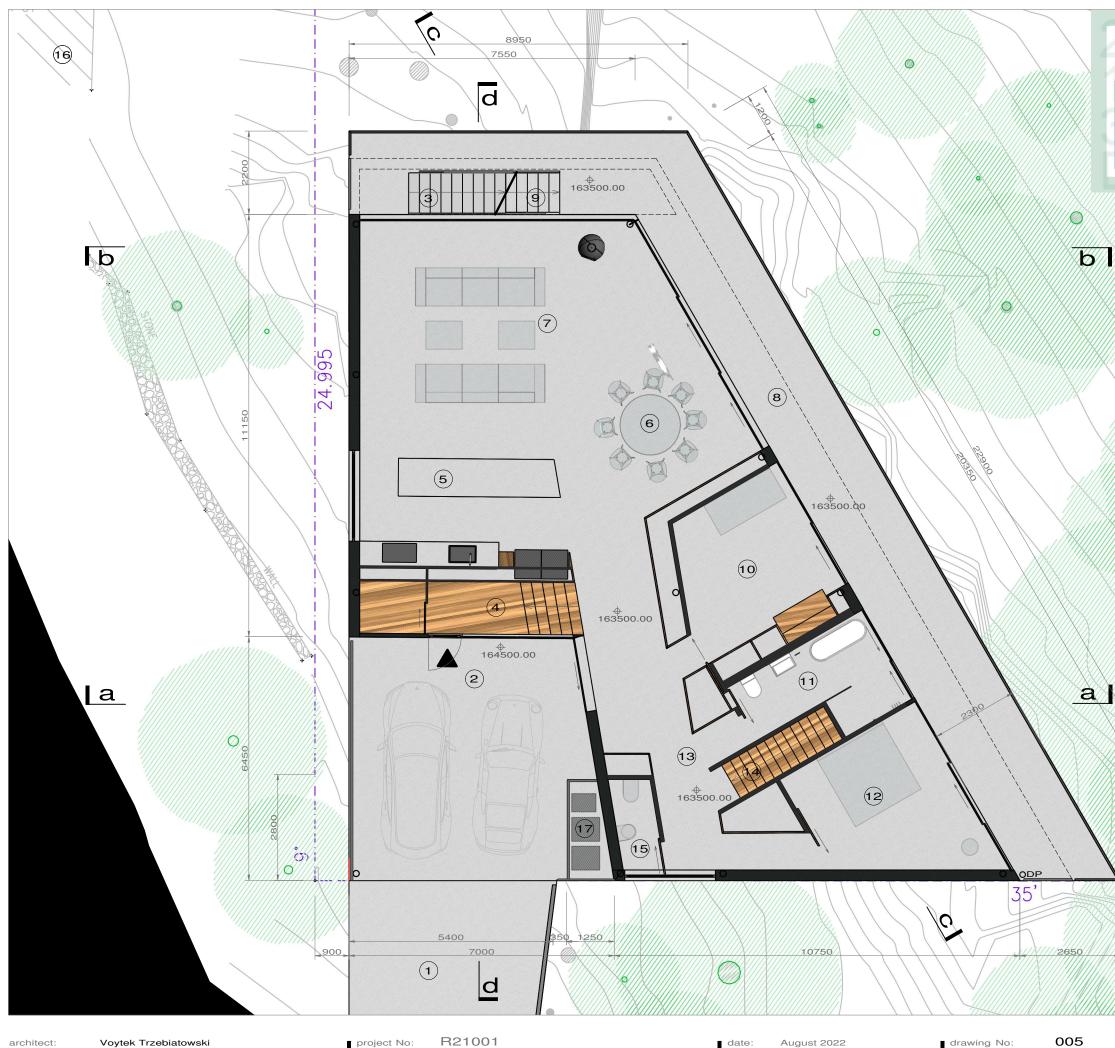
proposed stormwater route in existing natural surface water drainage line

natural surface water drainage line merging with man-made water cours

existing man-made water course r south east corner boundary peg.

