

6.6

NATIONWIDE HOUSE

ENERGY RATING SCHEME

43.5

MJ/m²

www.nathers.gov.au

DB8DVJR432 29 Jun 2022

Assessor

Accreditation No.

Address

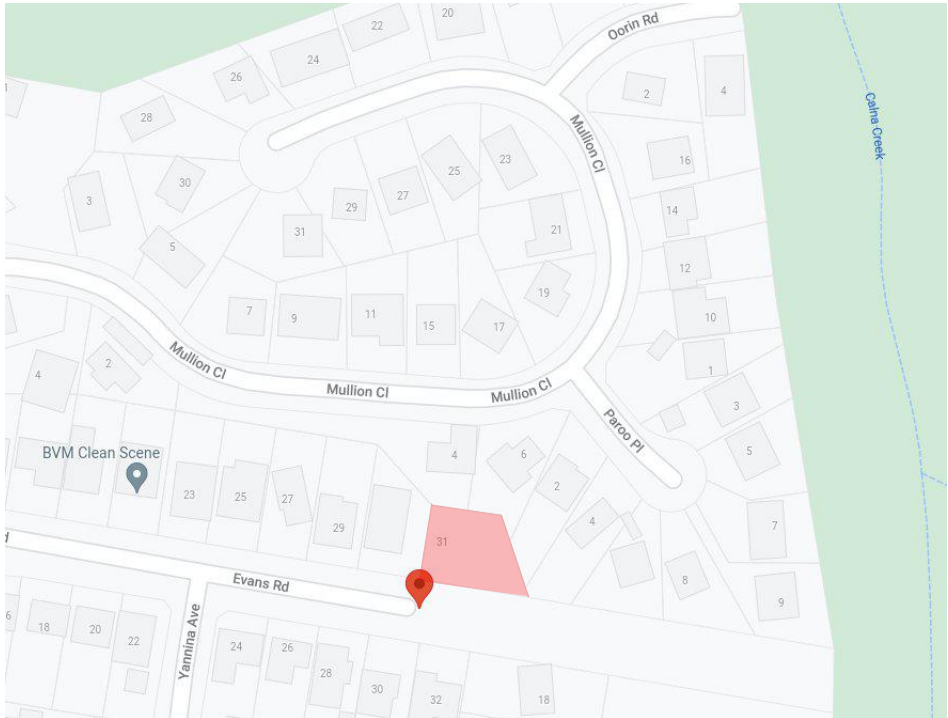
Kim Nguyen

HERA10119

1, 33 Evans Road
Hornsby Heights
NSW 2077



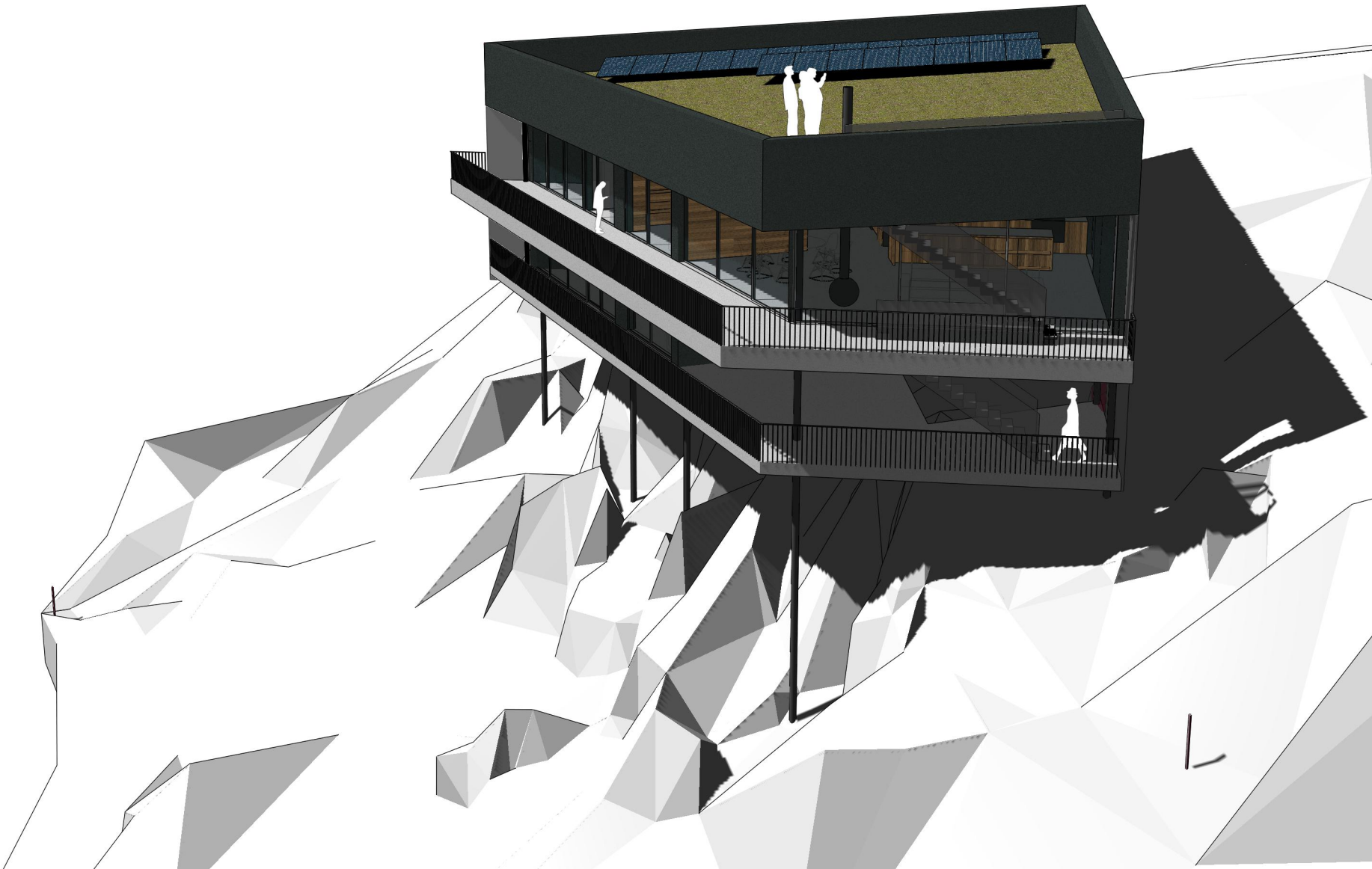
<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>

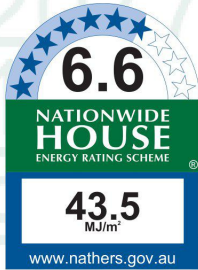


LOCATION PLAN

SCHEDULE OF DRAWINGS:

DA-000	cover page	nts
DA-001	site / landscape plan	1:200
DA-002	site demolition plan	1:200
DA-003	site protection plan	1:200
DA-004	stormwater concept plan	1:200
DA-005	upper floor plan	1:100
DA-006	lower floor plan	1:100
DA-007	green roof plan	1:100
DA-008	cross section a-a	1:100
DA-009	cross section b-b	1:100
DA-010	long section c-c	1:100
DA-011	long section d-d	1:100
DA-012	southern elevation	1:100
DA-013	western elevation	1:100
DA-014	eastern elevation	1:100
DA-015	northern elevation	1:100
DA-016	street view perspective	nts
DA-017	south-eastern perspective	nts
DA-018	western perspective	nts
DA-019	schedule of finishes	nts
DA-020	shadow diagrams	1:400
DA-021	driveway concept	1:100



