



ATTACHMENTS

GENERAL MEETING

Wednesday 12 February 2025
at 6:30 PM



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OFFICE OF THE GENERAL MANAGER

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REPORT NO. GM3/25

ITEM 1

- 1. DECEMBER 2024 QUARTERLY BUDGET REVIEW
STATEMENT**
- 2. REVISED CAPITAL PROGRAM**
- 3. DECEMBER 2024 PERFORMANCE REPORT**

HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

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ATTACHMENT 1 - ITEM 1

HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

Report by Responsible Accounting Officer

The following statement is made in accordance with Clause 203(2) of the Local Government (General) Regulations 2005:

It is my opinion that the Quarterly Budget Review Statement for HORNSBY SHIRE COUNCIL for the quarter ended 31/12/24 indicates that Council's financial position at 30/6/25 will be Satisfactory at year end, having regard to the projected estimates of income and expenditure and the original budgeted income and expenditure.

Signed:



Duncan Chell
Responsible Accounting Officer

date: 28/01/2025

HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

Budget review for the quarter ended 31 December 2024
Income & Expenses - All Principal Activities

	Original Budget 2024/25	Approved Changes				Revised Budget 2024/25	Bud Change Request for Dec Qtr	Projected Year End Result	Actual YTD figures
		Total QBRs Contra Changes	Sep QBRs	Dec QBRs	Mar QBRs				
Income									
Rates & Annual Charges	-125,128,955	0	0	0	0	-125,128,955	5,666	-125,123,289	-125,832,533
User Charges & Fees	-14,957,707	0	-430	0	0	-14,958,137	0	-14,958,137	-8,853,167
Interest	-10,271,333	0	0	0	0	-10,271,333	0	-10,271,333	-7,123,797
Other Revenues	-3,962,866	0	0	0	0	-3,962,866	0	-3,962,866	-2,392,506
Operating Grants & Contributions	-9,173,733	4,886,289	-1,177,974	0	0	-5,465,418	0	-5,465,418	-2,765,099
Other Income (Including Lease Income)	-3,049,734	0	0	0	0	-3,049,734	0	-3,049,734	-2,039,207
Total Income from Continuing Operations	-166,544,328	4,886,289	-1,178,404	0	0	-162,836,443	5,666	-162,830,777	-149,006,309
Expenses									
Employee benefits and on-costs	58,497,463	0	39,005	0	0	58,536,468	-48,756	58,487,712	30,841,351
Materials and services	64,361,450	-286,725	70,243	0	0	64,144,969	-185,179	63,959,789	27,630,523
Borrowing costs	9,736	0	0	0	0	9,736	0	9,736	0
Other expenses	5,088,223	0	0	0	0	5,088,223	0	5,088,223	2,488,142
Internal Expenses	-511,864	0	0	0	0	-511,864	480,313	-31,551	-113,832
Legal Expenses	1,393,301	0	0	0	0	1,393,301	0	1,393,301	520,270
Consultants	6,041,043	286,725	-286,725	0	0	6,041,043	0	6,041,043	3,283,123
Depreciation & amortisation	25,461,122	0	0	0	0	25,461,122	0	25,461,122	12,890,026
Total Expenses from Continuing Operations	160,340,474	0	-177,477	0	0	160,162,997	246,378	160,409,375	77,539,603
Net Operating Result before Depreciation	-31,664,976	4,886,289	-1,355,881	0	0	-28,134,568	252,043	-27,882,524	-84,356,732
Net Operating Result from Continuing Operations	-6,203,854	4,886,289	-1,355,881	0	0	-2,673,445	252,043	-2,421,402	-71,466,707
Net Operating Result before Capital Items	-6,203,854	4,886,289	-1,355,881	0	0	-2,673,445	252,043	-2,421,402	-71,466,707

ATTACHMENT 1 - ITEM 1

HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

Income & Expenses Budget Review Statement
Recommended changes to revised budget

Budget Variations being recommended include the following material items:

Notes	Details
	\$

The main body of the Report notes the details of recommended income and expense budget changes.

ATTACHMENT 1 - ITEM 1

HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

Budget review for the quarter ended 31 December 2024
Capital Budget - All Principal Activities

	Original Budget 2024/25	Approved Changes				Revised Budget 2024/25	Bud Change Request for Dec Qtr	Projected Year End Result	Actual YTD figures
		Total QBRs	Sep QBRs	Dec QBRs	Mar QBRs				
Capital Expenditure									
WIP Expenditure & Asset Purchases	69,651,527	0	5,845,491	0	0	75,497,018	2,642,292	78,139,310	24,100,485
Total Capital Expenditure	69,651,527	0	5,845,491	0	0	75,497,018	2,642,292	78,139,310	24,100,485
Capital Funding									
Grants and contributions (capital)	-9,939,924	0	-3,798,497	0	0	-13,738,421	-2,773,536	-16,511,957	-6,656,618
Proceeds from the sale of assets	-1,000,000	0	0	0	0	-1,000,000	0	-1,000,000	-371,095
Total Capital Funding	-10,939,924	0	-3,798,497	0	0	-14,738,421	-2,773,536	-17,511,957	-7,027,713
Other Funding									
External Restricted Assets	-22,880,303	-4,886,289	-3,533,991	0	0	-31,300,584	-20,799	-31,321,383	16,863,397
Internal Restricted Assets	-15,544,236	0	2,842,878	0	0	-12,701,358	0	-12,701,358	-1,087,807
Employee leave payments (from provisions)	956,069	0	0	0	0	956,069	0	956,069	441,234
Non cash accounting adjustments	8,439,022	0	0	0	0	8,439,022	0	8,439,022	105,382
Writeback Depreciation	-25,461,122	0	0	0	0	-25,461,122	0	-25,461,122	-12,890,026
Total Other Funding	-65,430,494	-4,886,289	-4,489,610	0	0	-74,806,394	-2,794,335	-77,600,729	-3,595,532
Net Capital Funding	4,221,033	-4,886,289	1,355,881	0	0	690,625	-152,043	538,581	20,504,952
Net Operating Result before Capital Items	-6,203,854	4,886,289	-1,355,881	0	0	-2,673,445	252,043	-2,421,402	-71,466,707
Net Operating & Capital Result after Funding	-1,982,821	0	0	0	0	-1,982,821	100,000	-1,882,821	-50,961,754

ATTACHMENT 1 - ITEM 1

HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

Capital Budget Review Statement
Recommended changes to revised budget

Budget Variations being recommended include the following material items:

Notes	\$	Details
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The revised Capital Works Program is attached separately to the main body of this Report.

HORNSBY SHIRE COUNCIL

Budget review for the quarter ended 31 December 2024
Cash & Investments - All Principal Activities

Quarterly Budget Review Statement
 for the period 01/10/24 to 31/12/24

	Original Budget 2024/25	Revised Budget Projected Year End 2024/25	Actual YTD figures
Total Cash & Investments	<u>276,676,000</u>	<u>276,676,000</u>	<u>287,907,182</u>
Externally Restricted ⁽¹⁾	165,032,000	165,032,000	164,464,940
Internally Restricted ⁽²⁾	88,737,000	88,737,000	85,943,263
Total Restrictions	<u>253,769,000</u>	<u>253,769,000</u>	<u>250,408,203</u>
Unrestricted (ie. available after the above Restrictions)	22,907,000	22,907,000	37,498,979
Total Cash & Investments	<u>276,676,000</u>	<u>276,676,000</u>	<u>287,907,182</u>

(1) Funds that must be spent for a specific purpose

(2) Funds that Council has earmarked for a specific purpose

ATTACHMENT 1 - ITEM 1

HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

Cash & Investments Budget Review Statement

Investments

Investments have been invested in accordance with Council's Investment Policy.