existing overland flow of Evans Road stormwater in established natural water course in rocky landsca

existing Evans Road surface storm water spilling onto existing landscape



Voytek Trzebiatowski NSW 10087

project No: name: address:

Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: 1:100 scale:

title:



DB8DVJR432 29 Jun 2022

Assessor Accreditation No. HERA10119 Address

1, 33 Evans Road Hornsby Heights NSW 2077

Kim Nguyen



https://www.fr5.com.au/QRCodeLanding PublicId=DB8 DVJR432

LEGEND:

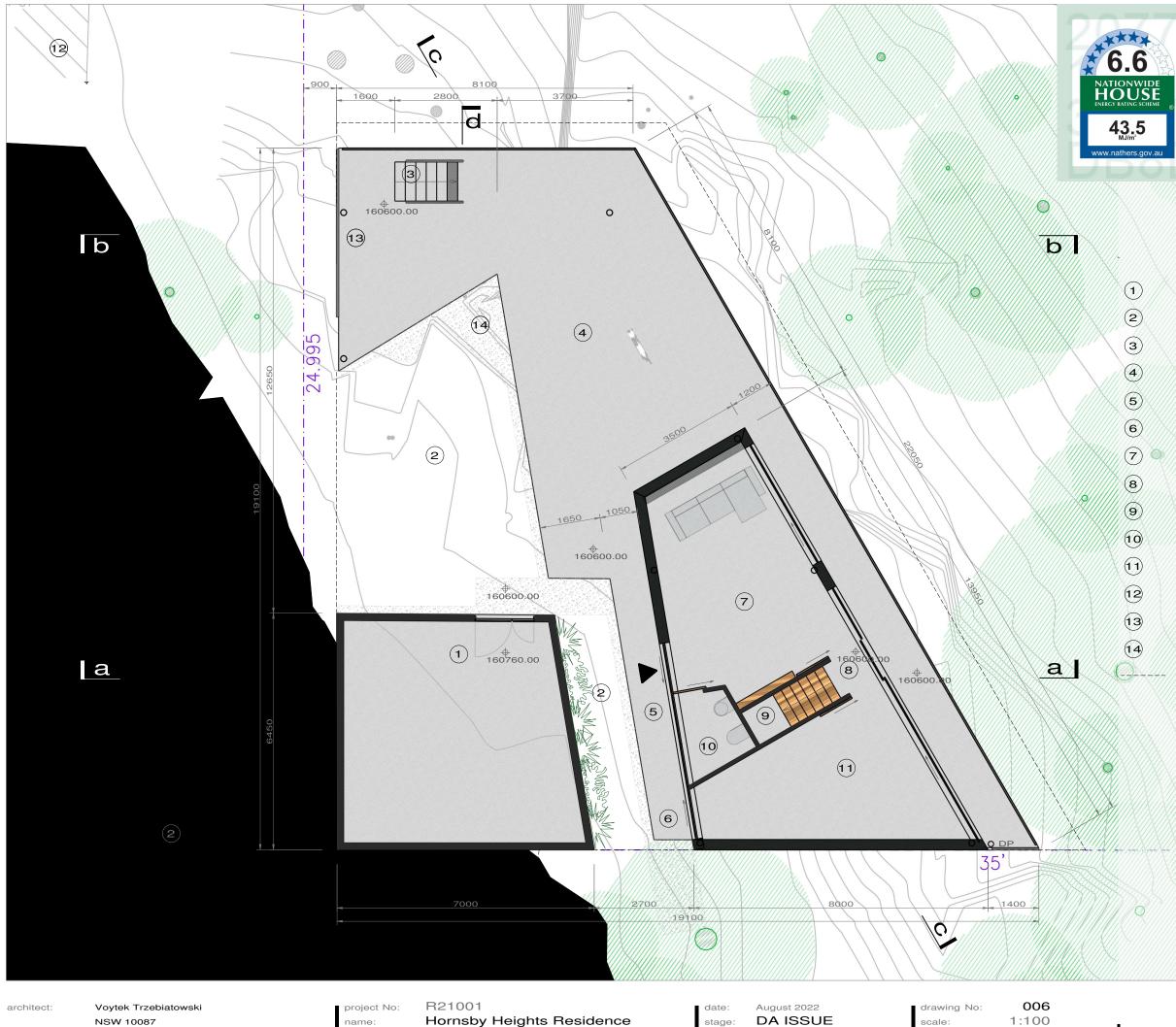
1	elevated driveway
2	carport
3	stair to green roof
4	entrance / stair from main floor
5	kitchen
6	dining
7	living
8	terrace
9	stair from undercroft terrace
10	child's bedroom
11	bathroom
12	master bedroom
13	circulation / storage
14	stair from lower floor
15	powder room
16	adjacent residency
17	waste bin enclosure
	roof outline above