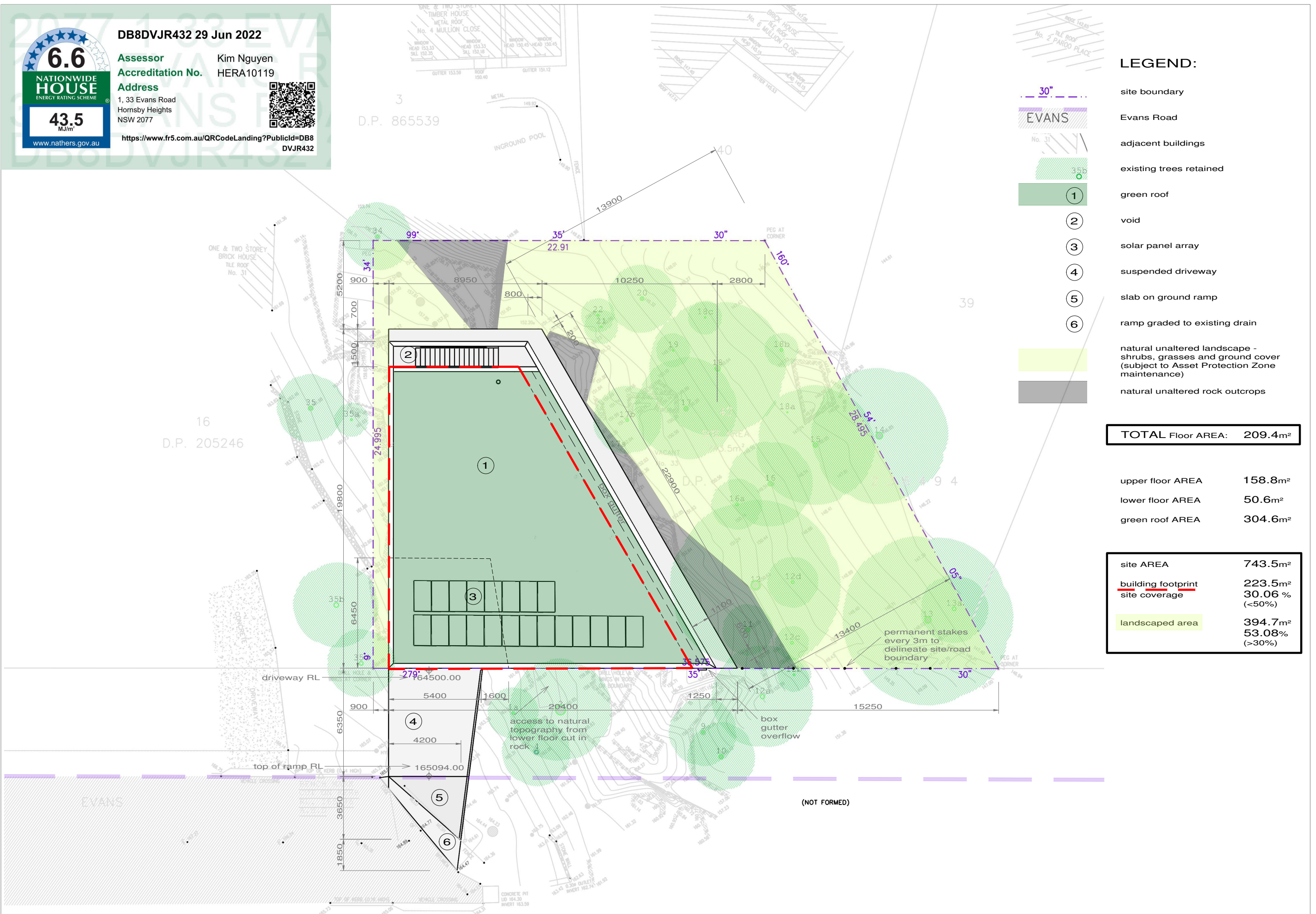


DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119
Address 1, 33 Evans Road
Hornsby Heights
NSW 2077



<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>



LEGEND:

- 30" site boundary
- EVANS Evans Road
- adjacent buildings
- existing trees retained
- 1 green roof
- 2 void
- 3 solar panel array
- 4 suspended driveway
- 5 slab on ground ramp
- 6 ramp graded to existing drain
- natural unaltered landscape - shrubs, grasses and ground cover (subject to Asset Protection Zone maintenance)
- natural unaltered rock outcrops

TOTAL Floor AREA: 209.4m²

upper floor AREA 158.8m²
lower floor AREA 50.6m²
green roof AREA 304.6m²

site AREA 743.5m²
building footprint 223.5m²
site coverage 30.06 % (<50%)
landscaped area 394.7m² 53.08% (>30%)

architect: Voytek Trzebiatowski
NSW 10087

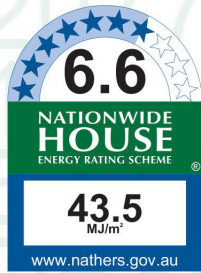
project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

date: August 2022
stage: DA ISSUE

drawing No: 001
scale: 1:200
title:

site/landscape plan





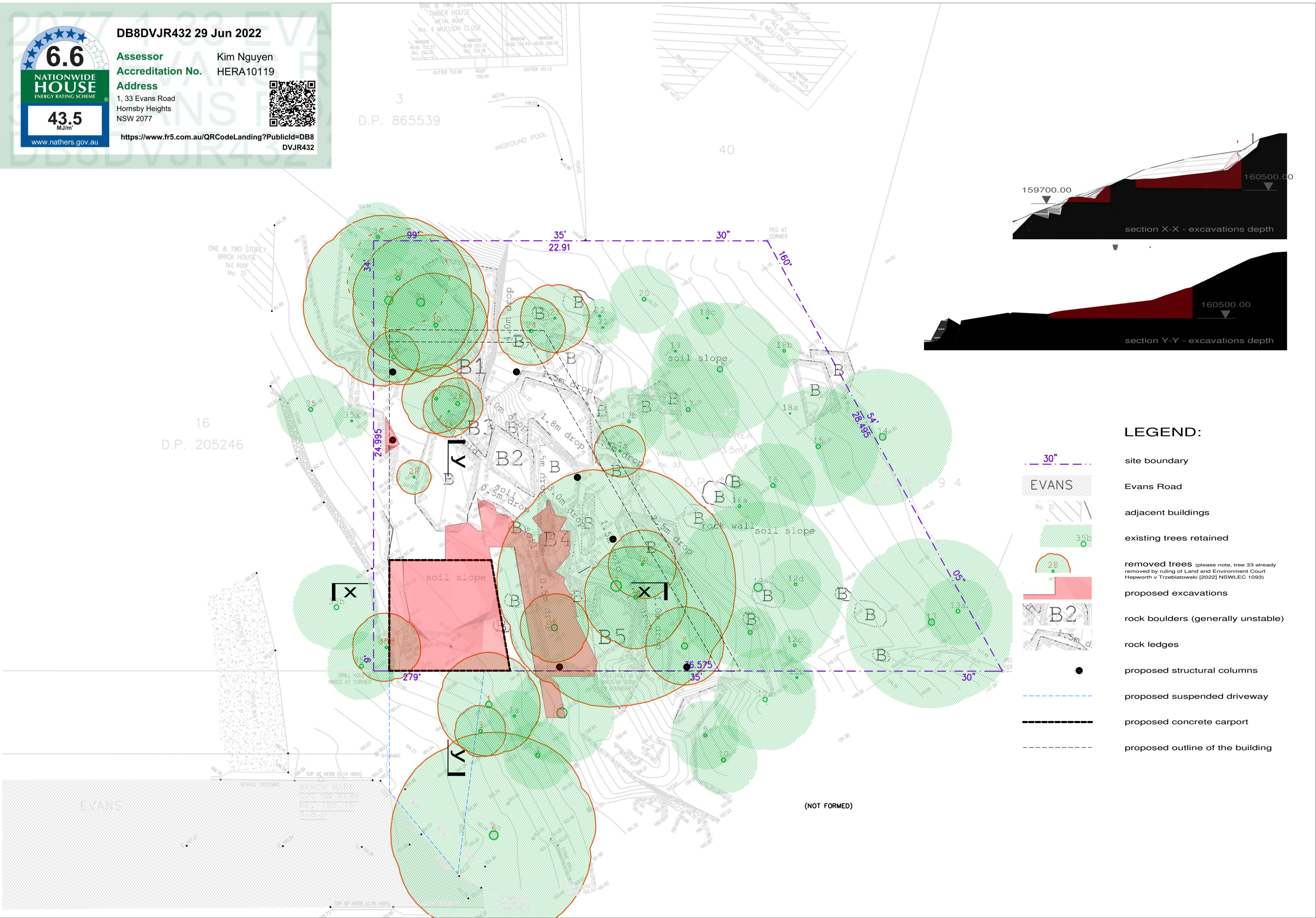
DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119

Address
1, 33 Evans Road
Hornsby Heights
NSW 2077



<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>



LEGEND:

- 30" site boundary
- EVANS Evans Road
- adjacent buildings
- existing trees retained
- removed trees (please note, tree 33 already removed by ruling of Land and Environment Court Hepworth v Trzebiatowski [2022] NSWLEC 1093)
- proposed excavations
- rock boulders (generally unstable)
- rock ledges
- proposed structural columns
- proposed suspended driveway
- proposed concrete carport
- proposed outline of the building

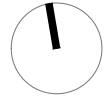
architect: Voytek Trzebiatowski
NSW 10087