Cash

This Cash at Bank amount has been reconciled to Council's physical Bank Statements.
The date of completion of this bank reconciliation is 06/01/25

Reconciliation Status

The YTD Cash & Investment figure reconciles to the actual balances held as follows: **\$ 000's**

GL Investments - Trial Balance	278,948
GL Cash at Bank - Trial Balance	8,957
GL Cash on Hand - Trial Balance	2
	287,907

Reconciled Cash at Bank & Investments

Investments	278,948
Investment Total	278,948

Cash at Bank (as per bank statements)	9,555
less: Ledger transactions not yet in the bank	(Timing Difference) 41
add: Bank transactions to be posted to the ledger	(Timing Difference) -639
Cash at Bank Total	8,957

Cash on Hand Total	2
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ATTACHMENT 1 - ITEM 1

HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

Key Performance Indicators Budget Review Statement (subject to external audit)

Budget review for the quarter ended 31 December 2024

(\$'000's)	Forecast June \$'000 24/25	Forecast June Indicator 24/25	Actuals Prior Periods Indicator 23/24 22/23
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The Council monitors the following Key Performance Indicators:

Unrestricted Current Ratio			
Current Assets less External Restrictions	113,036	5.42	6.21
Current Liabilities less Specific Purpose Liabilities	20,848		6.25

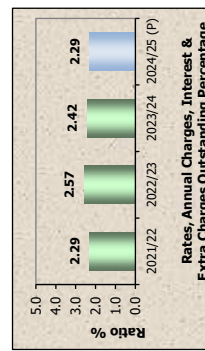
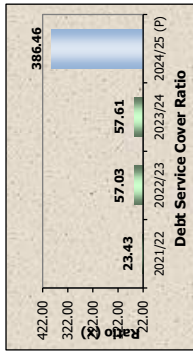
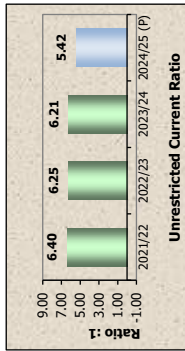
This indicator assesses the adequacy of working capital and its ability to satisfy obligations in the short term for the unrestricted activities of Council.

Debt Service Cover Ratio			
Operating Result before capital excl. interest and depreciation/impairment/amortisation	31,690	386.46	57.61
Principal repayments and borrowing interest costs	82		57.03

This ratio measures the availability of operating cash to service debt including interest, principal and lease payments.

Rates, Annual Charges, Interest & Extra Charges Outstanding Percentage			
Rates, Annual and Extra Charges Outstanding	2,929	2.29	2.42
Rates, Annual and Extra Charges Collectible	128,111		2.57

This indicator is to assess the impact of uncollected rates and annual charges on Council's liquidity and the adequacy of recovery efforts.



HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

Key Performance Indicators Budget Review Statement (subject to external audit)

Budget review for the quarter ended 31 December 2024

(\$000's)	Forecast June \$'000 24/25	Forecast June Indicator 24/25	Actuals Prior Periods Indicator 23/24 22/23
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Own Source Operating Revenue Ratio			
Total continuing operating revenue (less All Grants & Contributions)	157,178	90.70	108.23 74.93
Total continuing operating revenue	173,290		

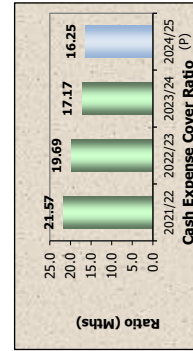
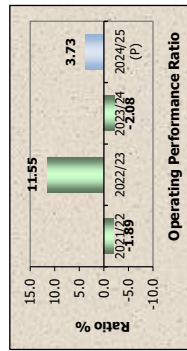
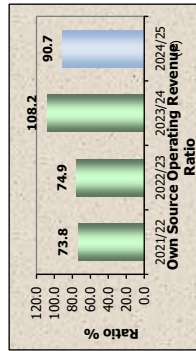
This ratio measures Council's fiscal flexibility. It is the degree of reliance on external funding sources such as operating grants & contributions.

Operating Performance Ratio			
Total continuing operating revenue (excl. Capital Grants & Contributions) - Operating Expenses	6,219	3.73	-2.08 11.55
Total continuing operating revenue (excl. Capital Grants & Contributions)	166,640		

This ratio measures Council's achievement of containing operating expenditure within operating revenue.

Cash Expense Cover Ratio			
Current Years Cash and Cash Equivalents including All Term Deposits	190,640	16.25	17.17 19.69
Payments from Cash flow of operating and financing activities	11,733		

This liquidity ratio indicates the number of months Council can continue paying for its immediate expenses without additional cash inflow



HORNSBY SHIRE COUNCIL
Quarterly Budget Review Statement
 for the period 01/10/24 to 31/12/24

Contracts Budget Review Statement

Budget review for the quarter ended 31 December 2024

Part A - Contracts Listing - contracts entered into during the quarter and contracts signed during the quarter for tenders accepted during the previous quarter

Contractor	Contract detail & purpose	Contract Value (\$)	Start Date (Letter of Acceptance)	Duration of Contract	Budgeted (Y/N)	Notes
Bibliotheca Australia Pty Ltd 5/19-25 Duerdin Street Notting Hill VIC 3168	Supply, Installation & Maintenance Program of RFID Sorter for Hornsby Central Library	\$540,000	15/08/24	10 Years	Y	
Tetra Tech Coffey – Chatswood Level 20, Tower B, Citadel Tower, 799 Pacific Highway, Chatswood New South Wales 2067 Australia	Foxglove Oval Independent Auditor Services	\$1.1 million	08/04/24	12 months	Y	
Stabilised Pavements of Australia Pty Ltd 234 Wisemans Ferry Road, Somersby NSW 2250	Pavement Stabilisation works, Hornsby Park	\$230,000	02/08/24	Approximately one week, weather dependant.	Y	
Complete Urban Pty Ltd, 10 Regent Street Chippendale NSW 2008	Galston Village Upgrades (Design Services)	\$232,422	04/12/24	Lump sum contract to deliver detailed design by April 2025.	Y	
Apunga Ecological Management (Symbiota Ecology Pty Ltd), 5 Cheero Point Road, Cheero Point, NSW 2083	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 2 - Stormwater quality improvement devices Category 3 – Bushfire hazard reduction Category 4 – Weed biosecurity surveillance and control	Schedule of Rates	08/08/24	4 years	Y	
Australian Bushland Restoration, 90 Parr Parade Narraweena, NSW, 2099	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 3 – Bushfire hazard reduction	Schedule of Rates	05/08/24	4 years	Y	
Bush Habitat Restoration Cooperative Ltd, 23 Clement Close, Pennant Hills, NSW, 2120	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves	Schedule of Rates	09/08/24	4 years	Y	
Bushland Management Solutions Pty Ltd, 1A Warks Hill Road, Kurrajong Heights, NSW, 2758	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 3 – Bushfire hazard reduction	Schedule of Rates	02/08/24	4 years	Y	
Bushy Landscapes, 28 Wheatleigh Street, Naremburn, NSW, 2065	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 2 - Stormwater quality improvement devices Category 3 – Bushfire hazard reduction	Schedule of Rates	06/08/24	4 years	Y	

ATTACHMENT 1 - ITEM 1

HORNSBY SHIRE COUNCIL
Quarterly Budget Review Statement
 for the period 01/10/24 to 31/12/24

CONTRACTS BUDGET REVIEW STATEMENT
Contracts Budget Review Statement

Budget review for the quarter ended 31 December 2024

Part A - Contracts Listing - contracts entered into during the quarter and contracts signed during the quarter for tenders accepted during the previous quarter