upper floor AREA

158.8m²



upper floor plan



NSW 10087

name: address:

Hornsby Heights Residence 33 Evans Road, Hornsby Heights

DA ISSUE stage:

scale: title:

DB8DVJR432 29 Jun 2022

Assessor Accreditation No. HERA10119 Address 1, 33 Evans Road Hornsby Heights NSW 2077

Kim Nguyen



https://www.fr5.com.au/QRCodeLanding PublicId=DB8 DVJR432

LEGEND:

1	plant / storage / loundry
2	natural rock feature
3	stair to upper terrace
4	undercroft terrace
5	lower entrance
6	exit to existing rocks
7	home cinema / third bedroom
8	stair to uper floor
9	storage
10	toilet
11	home office / fourth bedroom
12	adjacent residency
13	privacy screen
14	loose rock infill to close gaps
<u>}</u>	outline of structures above

lower floor AREA

50.6m²



lower floor plan





(1)2

3

4

5

6

(7)

DB8DVJR432 29 Jun 2022



Kim Nguyen



https://www.fr5.com.au/QRCodeLanding PublicId=DB8 DVJR432

LEGEND:

green roof area stair from upper floor

void

upper terrace below

driveway

adjacent residence

solar panel array

outline of carport below

green roof AREA

304.6m²



green roof plan

THERMAL PERFORMANCE NOTES (as in BASIX):

Roof/Ceiling:

Minimum R4.0 insulation (insulation value only) to all areas. The roof is an insulated concrete green roof Light roof colour throughout S.A > 0.3.

External walls:

Cladding Panels with minimum R2.5 insulation (insulation value only). External wall colour modelled as per drawings Dark colour throughout S.A > 0.6.

Internal walls:

Plasterboard on studs to all internal. No insulation

Floor:

T

T

Suspended Concrete Slab 200mm to all other areas. Minimum insulation R value 2.0

(Insulation value only) and other areas exposed to outdoor air. Floor finishes modelled as per drawings polished concrete and tiles to wet areas.

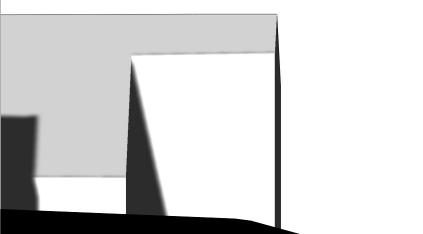
Sealed LED downlights are proposed for all areas; assumed values modelled 50mm penetration. Bathroom, toilets and laundry are to be sealed by 200mm as per default. Kitchen Exhaust Fan is to be sealed by 300mm as per default. Ceiling fans have been modelled in living and bedroom areas.

Windows:

The following Total System requirements must also be satisfied in relation to each window and glazed door: Sliding windows and doors - U-Value of 3.78 and an SHGC of 0.60 Fixed glazing - U-Value of 3.59 and an SHGC of 0.5

Operability varies and has been modelled as per plans and elevations. Default values have been applied based on opening type.