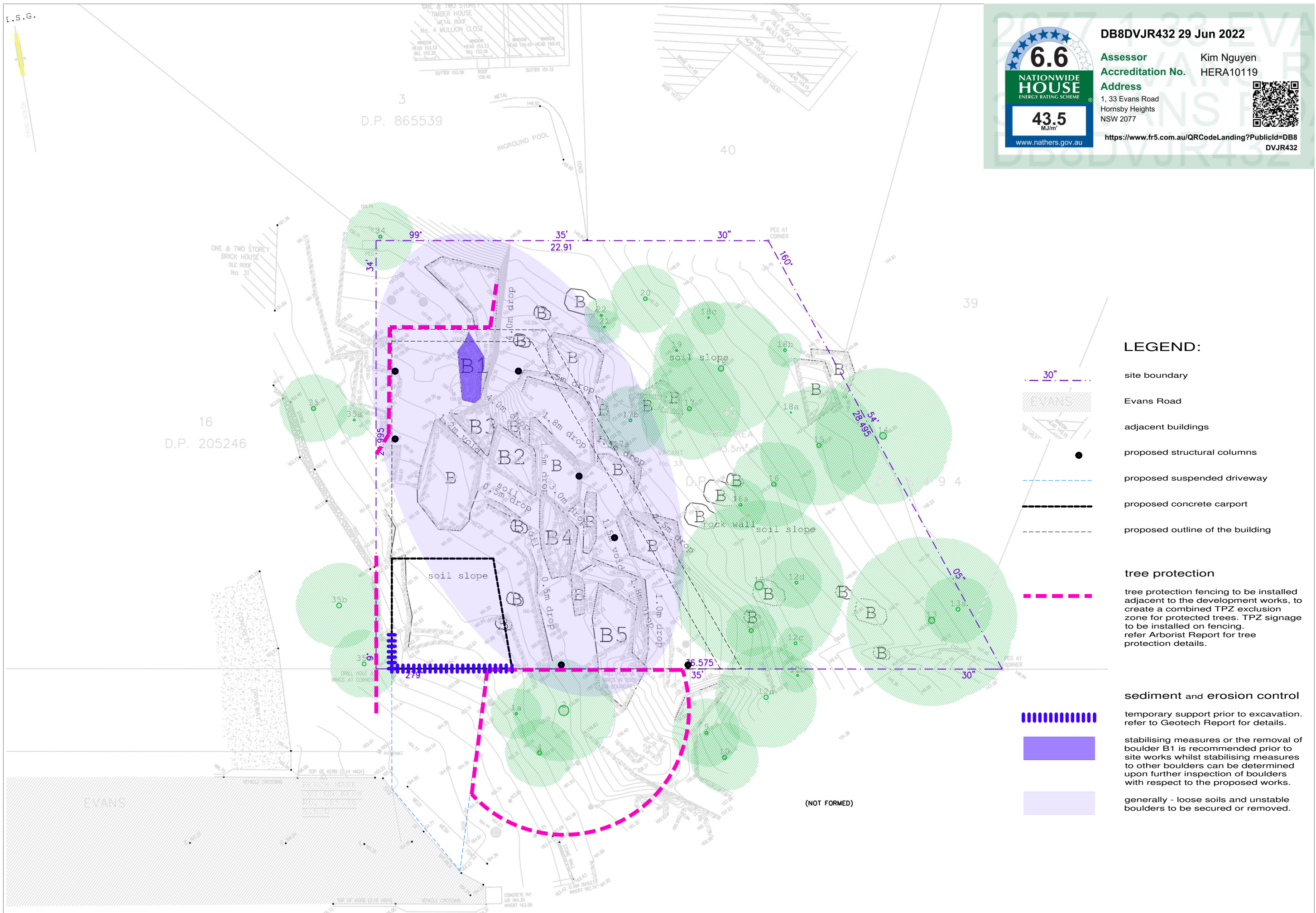
project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

date: August 2022
stage: DA ISSUE

drawing No: 002
scale: 1:200
title:

site demolition plan





architect: Voytek Trzebiatowski
NSW 10087

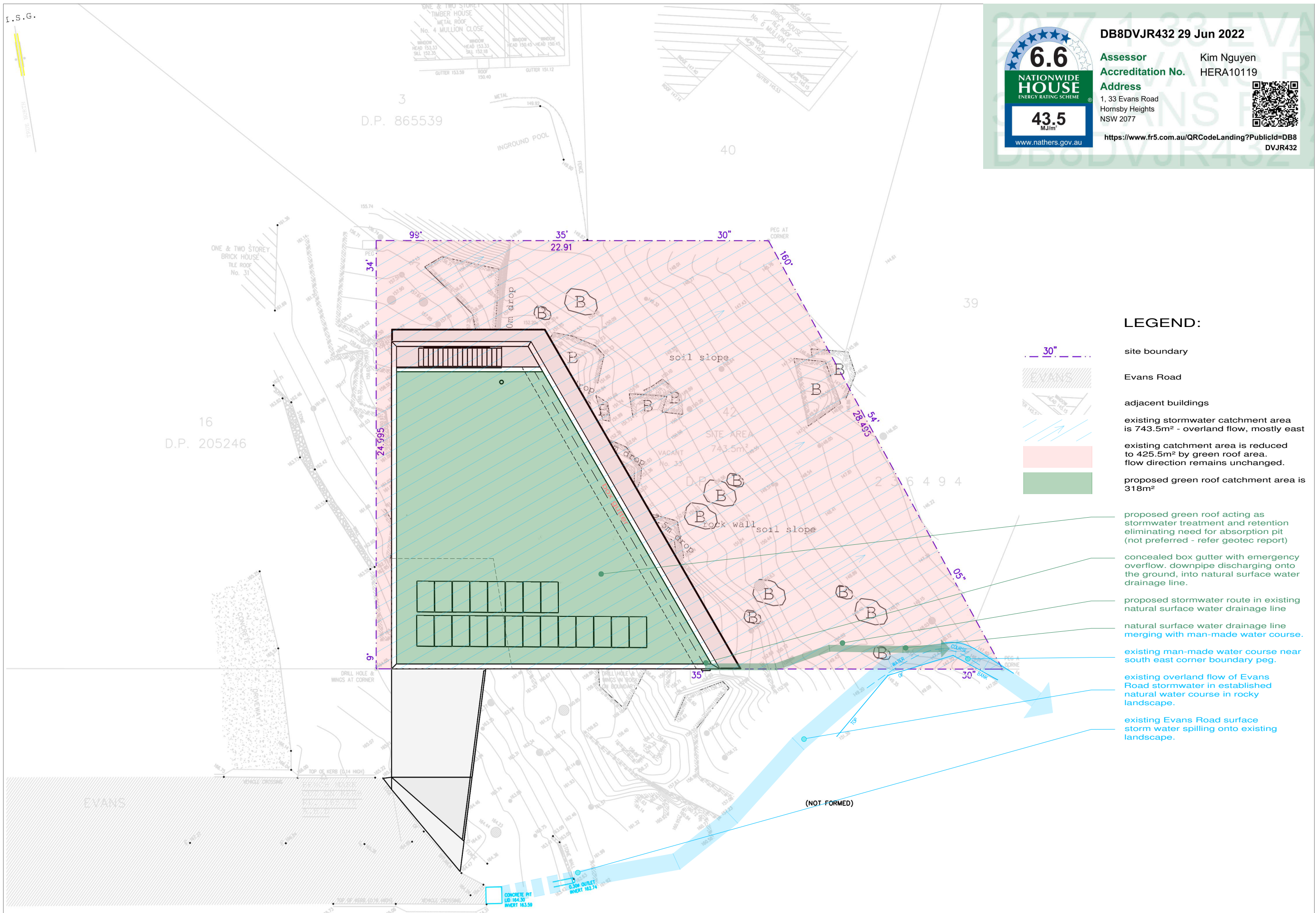
project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

date: August 2022
stage: DA ISSUE

drawing No: 003
scale: 1:200
title:

site protection plan



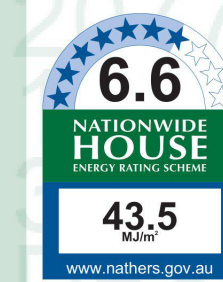
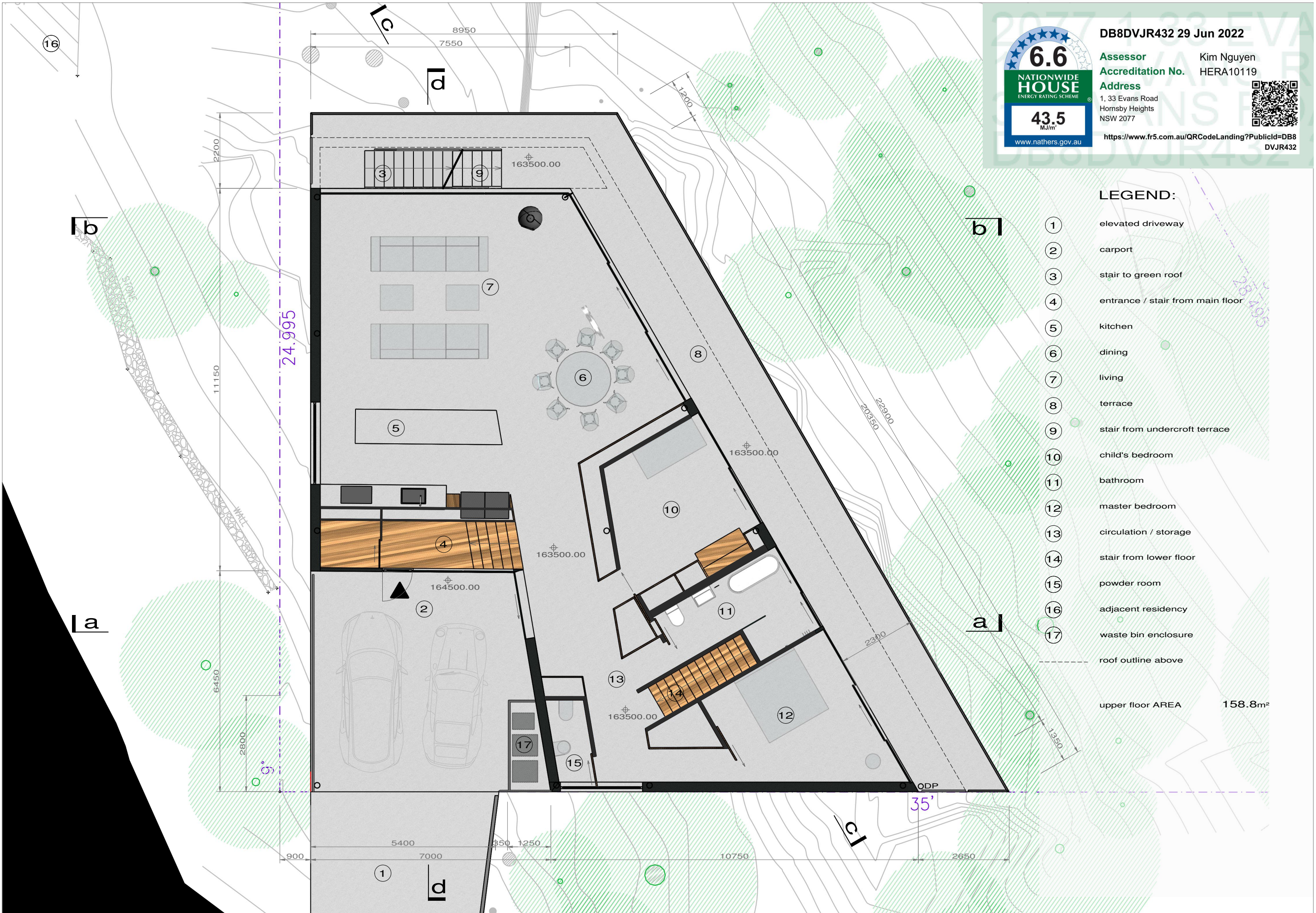


6.6
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
43.5
MJ/m²
www.nathers.gov.au

DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119
Address 1, 33 Evans Road
Hornsby Heights
NSW 2077
<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>

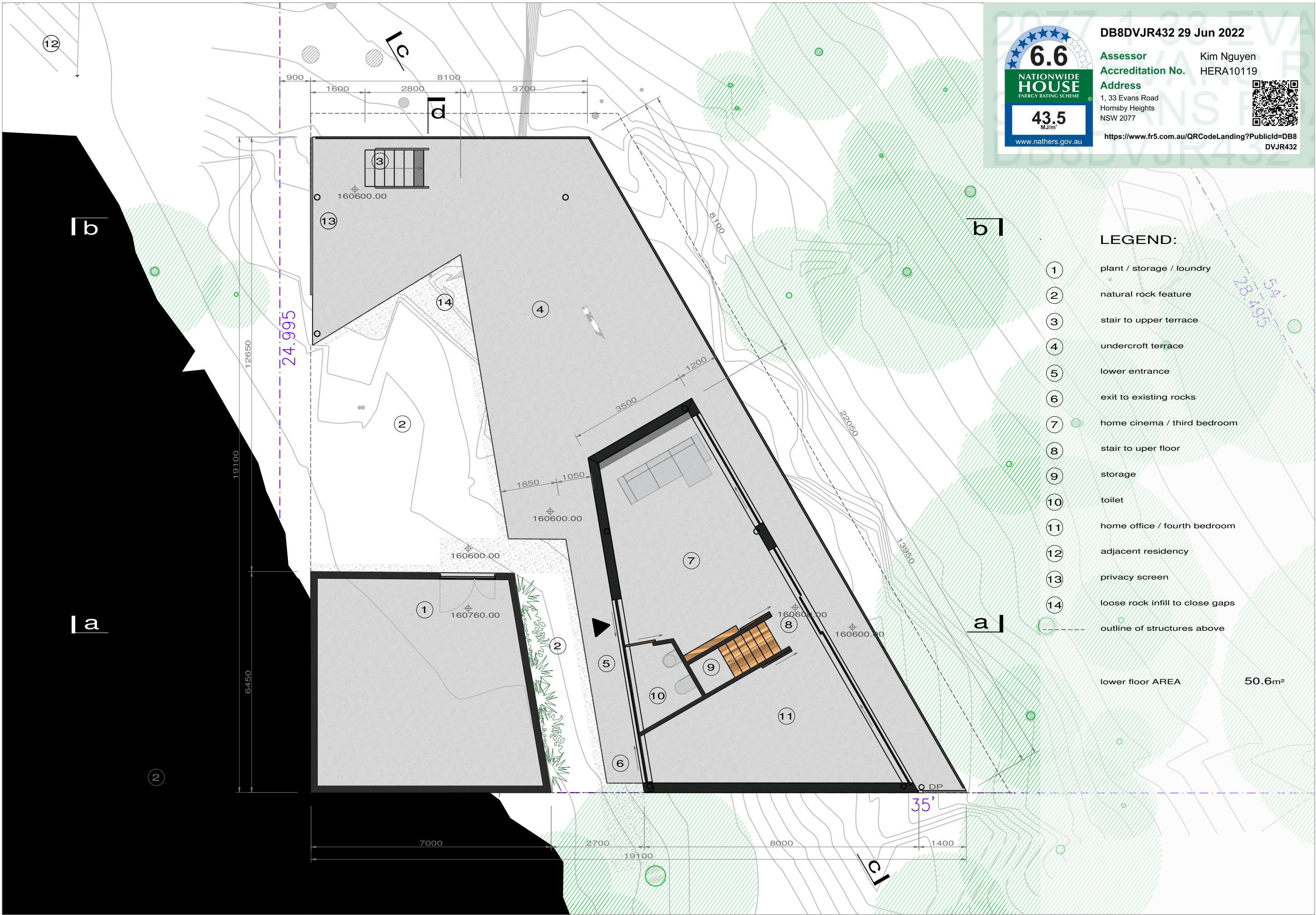




DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119
Address 1, 33 Evans Road
Hornsby Heights
NSW 2077
<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>

- LEGEND:
- 1 elevated driveway
 - 2 carport
 - 3 stair to green roof
 - 4 entrance / stair from main floor
 - 5 kitchen
 - 6 dining
 - 7 living
 - 8 terrace
 - 9 stair from undercroft terrace
 - 10 child's bedroom
 - 11 bathroom
 - 12 master bedroom
 - 13 circulation / storage
 - 14 stair from lower floor
 - 15 powder room
 - 16 adjacent residency
 - 17 waste bin enclosure
 - roof outline above
 - upper floor AREA 158.8m²