Contractor	Contract detail & purpose	Contract Value (\$)	Start Date (Letter of Acceptance)	Duration of Contract	Budgeted (Y/N)	Notes
DragonFly Environmental Pty Ltd, Unit 31/15 Valediction Rd, Kings Park, NSW, 2148	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 2 - Stormwater quality improvement devices Category 3 – Bushfire hazard reduction Category 4 – Weed biosecurity surveillance and control	Schedule of Rates	06/08/24	4 years	Y	
Gecko Environment Management, Unit 3/58-62 Ocean View Dr, Wamberal, NSW, 2260	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 4 – Weed biosecurity surveillance and control	Schedule of Rates	04/08/24	4 years	Y	
Habitat Solutions Co, PO Box 669, Seven Hills, NSW, 1730	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 3 – Bushfire hazard reduction	Schedule of Rates	08/08/24	4 years	Y	
National Trust of Australia (NSW), GPO Box 518, Sydney, NSW 2001	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 2 - Stormwater quality improvement devices Category 3 – Bushfire hazard reduction Category 4 – Weed biosecurity surveillance and control	Schedule of Rates	13/08/24	4 years	Y	
Toolijooa Pty Ltd, 1/26-30 Tepko Road, Terrey Hills, NSW, 2084	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 2 - Stormwater quality improvement devices Category 3 – Bushfire hazard reduction Category 4 – Weed biosecurity surveillance and control	Schedule of Rates	02/08/24	4 years	Y	
Total Earth Care Pty Ltd, 37 Irawong Road, North Narrabeen, NSW	Natural Areas Vegetation Management: Category 1 – Bush regeneration reserves Category 3 – Bushfire hazard reduction	Schedule of Rates	07/08/24	4 years	Y	
Civilscape Pty Ltd	Playground works at Brickpit Park including partial demolition of the existing playground and construction of a new playground, footpaths, park furniture and soft landscape.	\$676,590	01/07/2024	16 Weeks	Y	
Optimal Stormwater PTY LTD - Suite 2.01, 828 Pacific Highway, Gordon, NSW 2072	As needed repairs and upgrades of Council's Stormwater quality improvement devices.	TBD when services are required up to a value of \$50,001.	18/07/24	3 years	Y	

ATTACHMENT 1 - ITEM 1

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

HORNSBY SHIRE COUNCIL

Contracts Budget Review Statement

Budget review for the quarter ended 31 December 2024

Part A - Contracts Listing - contracts entered into during the quarter and contracts signed during the quarter for tenders accepted during the previous quarter

Contractor	Contract detail & purpose	Contract Value (\$)	Start Date (Letter of Acceptance)	Duration of Contract	Budgeted (Y/N)	Notes
Urban Asset Solutions PO Box 64 - Pooraka South Australia 5095	Cleaning of Council's Stormwater quality improvement devices and as needed repairs.	Variable as tipping is involved which can change clean to clean. Without tipping costs Approx \$140,000/year	18/07/24	3 years	Y	
Total Drain Cleaning Services Pty Ltd - PO Box 6083 Wetherill Park NSW 1851	Cleaning of Council's Stormwater quality improvement devices and as needed repairs.	Variable as tipping is involved which can change clean to clean. Without tipping costs Approx \$220,000/year	18/07/24	3 years	Y	
Solutions Built Australia Pty Ltd T/AS Turfcare Solutions,16 Distribution Place, Seven Hills NSW 2147	Ron Payne Park Oval Irrigation & Drainage works including the provision items for Tahoma 31 Turf, synthetic cricket wicket and sandstone block terraces.	\$741,745	05/11/24	18 Weeks	Y	

Notes:

- A. Restricted Asset from previous year utilised
- Contracts are disclosed after signing (back dated to the date of tender acceptance), which is after tenders have been accepted.
- 1. Minimum reporting level is 1% of estimated income from continuing operations of Council or \$50,000 - whatever is the lesser.
- 2. Contracts listed are those entered into during the quarter being reported and exclude contractors on Council's Preferred Supplier list.
- 3. Contracts for employment are not required to be included.

ATTACHMENT 1 - ITEM 1

HORNSBY SHIRE COUNCIL

Quarterly Budget Review Statement
for the period 01/10/24 to 31/12/24

Consultancy & Legal Expenses Budget Review Statement

Budget review for the quarter ended 31 December 2024
Consultancy & Legal Expenses Overview

Expense	YTD Expenditure (Actual Dollars)	Budgeted (Y/N)
Consultancies	3,283,123	Y*
Legal Fees	520,270	Y

Definition of a consultant:

A consultant is a person or organisation engaged under contract on a temporary basis to provide recommendations or high level specialist or professional advice to assist decision making by management. Generally it is the advisory nature of the work that differentiates a consultant from other contractors.

Comments

*All consultancy expenditure is covered by adequate budgets, including grant funds and savings in salary budgets from vacant positions where consultants are engaged on a temporary basis.

ATTACHMENT 1 - ITEM 1



ATTACHMENT 3 - ITEM 1

PERFORMANCE REPORT
2024-2027 Delivery Program
December 2024

hornsby.nsw.gov.au



Contents

ATTACHMENT 3 - ITEM 1

Acknowledgement of Country

Council recognises the Traditional Owners of the lands of Hornsby Shire, the Dharug and GuriNgai peoples, and pays respect to their Ancestors and Elders past and present and to their Heritage.

We acknowledge and uphold their intrinsic connections and continuing relationships to Country.

Hornsby Shire Council

ABN 20 706 996 972

Contact us

PO Box 37
Hornsby NSW 1630
Phone: **(02) 9847 6666**
Fax: **(02) 9847 6999**
Email: hsc@hornsby.nsw.gov.au
hornsby.nsw.gov.au

Visit us

Hornsby Shire Council Administration Centre at Hornsby Library,
28-44 George Street, Hornsby NSW 2077

Office hours

Please check the website for the latest opening hours for the Customer Service Centre.

Disclaimer

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Cover: Hornsby Spring Fest street festival,
16 November 2024

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General Manager's message

This report features a summary on the progress of Council's Key Initiatives and Capital Projects against the Delivery Program and 2024/25 Operational Plan in the first six months, from July to December 2024. It is my pleasure to provide the report to our newly elected council. Local Government elections took place in September, and since the Mayor and Councillors took their Oath or Affirmation of Office in October, we have worked to fully induct the new Council.

Reflecting on the past six months, I am incredibly proud of our dedicated staff and their outstanding achievements in shaping the future of the Shire. Following the NSW Government's announcement of its masterplan in November for the Hornsby Transport Orientated Development (TOD) Program, we welcomed the plan's alignment with the vision embodied in Council's own Hornsby Town Centre Masterplan. This validated the extensive work Council had undertaken. Council continues to liaise with the NSW Government for more support in delivering essential infrastructure for the approved 6,244 new homes, as we work towards creating a vibrant and sustainable hub that is attractive to work and live in.

Hornsby Park took another step forward when in December, Council received notification that a grant of \$12 million has been awarded from the Australian Government through the Thriving Suburbs grant scheme to fund a Field of Play at Old Mans Valley. This additional grant supplements \$50 million of funding provided by the NSW Government through the Stronger Communities grant scheme. As per the Master Plan adopted in July 2021, Hornsby Park will be delivered in stages. The first, the historic Crusher Plant, will open in 2025 with the Field of Play at Old Mans Valley expected to be delivered over the next three years.

The Westleigh Park project reached a significant milestone when the Sydney North Planning Panel approved the Development Application for redevelopment of Westleigh Park in December. The redevelopment will create a major parkland with much-needed spaces for the community to play sport as well as enjoy unstructured recreation experiences, while preserving important bushland areas. Given the progress and critical need for the park, it is disappointing the Office of Local Government intends to recall the funds. We continue to seek dialogue with the Office of Local Government to achieve the retention of these funds to progress delivery of this important piece of community infrastructure.

Meanwhile, work continues in two priority areas in the Shire to improve streetscape amenity, Pacific Highway between Asquith and Mount Colah, and Galston Village. Stage 1 of the works to make it safer and more enjoyable to walk and cycle along the Pacific Highway from Asquith to Mount Colah is nearing completion. The Galston Village Public Domain Plan has been endorsed, with various audits and reviews taking place of Galston Road before works commence to transform the village into a safer, more vibrant place.

Across the Shire, a number of capital projects were completed including upgrades to Wollundry Park Playground at Pennant Hills, Beecroft Village Green, Pennant Hills Park and Brickpit Park Playground at Thornleigh. Council built four additional footpaths, made improvements to one road, and installed gross pollution devices and a biofiltration/stormwater harvesting system to Edward Bennett Oval in Cherrybrook.