Standard internal door heights have been modelled as an assumption. Internal door width input as per scaled backgrounds.







architect:

Voytek Trzebiatowski NSW 10087

project No: name address

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: scale: title

cross section a-a





Voytek Trzebiatowski NSW 10087 project No: R2 name: Ho address: 33

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

date: August 2022 stage: DA ISSUE

drawing No: scale: title: 009

1:100

cross section b-b



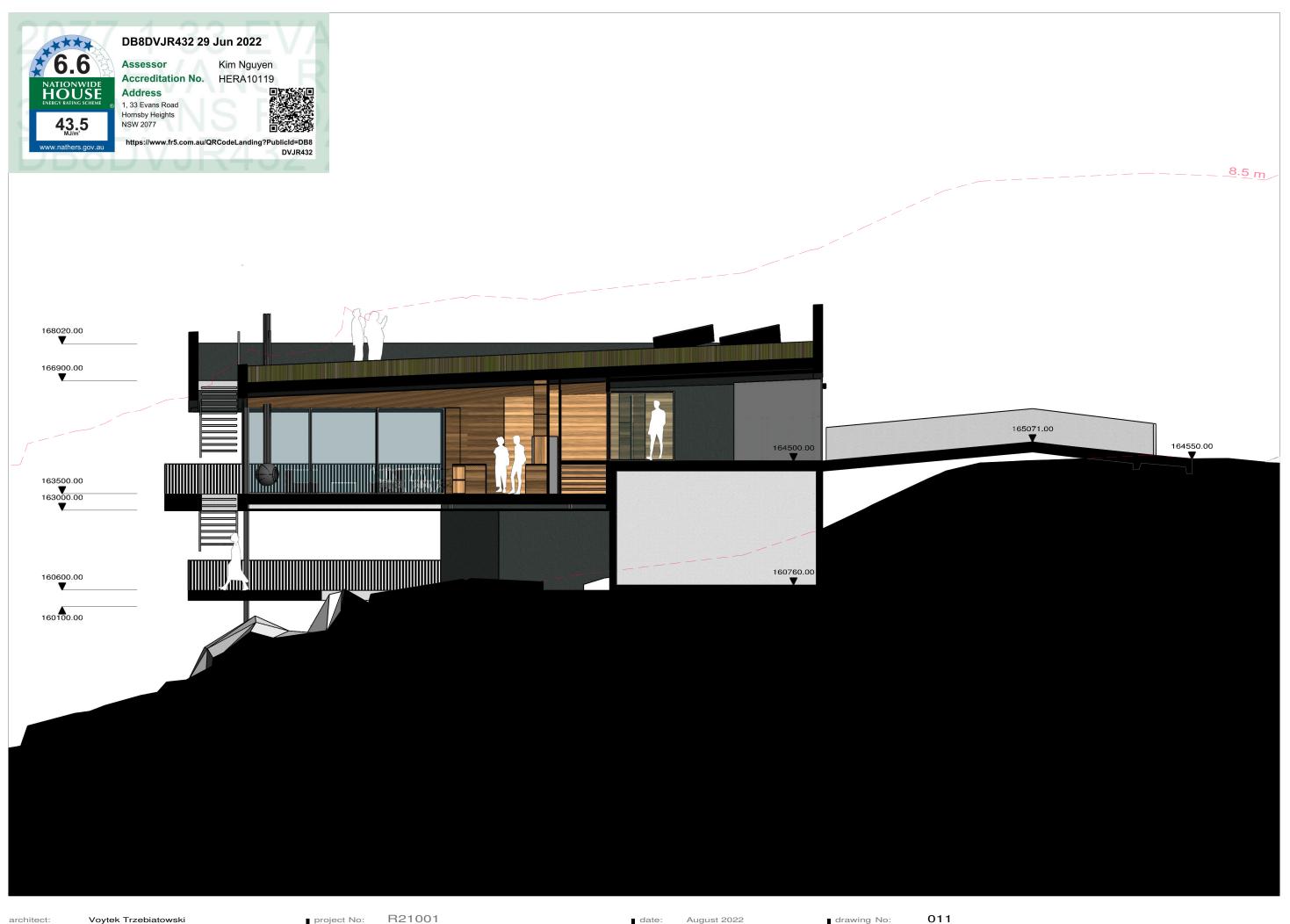
Voytek Trzebiatowski NSW 10087 project No: name: address: R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights date: August 2022 stage: DA ISSUE

drawing No: scale: title: 010

1:100

168635.00 166585.00 -____8.5 m 163500.00 **V** 163000.00 160600.00 160100.00

long section c-c



architect:

project No: name: address:

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: scale: title:

1:100

long section d-d



project No: name: address:

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: scale: title:

1:100

southern elevation



project No: name: address:

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: scale: title:

1:100

western elevation



ct: Voytek Irzeb NSW 10087 project No: name: address:

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights date: August 2022 stage: **DA ISSUE** drawing No: 014 scale: 1:100 title:

eastern elevation





Voytek Trzebiatowski NSW 10087 project No: R2 name: H0 address: 33

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

date: August 2022 stage: DA ISSUE drawing No: 015 scale: 1:100 title:

northern elevation



Voytek Trzebiatowski NSW 10087

project No: name: address:

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: scale: title: nts

street view perspective



Voytek Trzebiatowski NSW 10087 project No: name: address:

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

date: August 2022 stage: DA ISSUE

drawing No: 017 scale: nts title:

south-eastern perspective



NSW 10087

name: address:

Hornsby Heights Residence 33 Evans Road, Hornsby Heights

DA ISSUE stage:

scale: title:

western perspective

finish description:

concrete. smooth off-form, or precast white concrete

concrete floor. light broom finish, anti-slip white concrete

concrete floor. satin polished white concrete

privacy screen / balustrade perforated aluminium monument

timber lining. interior walls and ceiling lining visible through fenestration

metal cladding. pre-insulated metal cladding Askin panels monument

black painted steel / aluminium. night sky

clear glass

natural anodised

aluminium finish.

irrigated turf

location:

entry ramp walls, carport base walls, terrace floor fascia, external stairs, green roof pavers.

entry ramp

all floors and terraces

carport balustrade, carport enclosure, external stair balustrades, north-west privacy screens, south-east privacy screens

most interiors

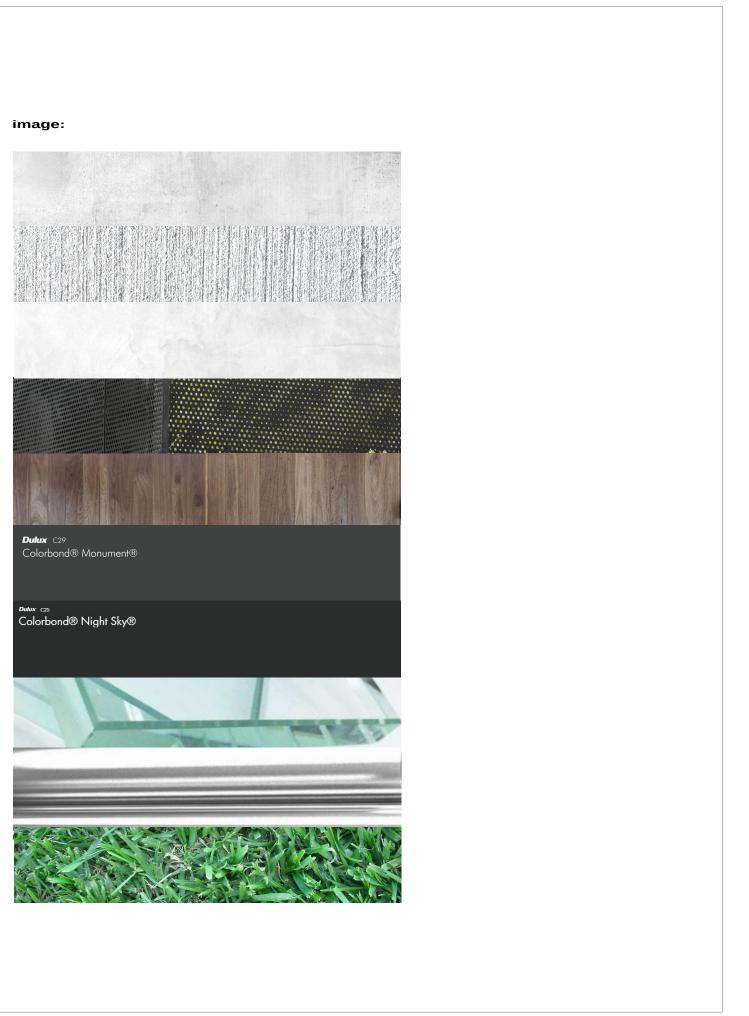
all external walls and soffits, flashings, trimmings and rainwater goods

vertical bar balustrades on both terraces, structural steel columns, fixed window frames

all glazing

external door frames, operable windows

green roof



project No: name: address:

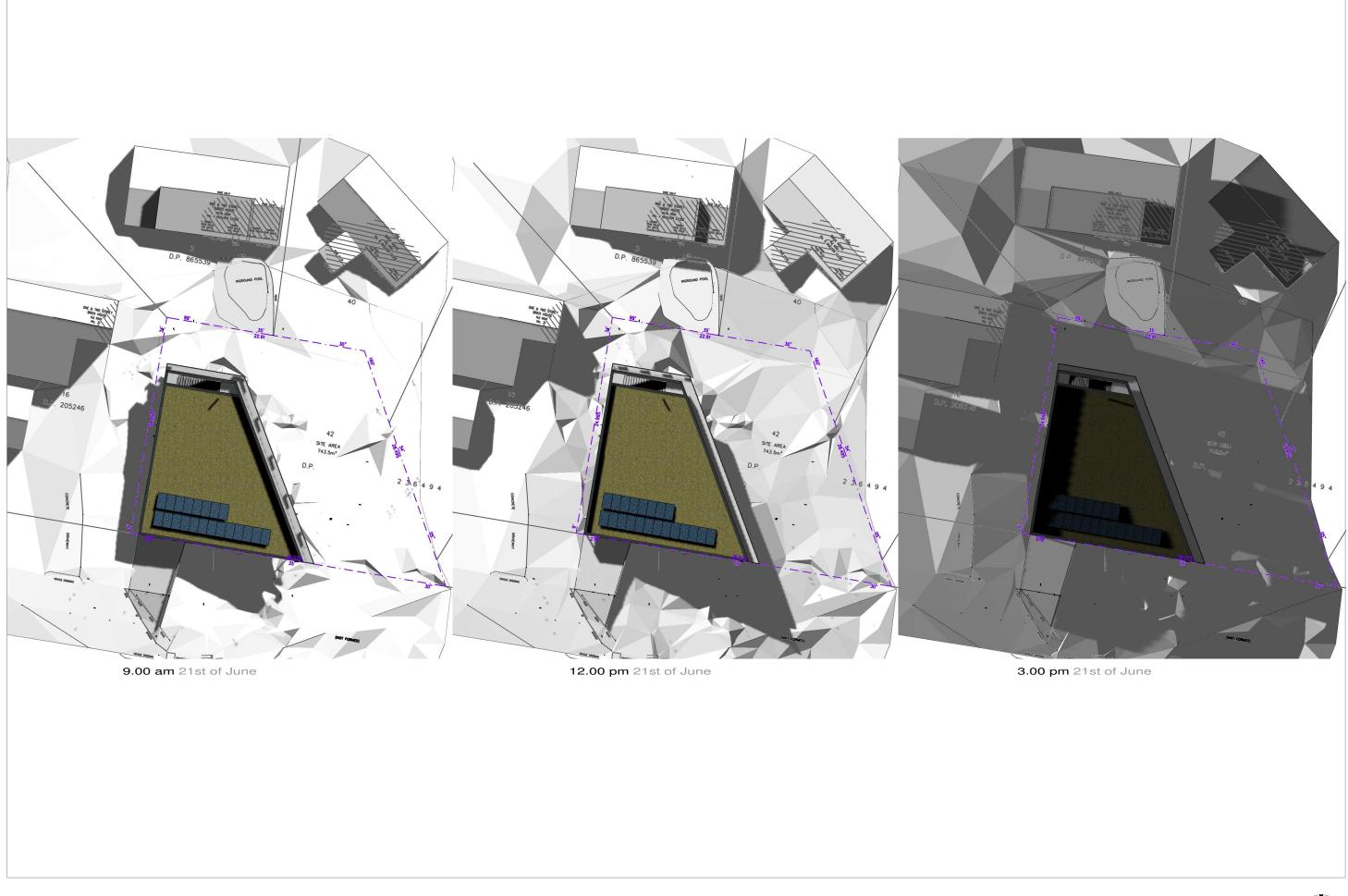
R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