architect: Voytek Trzebiatowski
NSW 10087

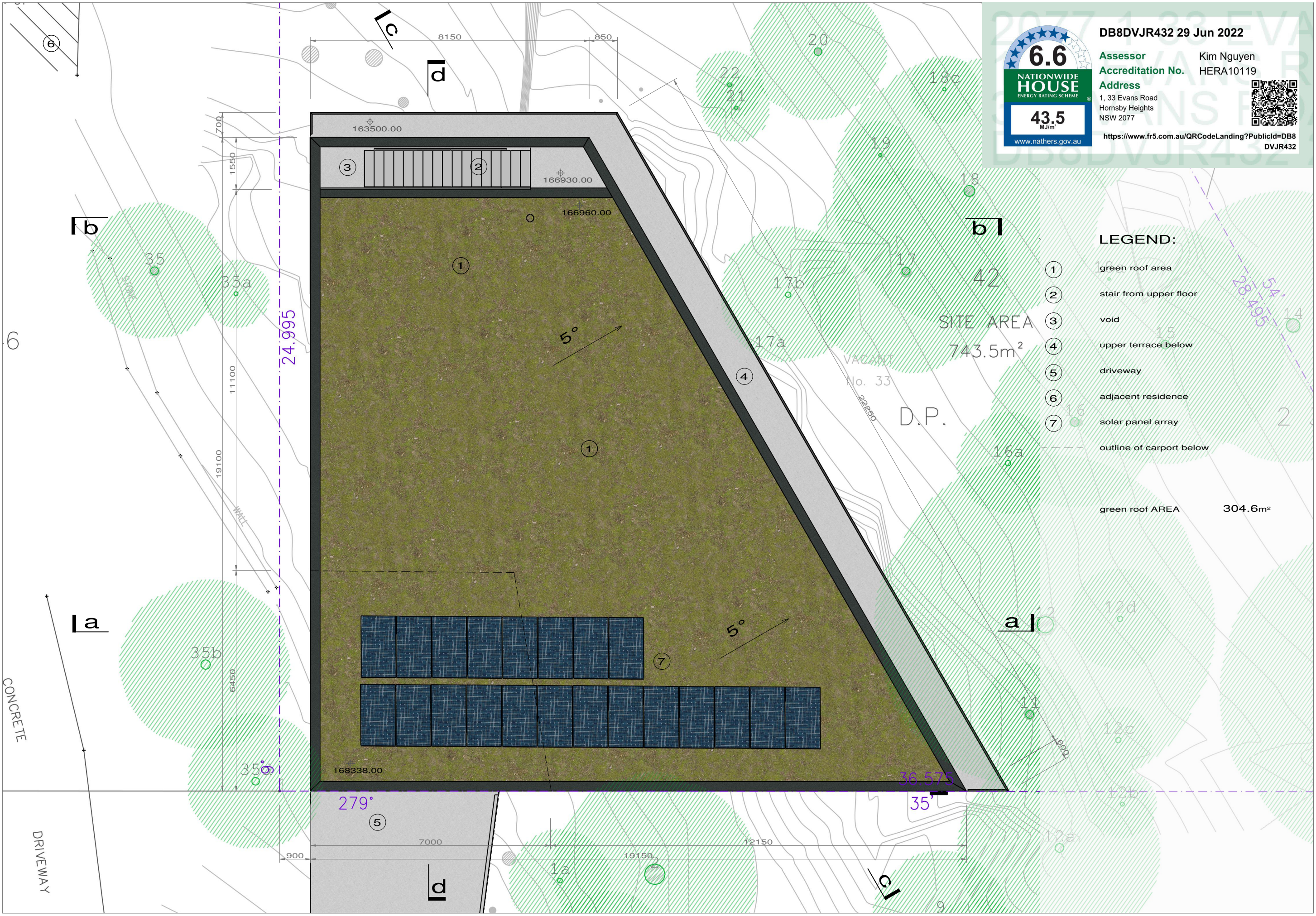
project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

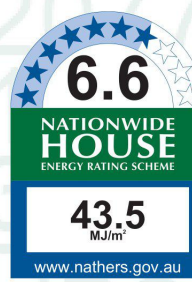
date: August 2022
stage: DA ISSUE

drawing No: 006
scale: 1:100
title:

lower floor plan








DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119
Address 1, 33 Evans Road
Hornsby Heights
NSW 2077
<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>



THERMAL PERFORMANCE NOTES (as in BASIX):

Roof/Ceiling:
 Minimum R4.0 insulation (insulation value only) to all areas. The roof is an insulated concrete green roof
 Light roof colour throughout S.A > 0.3.

External walls:
 Cladding Panels with minimum R2.5 insulation (insulation value only).
 External wall colour modelled as per drawings Dark colour throughout S.A > 0.6.

Internal walls:
 Plasterboard on studs to all internal. No insulation

Floor:
 Suspended Concrete Slab 200mm to all other areas. Minimum insulation R value 2.0 (Insulation value only) and other areas exposed to outdoor air. Floor finishes modelled as per drawings polished concrete and tiles to wet areas.

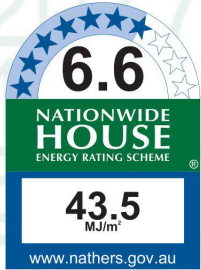
Sealed LED downlights are proposed for all areas; assumed values modelled 50mm penetration.
 Bathroom, toilets and laundry are to be sealed by 200mm as per default. Kitchen Exhaust Fan is to be sealed by 300mm as per default.
 Ceiling fans have been modelled in living and bedroom areas.

Windows:
 The following Total System requirements must also be satisfied in relation to each window and glazed door:
 Sliding windows and doors - U-Value of 3.78 and an SHGC of 0.60
 Fixed glazing - U-Value of 3.59 and an SHGC of 0.5

Operability varies and has been modelled as per plans and elevations. Default values have been applied based on opening type.

Standard internal door heights have been modelled as an assumption. Internal door width input as per scaled backgrounds.



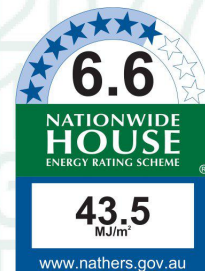


DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119
Address 1, 33 Evans Road
Hornsby Heights
NSW 2077

<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>





DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119

Address
1, 33 Evans Road
Hornsby Heights
NSW 2077



<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>



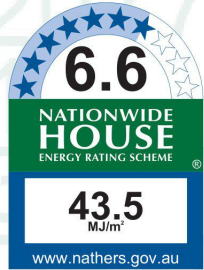
architect: Voytek Trzebiatowski
NSW 10087

project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

date: August 2022
stage: DA ISSUE

drawing No: 010
scale: 1:100
title:

long section c-c



DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119

Address
1, 33 Evans Road
Hornsby Heights
NSW 2077

<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>



architect: Voytek Trzebiatowski
NSW 10087

project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

date: August 2022
stage: DA ISSUE

drawing No: 011
scale: 1:100
title:

long section d-d

6.6

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

43.5

MJ/m²

www.nathers.gov.au

DB8DVJR432 29 Jun 2022

Assessor


Kim Nguyen

Accreditation No.

HERA10119

Address

1, 33 Evans Road
Hornsby Heights
NSW 2077



https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432

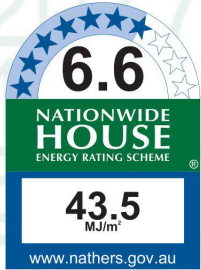
architect: Voytek Trzebiatowski
NSW 10087

project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

date: August 2022
stage: DA ISSUE

drawing No: 012
scale: 1:100
title:

southern elevation



DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119

Address
1, 33 Evans Road
Hornsby Heights
NSW 2077

<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>



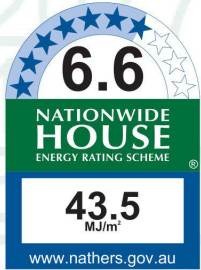
architect: Voytek Trzebiatowski
NSW 10087

project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

date: August 2022
stage: DA ISSUE

drawing No: 013
scale: 1:100
title:

western elevation



DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119

Address
1, 33 Evans Road
Hornsby Heights
NSW 2077

<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>



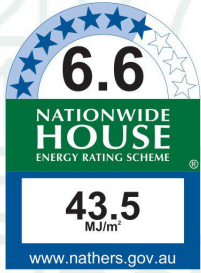
architect: Voytek Trzebiatowski
NSW 10087

project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

date: August 2022
stage: DA ISSUE

drawing No: 014
scale: 1:100
title:

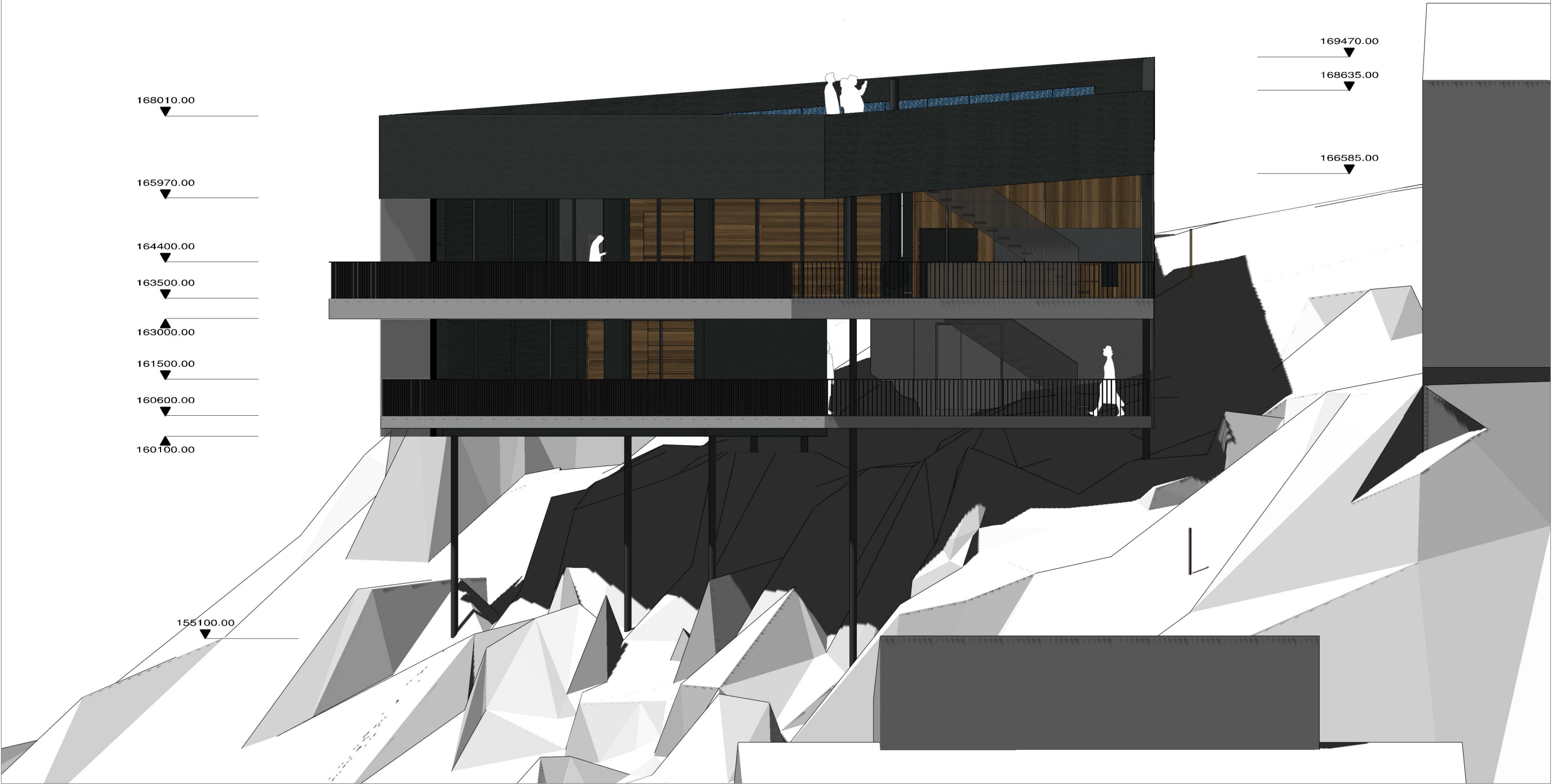
eastern elevation



DB8DVJR432 29 Jun 2022

Assessor Kim Nguyen
Accreditation No. HERA10119
Address 1, 33 Evans Road
Hornsby Heights
NSW 2077

<https://www.fr5.com.au/QRCodeLanding?PublicId=DB8DVJR432>



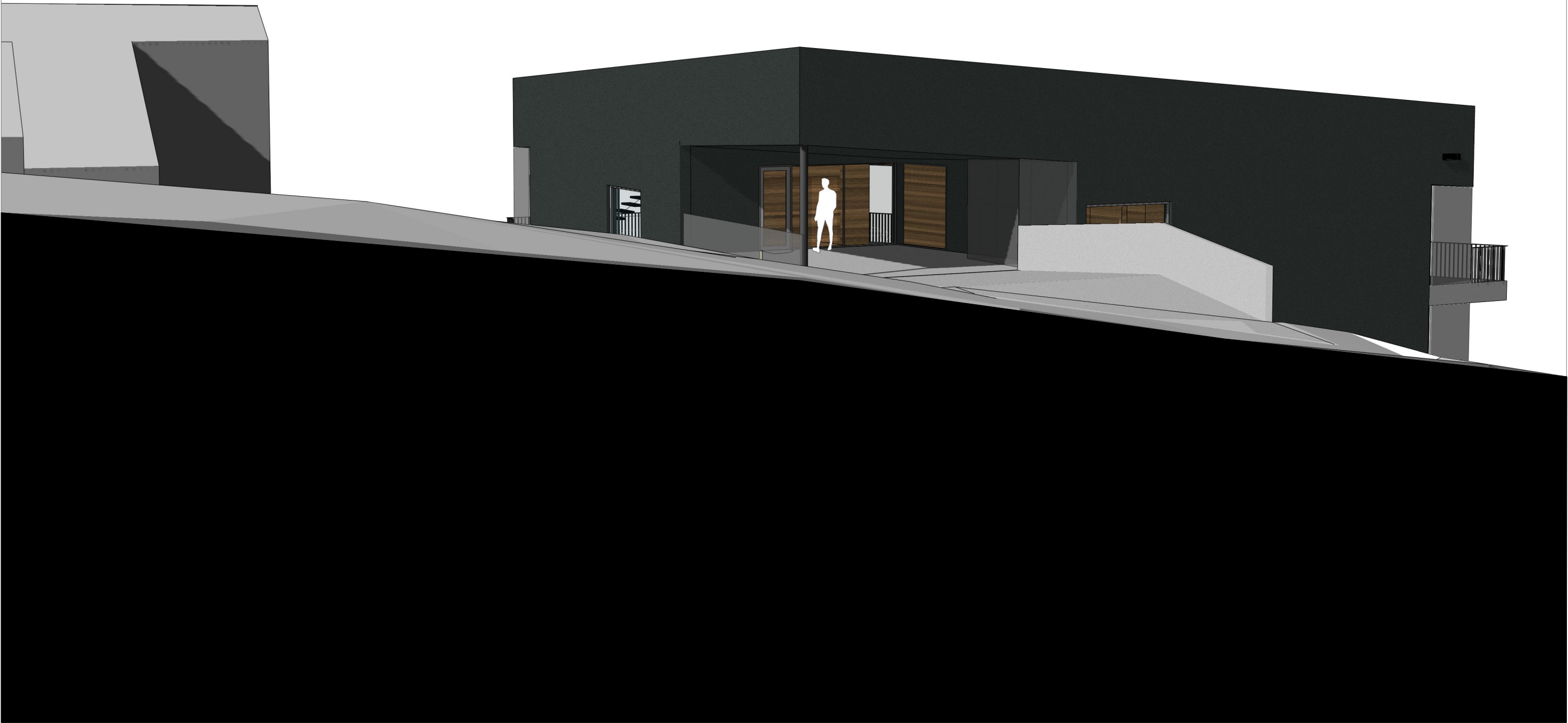
architect: Voytek Trzebiatowski
NSW 10087

project No: R21001
name: Hornsby Heights Residence
address: 33 Evans Road, Hornsby Heights

date: August 2022
stage: DA ISSUE

drawing No: 015
scale: 1:100
title:

northern elevation







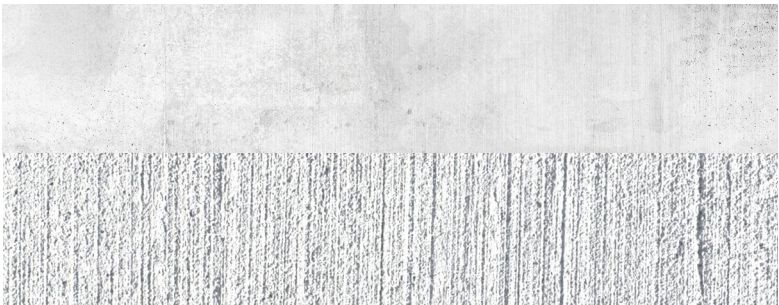
finish description:

location:

image:

concrete.
smooth off-form, or precast
white concrete

entry ramp walls, carport base walls,
terrace floor fascia, external stairs,
green roof pavers.



concrete floor.
light broom finish, anti-slip
white concrete

entry ramp

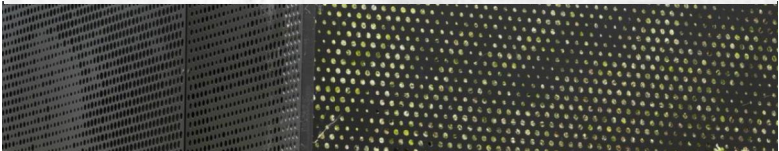
concrete floor.
satin polished
white concrete

all floors and terraces



privacy screen / balustrade
perforated aluminium
m o n u m e n t

carport balustrade,
carport enclosure,
external stair balustrades,
north-west privacy screens,
south-east privacy screens



timber lining.
interior walls and ceiling lining
visible through fenestration

most interiors



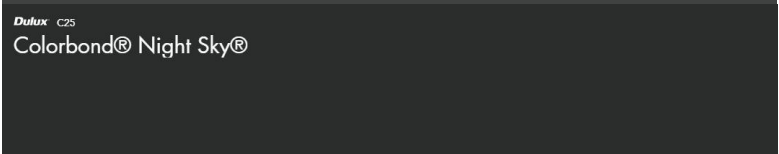
metal cladding.
pre-insulated metal cladding
Askin panels
m o n u m e n t

all external walls and soffits,
flashings, trimmings
and rainwater goods



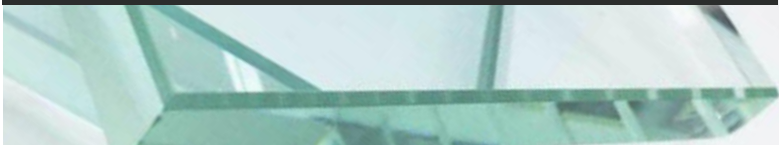
black painted steel / aluminium.
n i g h t s k y

vertical bar balustrades on both
terraces, structural steel columns,
fixed window frames



clear glass

all glazing



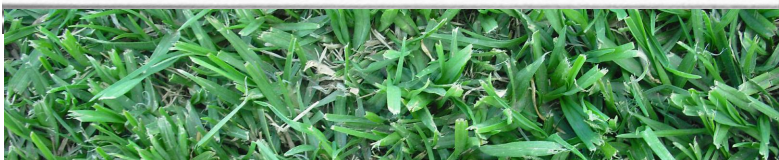
natural anodised
aluminium finish.