In November, we celebrated the 10-year anniversary of the Hornsby Aquatic and Leisure Centre being reopened to the community after refurbishment and upgrades. Since then, over 2.8 million visitors have made the most of the pool's incredible

location nestled at the edge of Old Mans Valley, with it providing active healthy living and learn to swim programs, water safety education and a place to enjoy and unwind.

Council endorsed the 2023/24 Annual Report in November, and in December, adopted the Community Engagement Strategy and endorsed the Hornsby Affordable Housing Strategy. During November, 600 Hornsby Shire residents, randomly selected, participated in a Community Satisfaction Survey on Council's services and facilities to enable us to review how we're tracking.

Crucially, we provide and facilitate services to assist people from all walks of life. Regular referrals were made to local homeless services on behalf of local rough sleepers, collaborations with a number of local groups were made to raise awareness of domestic violence, and various Hello Hornsby events for seniors took place. In conjunction with TAFE NSW, Council launched a 'New-Bub Bushcare' group in November to help parents get involved in caring for the bush and their wellbeing, with free babysitting offered to babies while new parents immerse themselves in nature.

Six community planting days and one TAFE student planting day were also held, attracting a wide range of participants across the Shire. Over 2,200 plants were planted and watered by over 180 participants. Working with neighbouring councils to improve our understanding of the environmental drivers of increased jellyfish in the Hawkesbury by sharing water quality data has been another focus.

To help protect our community from bushfire risk, fire trial surface and vegetation management took place on 20 trails over the past six months.

Hornsby Art Prize ran from June until November, when the finalists' exhibition was held at Wallarobba Arts and Cultural Centre showcasing works from 63 finalists. The winner was drawn from an incredible 565 artworks submitted from Hornsby Shire and across Australia.

Council's events, programs and initiatives were promoted in full screen using video and animation on the digital information kiosks at Hornsby Mall for the first time. These spaces, along with other outdoor signage, free cinema advertising, social media, PR and newspaper advertising, were used to advertise events such as Hornsby Spring Fest, Summer Reading Challenge and Hornsby Second Hand Markets. Over 10,000 people enjoyed Hornsby Spring Fest in November, funded by the NSW Government's Open Streets Program led by Transport for NSW, in association with Council.

I am proud that we have an incredible rate of financial sustainability to deliver local services and facilities in a financially responsible manner. Council has forecast surplus, enabling it to respond in a timely manner towards infrastructure assets that may fail, the impact of natural disasters on local service provision and clean-up costs, or cost shifting from other tiers of government, to respond to events of this nature without affecting the normal continuance of service provision throughout the year.

As we shape the future of Hornsby Shire, we've implemented a range of projects and initiatives that make a real difference. I'm proud that this report reflects our commitment to addressing the community's immediate needs while also laying the groundwork for long-term housing, sports, and recreational spaces.

Steven Head
General Manager

Introduction

The General Manager is required to report to the elected Council on progress of the principal activities in the Delivery Program at least six monthly.

What is the Delivery Program?

The Delivery Program is Council's commitment to the community over its term of office and is in response to *Your vision | Your future 2032*, the Community Strategic Plan for Hornsby Shire. It is Council's job to make sure we bring our community closer to their Vision over the next ten years.

The Delivery Program and Operational Plan is where Council outlines what it intends to do towards achieving the community Vision and what its priorities will be – translating the Strategic Directions and Long-Term Goals (identified in the Community Strategic Plan) into practical steps in the right direction.

On 12 June 2024, Council adopted the 2024-2027 Delivery Program including the 2024/25 Operational Plan and Budget setting out the manner in which it intends to deliver services and measure performance through Focus Areas (Council's Delivery Pathways), and the Key Initiatives, Ongoing Activities and Capital Projects it will focus on.

The document is aligned to the overall strategic direction set within *Your vision | Your future 2032* through four key themes:

- LIVEABLE
- PRODUCTIVE
- SUSTAINABLE
- COLLABORATIVE.



Our Community Vision 2032

“ Our Bushland Shire is on the Traditional Lands of the Dharug and GuriNgai Peoples. It is a place for people, wildlife and natural environments to thrive in harmony. Our diverse community is welcoming, inclusive and resilient and we are leaders in caring for our future generations. We have a flourishing economy with local shopping and dining precincts. Community facilities and infrastructure are modern, accessible and connected. We have many different places for recreation locally. We walk and ride and enjoy exploring parks, bushland and waterways. ”

Reporting on the Focus Areas, Key Initiatives and Capital Projects is designed to present clear and transparent information on Council's progress towards the Long-Term Goals of the Community Strategic Plan, *Your vision | Your future 2032*.

Introduction

This Performance Report – December 2024

This Performance Report contains mid year performance summaries for 2024/25 for each Focus Area making up the Delivery Program.

The Report begins by listing Highlights and then gives some commentary and update on Council's Major Projects. Page 15 onwards outlines the Focus Areas which encapsulate the principal activities of the Delivery Program spread across the four Themes and eight Strategic Directions (two per Theme) aligning with the Community Strategic Plan. The 16 Focus Areas map to the 25 Long-Term Goals from the Community Strategic Plan.

Each of the four Themes begins with a snapshot of overall performance of Key Initiatives and Budget progress (operating expenditure) as at 31 December 2024. Commentary outlining progress is included on each Focus Area, as well as latest results on Quarterly and Annual Measures.

An update on progress of Capital Projects is included after the four Themes, beginning with a snapshot of overall performance and Budget progress (capital expenditure) as at 31 December 2024. Key Initiatives and Capital Projects Completed, Closed, On Hold or Needing Attention are also listed under their relevant area, as well as any extra projects that have been added, including Special Rate Variation (SRV) initiatives.

Further detail available

The Delivery Program including the Operational Plan by its very nature contains a large number of Key Initiatives, Ongoing Activities and Capital Projects. All of these components are reported quarterly with an update on progress and a traffic light assigned for current status. These quarterly reports are lengthy and detailed, however relevant progress is summarised in commentary under each Focus Area within this Performance Report.

How we measure progress

Below is the system of traffic light reporting used in quarterly reporting to inform this overall Performance Report:

ON TRACK	Progress is on track/ within budget and the project will be delivered as planned	NEEDS ATTENTION	Project is in danger of not being delivered on time/within budget. Remedial action needs to be taken	CRITICAL	Project will not be delivered on time/within budget and needs intervention
ON HOLD	Project still planned to be delivered, but further investigations required or waiting on another project	COMPLETED	Project has been delivered	CLOSED	Project will not proceed <small>(eg. funding from other sources not received; funding reallocated; project rescheduled to future year)</small>

Within each Focus Area, results of Quarterly and Annual Measures are shown for each year of Council's term of office to track progress. Although a new Council was elected in September 2024, this Delivery Program and Operational Plan, adopted in June 2024 by the outgoing Council, will be Council's guiding document until the adoption of a new suite of Integrated Planning and Reporting documents in June 2025.

Highlights

Updated Community Engagement Strategy adopted

In December 2024, Council adopted the Community Engagement Strategy, after an internal review of the existing Community Engagement Plan as part of the broader review of the Community Strategic Plan required with a newly elected council.

The amendments included an update to the title (now calling it a Strategy), as well as updates to processes associated with applying for and providing feedback on development applications and improvements to language to improve readability.

Development Application for Westleigh Park approved

The Sydney North Planning Panel approved the Development Application for redevelopment of Westleigh Park on 9 December 2024.

The Master Plan proposes structured sporting activities on three sporting platforms (providing up to six sports fields) and unstructured passive recreation experiences throughout the park.

We continue to seek discussions with the Office of Local Government about the delivery of this crucial piece of infrastructure for our community.

Hornsby Affordable Housing Strategy endorsed

On 11 December 2024, Council endorsed the Hornsby Affordable Housing Strategy. This comprehensive plan aims to provide more affordable housing for purchase and rent, focusing on key workers and the growing needs of our community.