August 2022 date: DA ISSUE stage:

drawing No: scale: title:

019 nts

schedule of finishes



Voytek Trzebiatowski NSW 10087

project No: name: address:

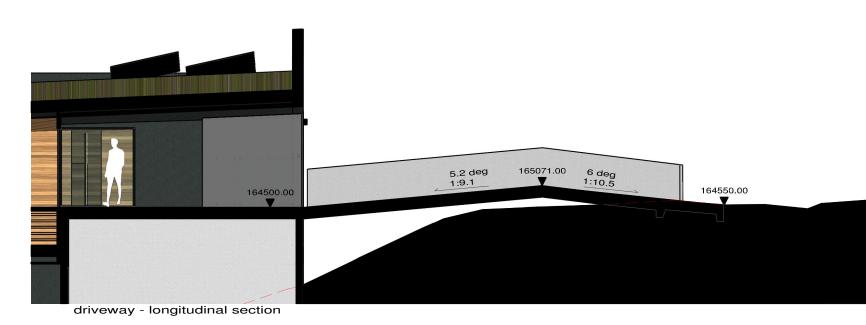
R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

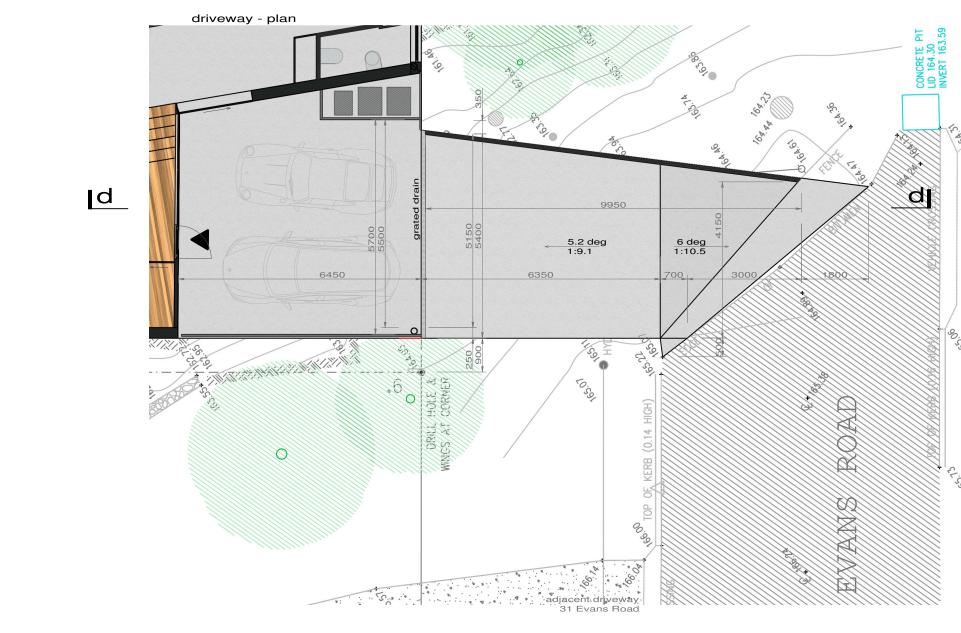
August 2022 date: DA ISSUE stage:

drawing No: scale: title:

020 1:400







Voytek Trzebiatowski NSW 10087 project No: R name: H address: 33

R21001 Hornsby Heights Residence 33 Evans Road, Hornsby Heights

date: August 2022 stage: DA ISSUE drawing No: 021 scale: 1:100 title:



driveway concept 🗲