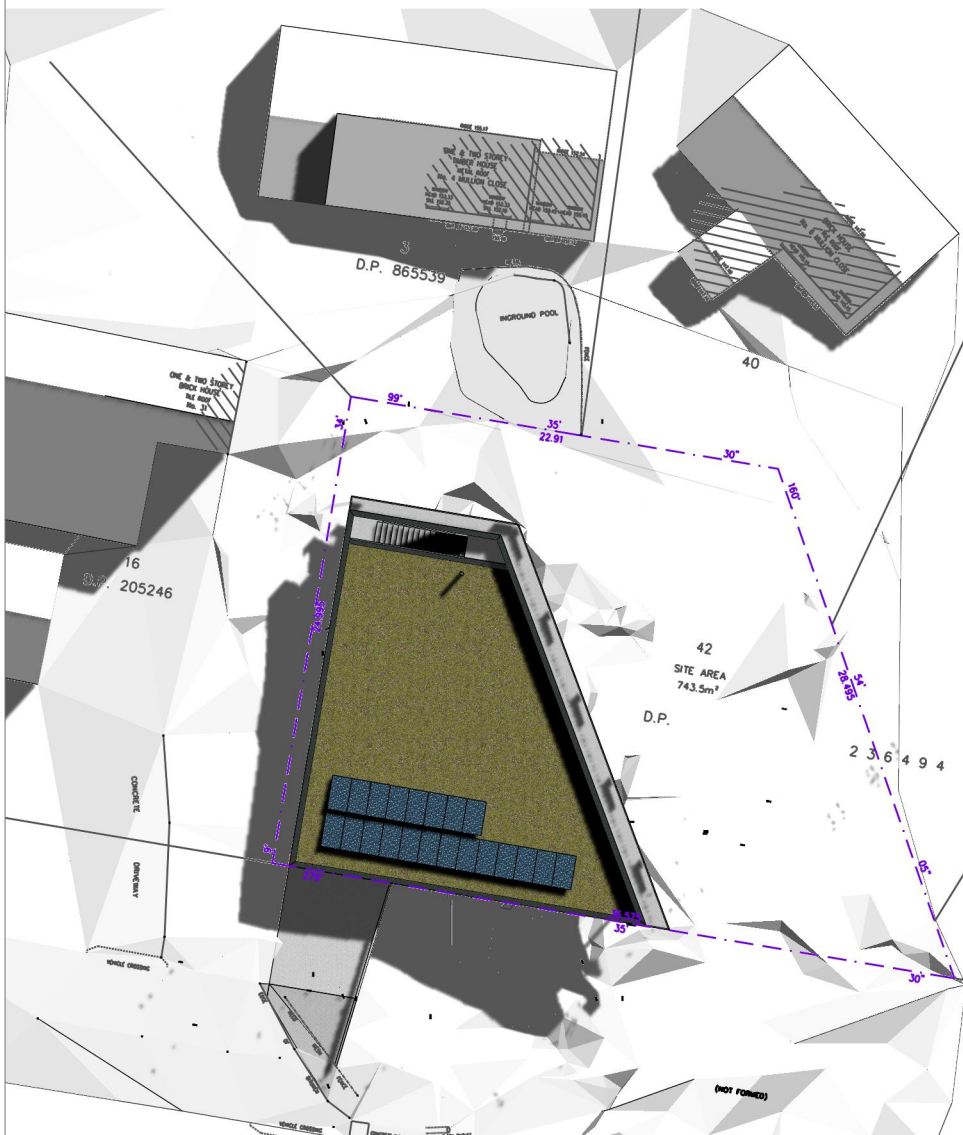
external door frames,
operable windows



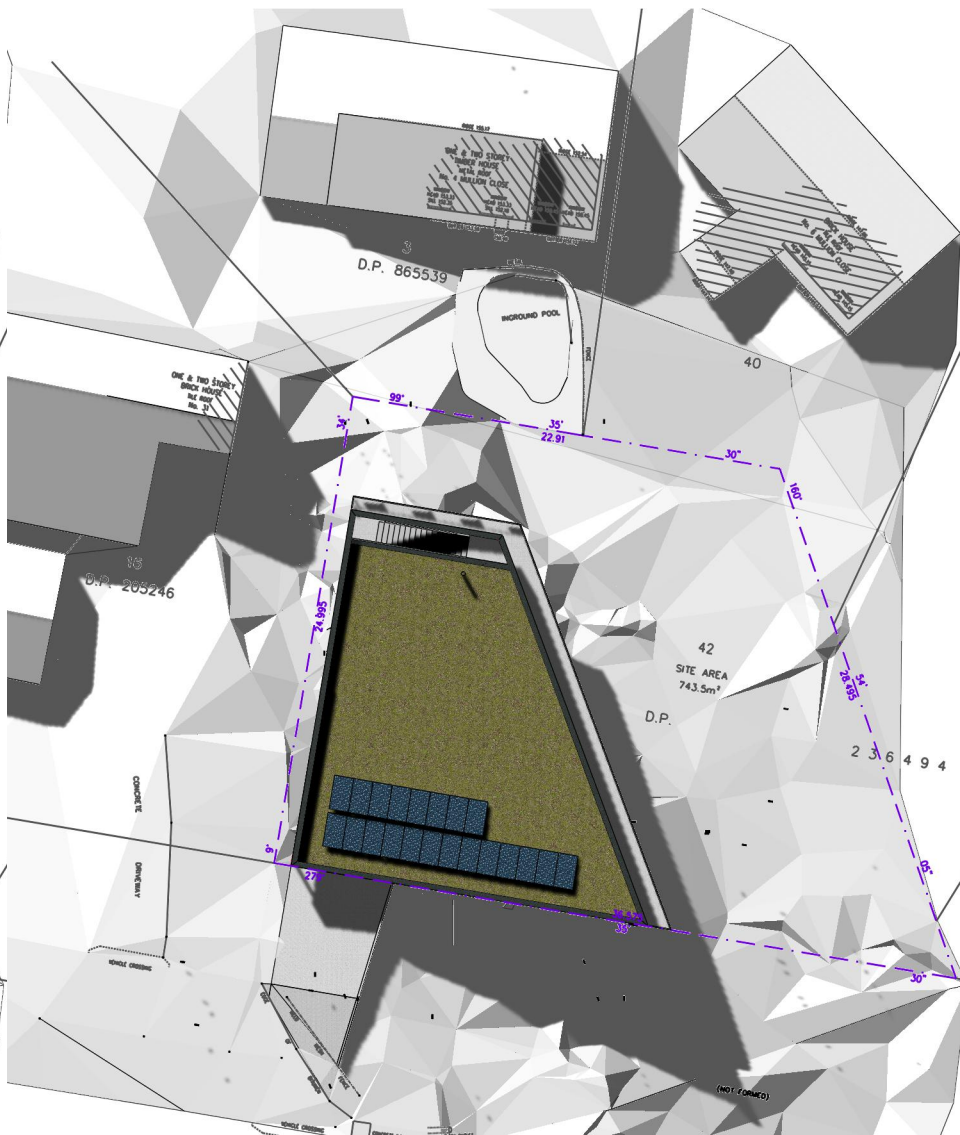
irrigated turf

green roof

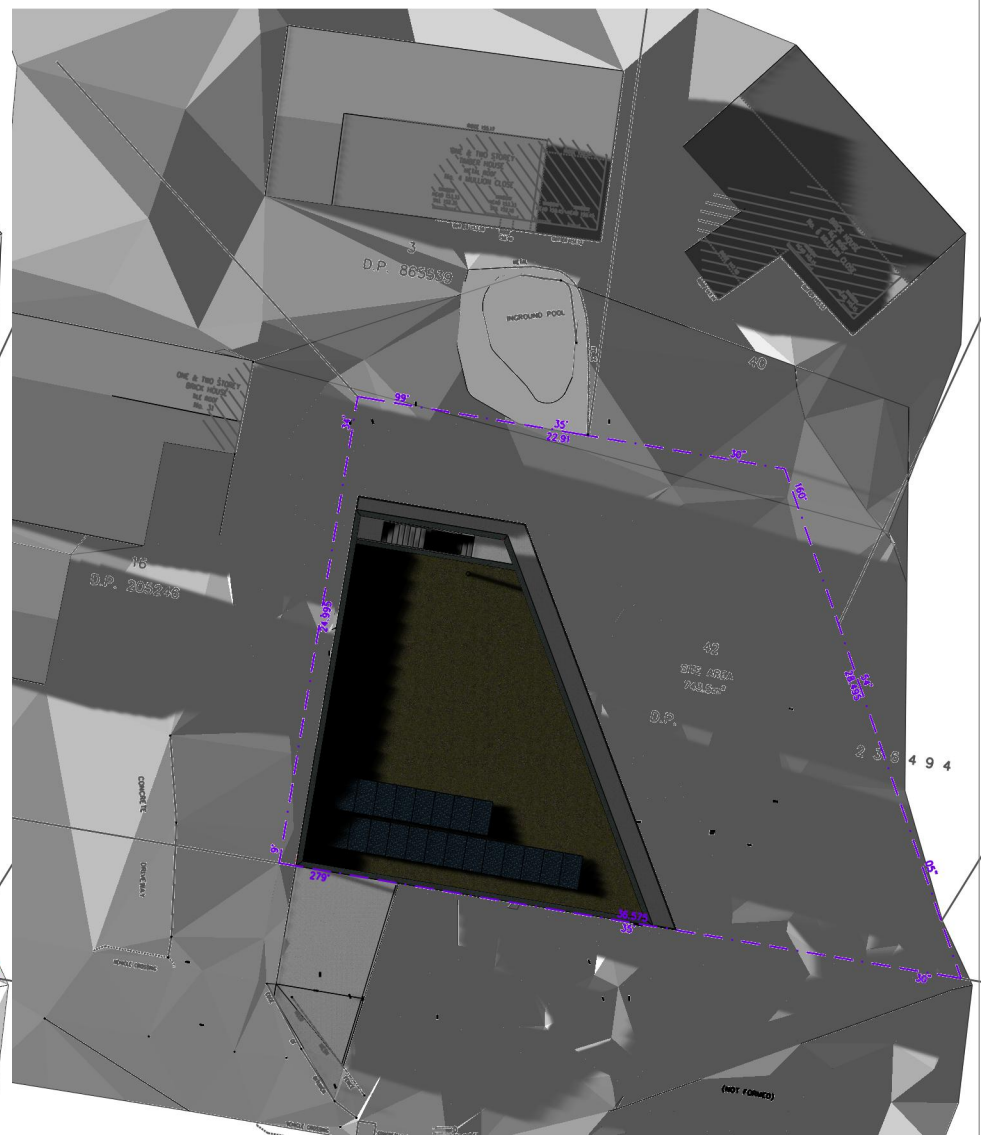




9.00 am 21st of June



12.00 pm 21st of June



3.00 pm 21st of June

architect:
Voytek Trzebiatowski
NSW 10087