Old Mans Valley grant of \$12 million

Old Mans Valley 'Field of Play' will come alive as a vibrant Field of Play thanks to a Thriving Suburbs grant from the Australian Government, announced in December 2024.

The project has been provided \$12 million, to be matched by Council through development contributions.

As per the Master Plan adopted in July 2021, Hornsby Park will be delivered in stages. The first, the historic Crusher Plant, will open next year with the Field of Play at Old Mans Valley expected to be delivered over the next three years.

2023/24 Annual Report endorsed

In November 2024, Council endorsed the 2023/24 Annual Report which outlines financial and operational performance against the priorities Council has set to work towards achieving the community vision for Hornsby Shire.

Set out in the Report are highlights over the year under the four Themes of Liveable, Sustainable, Productive and Collaborative, as well as capital projects completed and progress against our performance measures.

Forming part of the Annual Report, is the **2023/24 Audited Financial Statements**, a separate published document setting out financial performance, financial position and cashflows of Council.

Also forming part of the Annual Report is the **2024 State of the Shire Report**, a separate published document required after Local Government elections providing a snapshot of progress of the Hornsby Shire since the adoption of the Hornsby Shire Community Strategic Plan 2022-2032, *Your vision | Your future 2032* in June 2022.

Local Government elections held

On 14 September 2024, Local Government elections were held to elect a Mayor and nine Councillors across our Shire's three Wards.

The new Mayor, four new Councillors and five re-elected Councillors took their Oath or Affirmation of Office on 23 October 2024.

Community Satisfaction Survey

600 Hornsby Shire residents, randomly selected, were invited to participate in the latest Community Satisfaction Survey on Council's services and facilities during November 2024. The survey will be comparable to the 2021 and 2023 Community Satisfaction Surveys and results will enable us to see how we are tracking.

Highlights



Hornsby Aquatic and Leisure Centre celebrated 10 years

22 November 2024 marked the 10 year anniversary of the Hornsby Aquatic and Leisure Centre being reopened to the community after complete refurbishment and upgrade. Over 2.8 million visitors have used the facility since reopening.

Brickpit Park playground upgrade completed

The playground at Brickpit Park, Thornleigh has been upgraded from a Local Level provision to a District Level consistent with Council's Play Plan and now features a waterplay area, shade sails, nature play, inclusive play equipment and a Ninja warrior course.

Other improvements to the park include additional shade tree planting, new direct pedestrian access from Pennant Hills Road, larger picnic shelters and wider accessible grade paths. Accessible toilets were completed last year.

The project was partly funded by the NSW Government's Place to Play Grant and was opened to the community on 11 December 2024.



Highlights

Community Recycling Centre excellence formally recognised

In October 2024, the Thornleigh Community Recycling Centre was recognised for its excellence, receiving a Highly Commended award in the Resource Recovery category in the Sustainable Cities Awards.

'New-Bub Bushcare' group initiative launched

In conjunction with TAFE NSW, Council has created a 'New-Bub Bushcare' group to help parents be involved in caring for the bush and their wellbeing. Free babysitting is offered to babies and small children while new parents immerse themselves in nature and care for the bush, with time also dedicated to a social catch-up.

\$2.8 million grant received for Hornsby Town Centre east side High Pedestrian Activity Area

Council has been successful with a funding application and received a \$2.8 million grant from the NSW Government for the 'Safe Speeds in High Pedestrian Activity and Local Areas' project to implement the Hornsby Town Centre east side High Pedestrian Activity Area.

Financial sustainability

Council has one of the lowest levels of outstanding debt in the State, with outstanding debt reducing further from 2.57% to 2.42% during 2023/24.

June 2024 Performance Report noted

Presented to the new Council at the 23 October 2024 General Meeting, the Performance Report outlined progress on the 2023-2026 Delivery Program including the 2023/24 Operational Plan and Budget.

Hornsby Art Prize

The Hornsby Art Prize Finalists' Exhibition was held at Wallarobba Arts and Cultural Centre, Hornsby, 25 October to 10 November 2024, showcasing works from 63 finalists. The overall winner was announced during a ceremony at the Centre on Friday 25 October 2024.

Hornsby Spring Fest event

Over 10,000 people enjoyed our Hornsby Spring Fest event held in Dural Lane/Peats Ferry Road, Hornsby on Saturday 16 November 2024, funded by the NSW Government's Open Streets Program led by Transport for NSW in association with Council.

Numerous free communication media opportunities realised

During the last quarter of 2024, the full screen, video function of four digital information kiosks in Hornsby Mall were activated giving invaluable free advertising media for council in a high foot traffic area.

In addition, dilapidated community information signage at Hornsby Station and Pennant Hills Shopping centre were also refurbished and repurposed into highly valuable, free advertising space. A promotional flag was also installed on Wallarobba Arts and Cultural Centre signage, to promote the space and current exhibitions.

Council also purchased six 1.5m-high outdoor pavement signs giving free, geographically adaptable advertising space for Council's use.

'Our Council' Summer edition

2025, The Summer edition of this quarterly newsletter, was distributed to letterboxes around the Shire in November. Council successfully trialled a new distributor for this edition to ensure the maximum number of residents in our Shire received the newsletter which also saved Council money and, unlike past editions, received no negative feedback relating to non delivery to some households.

#SayHighForest - Highly successful communications campaign

Council wrote, directed and produced a 1min 50sec video encouraging our community to "Visit. Love. Protect" our Shire's critically endangered Blue Gum High Forest. Costing around \$10k which was grant funded (and quoted at \$200k for production alone), the video generated thousands of dollars' worth of free media. This included unpaid showing at Event Cinemas, various outdoor cinemas and Christmas carol screens, Local Business Awards, a one month run on doctors' waiting room TV screens across our Shire, on digital kiosks in Hornsby Mall, video installations in Hornsby library and at native plant giveaways. In addition, the video was the most viewed video Council has ever posted on Facebook with over 45,000 organic (unpaid) impressions and tens of thousands of views of 16 short format visit and mythbuster videos also part of the campaign.

In addition to the video, the webpage was reworked to include 17 tangible ways our community can protect our forest. New technology was implemented to include an interactive before and after map, giving an impactful communication of how little original Blue Gum High forest remains in our Shire. This webpage received 2,221 views in just the first month after launch, exceeding the existing record of 800 views over an entire year.

Significant media coverage was received around the campaign including a segment on ABC radio 702, on North Shore Mums and a front cover and full page feature article in The Bush Tele.

Major projects

HORNSBY PARK – FROM QUARRY TO PARKLANDS							
	Estimated completion date	% Complete	Total funding allocation	Development Contributions component (subject to prioritisation)	Grants component	Expenditure 2024/25	Actual Expenditure Life to Date
	Stage 1 – 2025	50% Life to Date	\$95.8m	\$28m	\$50m (NSW Govt) \$12m (Aus Govt)	\$8.3m	\$55.3m
<p>Council is redeveloping the abandoned Hornsby Quarry and adjacent Old Mans Valley, approximately 1km west of the Hornsby Town Centre and transforming the site into open space for recreation and entertainment for all to enjoy. This new major parkland is being created on the site of the former Hornsby Quarry which was handed back to Council from NorthConnex in late 2019. The area features approximately 60 hectares of bushland and open space and is home to several features of historical and community interest, including early settler relics, the State Heritage listed Old Mans Valley Cemetery and remnant buildings of the quarry crusher plant.</p> <p>Status update</p> <p>The rehabilitation of the old quarry and surrounding lands into open space for recreation purposes is the largest single construction project ever undertaken by Hornsby Shire Council.</p> <p>As noted in Report No. IM2/21 – Master Plan for Hornsby and Westleigh Parks (considered at the 14 April 2021 General Meeting), the total estimated cost of the facilities canvassed in the Master Plan is significantly above the total level of funding available. Therefore, a reduction in scope compared to the Master Plan or staging the project over an extended period will be required unless additional funding can be identified.</p> <p>This large-scale project is being part-funded by the NSW Government with \$50 million provided by the NSW Stronger Communities grant scheme and 100% of the grant (plus around \$5.5 million of interest earned to date) has been spent or committed by way of tendered works. Further funding of \$28 million is available from development contributions, subject to the priority allocated to projects in accordance with development contributions received.</p> <p>A budget of approximately \$34 million is allocated for bulk earthworks and site rehabilitation to create the landform for the site and address site wide stability issues and works for this stage have been completed.</p> <p>An allocation of \$5 million has been provided for the regeneration of the vegetation communities on the site, with this funding set aside in an internal restricted asset account to cover the cost of ongoing vegetation management into the future.</p> <p>In accordance with resolutions at the 8 March 2023 General Meeting (in Report No. IM2/23 – Hornsby Park) a Review of Environmental Factors was compiled, exhibited and approved.</p> <p>In late 2023, contracts were signed for the amenities building upgrade, the Crusher Plant Platform and the Enabling Services works with a contract for the Southern Lookout signed in early 2024. A further contract for the Western Lookout was signed in April 2024, after a tender process had been completed.</p> <p>In December 2024, Council received notification that a grant of \$12 million has been awarded from the Australian Government through the Thriving Suburbs grant scheme to fund a Field of Play at Old Mans Valley. This additional grant supplements \$50 million of funding provided by the NSW Government through the Stronger Communities grant scheme.</p> <p>The 2024/25 financial year will see the initial embellishment projects completed along with additional embellishment elements that were in the planning stage at 30 June 2023, and public access will be provided after more than a century of there being no public access to the site.</p>							

Major projects

WESTLEIGH PARK DEVELOPMENT							
	Estimated completion date	% Complete	Total funding allocation	Development Contributions component	Grants component	Expenditure 2024/25	Actual Expenditure Life to Date
	Stage 1 – 2026	10% Life to Date	\$61m	\$21m	\$40m*	\$285k	\$27.5m
<p>In June 2016, in response to increasing demands on existing open space, Council purchased land along the eastern side of Quarter Sessions Road in Westleigh. Formerly owned by Sydney Water, the site for the new Westleigh Park comprises 36 hectares of cleared open space and bushland.</p> <p>The purchase of the land was funded by development contributions. The project will be partly funded by the NSW Stronger Communities Fund grant.</p> <p>Westleigh Park will play a key role in recreational provisions for the district across a diverse range of uses including formal sports, passive recreation (e.g. picnics, walking, playground), mountain biking and ancillary facilities (including internal roads, car parks, amenities buildings, shared paths and water management).</p> <p>Status update</p> <p>This initiative responds to the growing demand for recreational spaces due to population growth and increased participation in sports.</p> <p>Following extensive community engagement in 2021, Councillors deferred adoption of the draft Westleigh Park Master Plan to allow time to address concerns around the extent and location of mountain bike tracks and traffic generation around the park. Since then, further engagement and co-design workshops for the mountain bike trails was undertaken with key stakeholders from the mountain bike and environmental protection groups. Workshops were also held around the proposed extension to Sefton Road.</p> <p>The comprehensive Master Plan, adopted in June 2023 after extensive community engagement, outlines a vision for a major parkland that balances active recreation with the preservation of important bushland areas. Council lodged a Development Application (DA) for Westleigh Park in September 2023 with public exhibition concluding 20 November 2023. The Sydney North Planning Panel approved the Development Application (DA) in December 2024. The DA is for the entire scope of the project, which will be delivered in stages.</p> <p>Stage One will introduce key amenities, including parking, walking, and biking trails, alongside a multipurpose platform featuring a natural turf sports field adaptable for various sports, such as football, rugby, AFL, and cricket.</p> <p>Stage Two will expand the facilities with a flexible turf sports field, a senior athletics track, and an internal athletics field, accommodating even more recreational opportunities.</p> <p>This development not only aims to enhance local infrastructure, as highlighted in the Westleigh Park Master Plan and aligned with the Hornsby Sportsground Strategy and NSW Government funding, but also fulfils the community's need for vital recreational space.</p>							



*In June 2024, this project experienced a setback when the NSW Government requested the return of crucial funding. Dialogue with the NSW Government continues to ensure that this important project can be delivered for the community.

Major projects

HORNSBY TOWN CENTRE REVIEW

The Hornsby Town Centre Review project will revitalise the Hornsby Town Centre, making it a more liveable, green and accessible centre for our community. We want to strengthen the economic, employment and housing capacities of the Town Centre and improve its public domain, liveability, accessibility, safety, environmental sustainability and visual appeal through quality design and landscape.

"A place for people that reflects the uniqueness of the bushland setting, integrated around key public spaces, where the city meets the bush. An active, thriving centre that exhibits economic diversity, design excellence, liveability and sustainability."

(Adopted Vision Statement for Hornsby Town Centre)

Status update

Public exhibition of the Hornsby Town Centre Masterplan was held between 20 July and 30 September 2022 with key maps, recommendations, 3D video visualisations and supporting technical reports available. Council wanted to hear community feedback about whether the draft Masterplan meets the vision and principles adopted and outlined in the Local Strategic Planning Statement. Almost 500 submissions were received from stakeholders including state agencies, gathered digitally and at a series of nine face-to-face drop-in engagement sessions facilitated by Council.

The Masterplan was adopted by Council on 8 November 2023 with several amendments that address feasibility and amenity concerns. The Masterplan is ambitious, promoting a redefinition of the Town Centre skyline by providing opportunities for over 4,900 new dwellings in slender residential towers, varying in height up to 36 storeys and clustered around the train station and mall.

Also facilitating up to 4,500 new jobs in the precinct, the Masterplan encourages revitalisation of the Town Centre with new open spaces reflective of the Shire's bushland identity, a new multi-purpose community facility along with pedestrian and cycling networks and enhanced public transport access.

In December 2023, the NSW Government identified Hornsby Town Centre as one of eight 'Accelerated Precincts' in Greater Sydney to be subject to State-led Transport Oriented Development (TOD) rezoning proposals and went on to exhibit a rezoning for the Hornsby TOD 'Accelerated Precinct' for public comment during July and August 2024. In August 2024, Council resolved to proceed with a submission outlining that while the proposed rezoning is 'broadly consistent' with Council's own adopted Hornsby Town Centre Masterplan, it appears deficient in providing certainty that essential supporting infrastructure will be delivered for future residents, workers and visitors.

Following detailed consideration of submissions received during exhibition, the NSW Government made several changes to the rezoning allowing for more homes in key areas, more community facilities, more open space at the heart of the town centre and provisions for a new bus interchange. The rezoning came into effect on 27 November 2024.

Council will continue to collaborate with the NSW Government in delivering the Masterplan's vision for housing, jobs, facilities, improvements and upgrades.