project No:
name:
address:

R21001
Hornsby Heights Residence
33 Evans Road, Hornsby Heights

date:
stage:

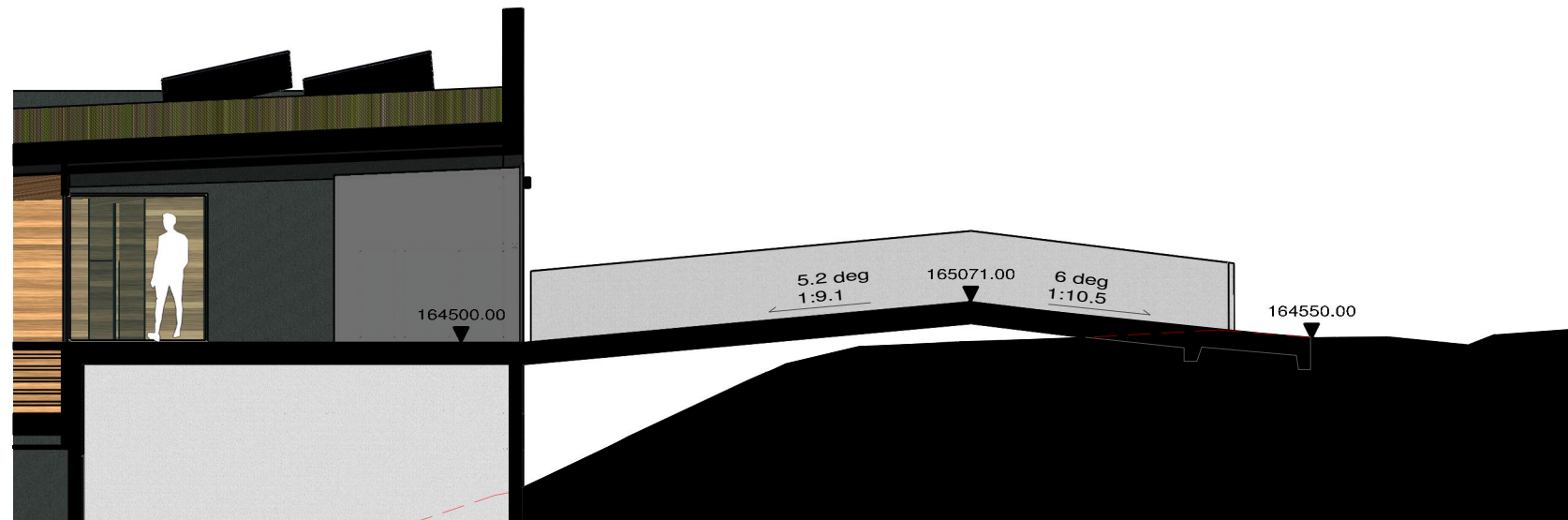
August 2022
DA ISSUE

drawing No:
scale:
title:

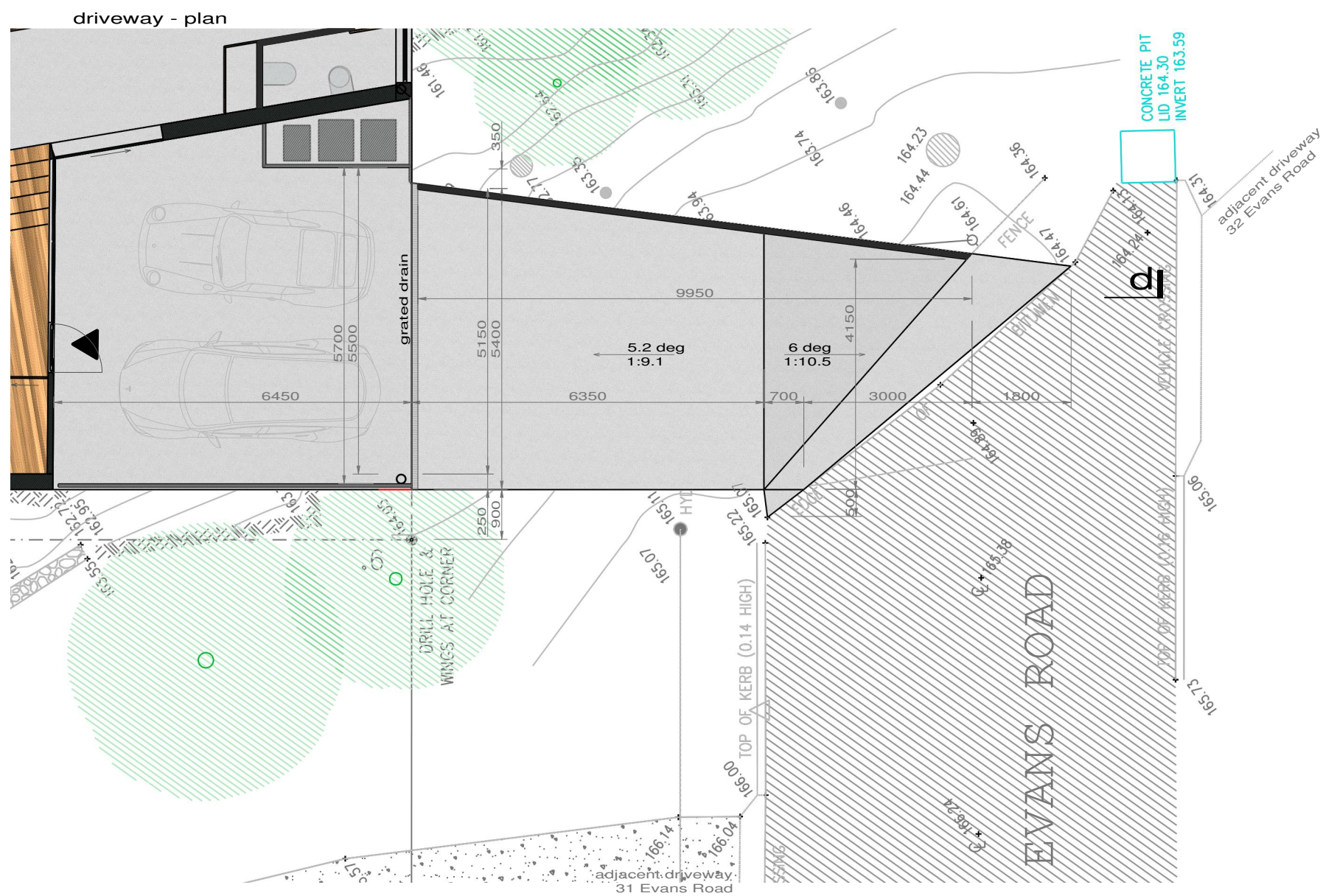
020
1:400

shadow diagrams





driveway - longitudinal section



driveway - plan