Major projects

PUBLIC DOMAIN							
	Estimated completion date	% Complete	Total funding allocation	Development Contributions component (pending approval)	Expenditure 2024/25	Actual Expenditure Life to Date	
Asquith and Mount Colah	2025	70% Life to Date	\$9.3m	\$9m	\$867k	\$5.6m	
Galston	2026/27	10% Life to Date	\$7.1m	–	\$92k	\$196k	
<p>Council is improving streetscape amenity through the planting of advanced trees, landscaped garden beds, footpaths, shared paths, seating and signage in the following priority areas: Asquith-Mount Colah corridor, Galston Village, Waitara, Thornleigh, West Pennant Hills and Beecroft.</p> <p>Public Domain Guidelines were prepared and adopted following community and stakeholder engagement. The Guidelines include generic controls to guide the development of the public domain across all urban areas of Hornsby Shire as well as recommending projects within the nominated five housing strategy areas where major development is expected or has occurred: the Asquith-Mount Colah corridor, Waitara, Thornleigh, West Pennant Hills and Beecroft.</p> <p>Revised Public Domain Guidelines for Beecroft were placed on public exhibition in December 2022 and remain subject to final adoption. Upgrades are occurring within the Beecroft Village Green and a pedestrian/cycle sharepath from the Beecroft Village Green to Cheltenham Road has been delivered. Upgrades to pavements and streetscape within the Village will be dependent on additional funding being provided and through conditioning on future developments.</p> <p>A Shirewide signage design palette was endorsed by Council and 36 new gateway and suburb signs have been installed. The provision of further signs is dependent on additional funding being identified.</p> <p>Status update</p> <p>Asquith and Mount Colah</p> <p>Council identified two priority areas to improve streetscape amenity:</p> <ul style="list-style-type: none"> ■ Peats Ferry Road, Asquith between Hookhams Corner and Wattle Street ■ Pacific Highway corridor between Asquith and Mount Colah. <p>A budget of \$9.3M was set aside for these works, funded from development contributions. Upgrade works on Peats Ferry Road, Asquith between Hookhams Corner and Wattle Street have been completed.</p> <p>The corridor from Asquith to Mount Colah will be undertaken in two stages. Stage 1 includes works between Amor Street and Yirra Road, and Stage 2 is from Yirra Road to Parklands Avenue.</p> <p>Civil design has been completed for Stage 1 and construction commenced in August 2024 with works now substantially complete. The estimated cost of Stage 1 has been revised down resulting in savings that will fund planning and design works for Stage 2 in 2025/26.</p> <p>Design for Stage 2 from Yirra Road to Parklands Avenue will commence in future years as development contribution funding becomes available. This corridor aims to provide improvements including wider footpaths and landscaping along the Pacific Highway and the construction of pedestrian refuges at selected locations, with the agreement of Transport for NSW (TfNSW).</p> <p>Galston</p> <p>The draft Galston Village Public Domain Plan (PDP) was endorsed by Council for public exhibition in February 2024. At its General Meeting on 10 July 2024, following the exhibition and community engagement process from 29 April to 2 June 2024, a summary of outcomes was provided and the PDP was endorsed by Council for the next stage of detailed design and documentation towards construction (Report No. IM6/24).</p> <p>The project has commenced design refinements in facilitating design development and documentation which includes elements of site and road surveys, drainage/WVSUD design review, geotechnical advice and Road Safety Audit. A speed zone review for Galston Road is also being undertaken recommending a lowering of vehicle speeds within the Galston Village to 40km/h to improve pedestrian and cycling safety as part of the broader Galston Village Public Domain Plan.</p> <p>As a key component to the success of the PDP, Council continues to liaise with TfNSW as the approval authority for works impacting the State Road (Galston Road) throughout the design development and as documentation progresses. Council has approached Indigenous and key community members of Galston Village to engage on detailed design development of the upgrades and a workshop was held in December 2024.</p>							

Budget summary

ATTACHMENT 3 - ITEM 1

Consolidated Liquidity Result	For the Period of Dec YTD			Full Year Budget			
	Year-to-Date	Year-to-Date	Year-to-Date	Total Year	Total Year	Total Year	Total Year
	2024/25	2024/25	2024/25	2024/25	2024/25	2024/25	2024/25
	Actual	Revised Budget	Variance	Original Budget	Current Revised Budget	Recommended Changes	Projected Final
	\$	\$	\$	\$	\$	\$	\$
OPERATING INCOME							
Rates and annual charges	(125,832,533)	(125,095,133)	737,400	(125,128,955)	(125,128,955)	5,666	(125,123,289)
User charges and fees	(8,853,167)	(7,611,078)	1,242,089	(14,957,707)	(14,958,137)	0	(14,958,137)
Interest & investment revenue	(7,123,797)	(5,087,637)	2,036,160	(10,271,333)	(10,271,333)	0	(10,271,333)
Other revenue	(2,392,506)	(2,025,706)	366,800	(3,962,866)	(3,962,866)	0	(3,962,866)
Grants and contributions (operating)	(2,765,099)	(3,396,979)	(631,880)	(9,173,733)	(5,465,418)	0	(5,465,418)
Other income (including lease income)	(2,039,207)	(1,402,930)	636,278	(3,049,734)	(3,049,734)	0	(3,049,734)
Total operating income	(149,006,309)	(144,619,463)	4,386,846	(166,544,328)	(162,836,443)	5,666	(162,830,777)
OPERATING EXPENSES (CONTROLLABLE)							
Employee benefits and on-costs	30,841,351	29,372,919	(1,468,432)	58,497,463	58,536,468	(48,756)	58,487,712
Materials and services	31,433,916	32,336,686	902,769	71,795,794	71,579,313	(185,179)	71,394,133
Borrowing costs	0	4,868	4,868	9,736	9,736	0	9,736
Other expenses	2,488,142	2,692,807	204,665	5,088,223	5,088,223	0	5,088,223
Internal expenses	(113,832)	(242,931)	(129,099)	(511,864)	(511,864)	480,313	(31,551)
Total operating expenses (controllable)	64,649,577	64,164,349	(485,228)	134,879,352	134,701,875	246,378	134,948,253
Net operating result before depreciation	(84,356,732)	(80,455,114)	3,901,618	(31,664,976)	(28,134,568)	252,043	(27,882,524)
CAPITAL INCOME							
Grants and contributions (capital)	(6,656,618)	(7,069,210)	(412,593)	(9,939,924)	(13,738,421)	(2,773,536)	(16,511,957)
Proceeds from the sale of assets	(371,095)	(499,997)	(128,901)	(1,000,000)	(1,000,000)	0	(1,000,000)
Total capital income	(7,027,713)	(7,569,207)	(541,494)	(10,939,924)	(14,738,421)	(2,773,536)	(17,511,957)
CAPITAL EXPENSES							
WIP Expenditure	22,855,596	32,922,885	10,067,289	62,697,022	68,042,513	2,642,292	70,684,805
Asset Purchases	1,244,889	3,726,602	2,481,714	6,954,505	7,454,505	0	7,454,505
Total capital expenses	24,100,485	36,649,488	12,549,003	69,651,527	75,497,018	2,642,292	78,139,310
Net capital result	17,072,772	29,080,281	12,007,509	58,711,603	60,758,597	(131,244)	60,627,353
Net operating & capital result before depreciation	(67,283,961)	(51,374,833)	15,909,127	27,046,627	32,624,030	120,799	32,744,829
FUNDING ADJUSTMENTS							
External restricted assets	16,863,397	5,150,852	(11,712,545)	(22,880,303)	(31,300,584)	(20,799)	(31,321,383)
Internal restricted assets	(1,087,807)	(6,040,038)	(4,952,231)	(15,544,236)	(12,701,358)	0	(12,701,358)
External loan principal repayments/ (proceeds)	0	0	0	0	0	0	0
Employee leave payments (from provisions)	441,234	478,035	36,800	956,069	956,069	0	956,069
Non cash accounting adjustments contra	105,382	5,419,511	5,314,129	8,439,022	8,439,022	0	8,439,022
Total funding adjustments	16,322,206	5,008,360	(11,313,846)	(29,029,448)	(34,606,851)	(20,799)	(34,627,650)
Net operating & capital result after funding (liquidity result)	(50,961,754)	(46,366,473)	4,595,281	(1,982,821)	(1,982,821)	100,000	(1,982,821)

Council Services that deliver on the Focus Areas



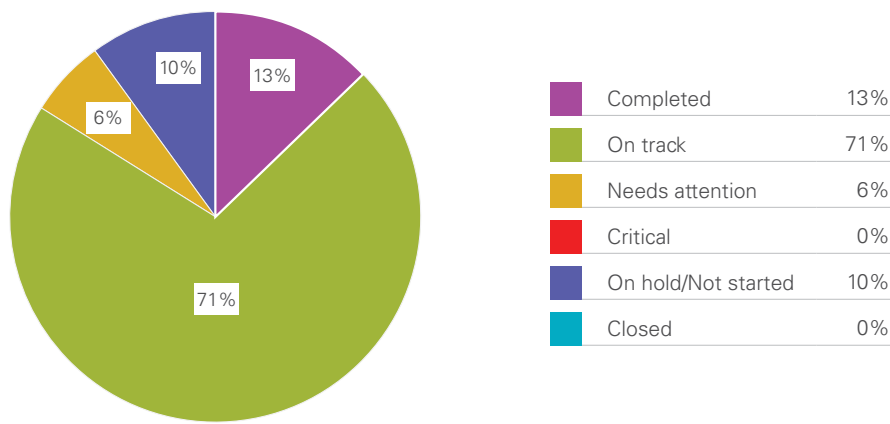
FOCUS AREAS					
Liveable	1A.	Community and creativity	Productive	5A.	Roads, footpaths and moving around
	1B.	Community spaces		6A.	Inviting centres and business
	2A.	Leisure, sport, open space and recreation	Collaborative	7A.	Leadership and governance
	2B.	Urban design and heritage		7B.	Customer experience
Sustainable	3A.	Sustainability		7C.	Communication, education and engagement
	3B.	Resilience		8A.	Planning for the future
	3C.	Waste, recycling and street cleaning		8B.	Organisational support
	4A.	Environment		8C.	Smart cities

Council Services	Focus Area(s) that the Service contributes to	(Responsibility) Branch/Director
Aquatic and Brickpit	2A.	Aquatic and Brickpit
Asset Operations and Maintenance	1B. 2A. 3A. 3B. 4A. 5A. 6A. 8B.	Asset Operations and Maintenance
Audit, Risk and Improvement Committee	7A.	Risk and Audit
Commercial Waste	3C.	Waste Management
Communications and Engagement	7A. 7B. 7C. 8B.	Strategy and Place
Community and Cultural Facilities	1B. 8A.	Library and Community Services
Community Development	1A. 7B. 7C. 8B.	Library and Community Services
Customer Service	7B.	Governance and Customer Service
Design and Construction	4A. 5A.	Design and Construction
Development Assessments	2B. 7A.	Development Assessments
Domestic Waste Management	1A. 3C. 7A. 7C.	Waste Management
Environment	2A. 2B. 3B. 4A. 7B. 7C. 8A. 8B.	Environment
Events	1A.	Library and Community Services
Financial Services	7A. 7B. 8A.	Financial Services
Fire Control	3B.	Infrastructure and Major Projects (Director)
Governance	3A. 7A. 7B. 8B.	Governance and Customer Service
Land and Property Services	8A. 8B.	Corporate Support (Director)
Leadership	7A. 8A. 8B.	Office of the General Manager
Libraries	1A. 1B. 7B. 8C.	Library and Community Services
Major Projects	2A. 6A. 7C. 8A. 8C.	Major Projects
Parks and Recreation	2A. 8A. 8C.	Parks, Trees and Recreation
People and Culture	7A. 8A. 8B.	People and Culture
Place	6A. 7C. 8A.	Strategy and Place
Procurement	3A. 8B.	Financial Services
Public Cleansing	3C.	Waste Management
Ranger Services	5A.	Regulatory Services
Regulatory Services	2A. 2B. 4A. 6A. 8A.	Regulatory Services
Risk and Audit	7A.	Risk and Audit
Strategic Land Use Planning	2B. 7B. 8A.	Strategic Land Use Planning
Strategy	7A. 8B.	Strategy and Place
Sustainability	3A. 3B. 5A. 7A. 7C. 8A. 8C.	Strategy and Place
Technology and Transformation	7B. 8B. 8C.	Technology and Transformation
Traffic Engineering and Road Safety	5A.	Traffic Engineering and Road Safety
Transport Planning	2A. 3A. 6A. 8A. 8B.	Strategy and Place
Trees	2A. 3B. 4A. 6A. 8A.	Parks, Trees and Recreation

Liveable



Performance of Key Initiatives



BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(11,983,900)	(5,920,070)	(7,020,954)
Controllable expenses	37,132,131	18,169,177	18,341,753
Internal transfers	171,314	85,664	357,526
Operating result before depreciation	25,319,545	12,334,771	11,678,325

Liveable



STRATEGIC DIRECTION 1.

Connected and cohesive community

A caring community where the built environment and people combine to create a sense of belonging and support.

Working towards the United Nations Sustainable Development Goals:



Addressing Sydney's Major Acute Shocks and Chronic Stresses



LONG-TERM GOALS (Where do we want to be?)

- G1.1 A resilient and welcoming community that cares for and looks after each other by connecting and participating in community life
- G1.2 A built environment that is sustainable, accessible and responsive to the community
- G1.3 Safe, inviting, comfortable and inclusive places are enjoyed by people both day and night

FOCUS AREAS

(Council's delivery pathways)

- 1A. Community and creativity
- 1B. Community spaces

COUNCIL'S SUPPORTING STRATEGIES/PLANS

- Community and Cultural Facilities Strategic Plan 2021
- Comprehensive Heritage Study – Heritage Action Plan 2019
- Disability Inclusion Action Plan 2021-2025
- Healthy Ageing Hornsby 2022-2026
- Heritage Interpretation Strategy and Action Plan 2023
- Hornsby Thematic History 2021

Liveable

1. Connected and cohesive community

ADDRESSING CSP LONG-TERM GOALS

G1.1

G1.2

G1.3

1A. Community and creativity

Focus Area descriptive statement

Programs and activities, events and ceremonies, assisting and promoting cultural development, artistic expression and community connectedness

Services contributing to this Focus Area:

- Community Development
- Domestic Waste Management
- Events
- Libraries

FOCUS AREA COMMENTARY

- Community groups supported under the Place Activation and Community Event Partnership grants programs that took place in this quarter included Thornleigh West Public School Fair, Hornsby Relay for Life, Inala Fair and Hornsby Chamber of Commerce – Fright Night.
- Regular referrals made to local homelessness services on behalf of local rough sleepers, homeless people and those experiencing disadvantage.
- Worked with Chinese Australian Services Society (CASS), PCYC, Ku-ring-gai Neighbourhood Centre and Catholic Care, Council is raising awareness of domestic violence through planning and delivery of the 16 Days of Activism, commencing in November 2024.
- In November, in partnership with Hornsby Police, Relationships Australia and CASS, 40 people participated in a workshop "Sounds of Connection: Building family bonds through music" which was delivered as part of domestic violence awareness raising.
- Hello Hornsby Senior Sing event for 200 seniors including CALD, people with disability and LGBTQIA+ community members held in November 2024.
- IDPWD (International Day of People with Disability) events held in December 2024
- Library Summer Reading Challenge for all ages launched in December and will run through to the end of January 2025.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
1A.M05	Number of people assisted through the Home Modification Service	792	801	2,742	1,177	321	700
1A.M06	Number of major community events	6	5	10	6	2	6
1A.M07	Number of program and seminar sessions held in the libraries	194	282	569	963	601	890

Many 2020/21 and 2021/22 results were COVID-19 affected

STRATEGIC DIRECTION 1.

1A.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
1A.M01	Number of referrals to local service providers (support provided to members of the community)	3,004	4,000	4,000	3,004	3,004
1A.M02	Number of attendees at major community events	15,200 attendees/ views of online content	29,100 (including online)	40,000	40,000	23,000
1A.M03	Number of exhibitions held at Wallarobba Arts and Cultural Centre	1	13	14	14	9
1A.M04	Number of participants in library program and seminar sessions	18,185	9,378	9,875	16,813	25,000

Many 2020/21 and 2021/22 results were COVID-19 affected

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(746,700)	(394,722)	(539,342)
Controllable expenses	2,436,055	1,174,072	1,327,169
Internal transfers	0	0	528
Operating result before depreciation	1,689,355	779,350	788,354

Liveable

1. Connected and cohesive community

ADDRESSING CSP LONG-TERM GOALS

G1.1

G1.2

G1.3

1B. Community spaces

Focus Area descriptive statement

Spaces for residents, businesses and visitors, enhancing equity, inclusiveness and community wellbeing

Services contributing to this Focus Area:

- Asset Operations and Maintenance
- Community and Cultural Facilities
- Libraries

FOCUS AREA COMMENTARY

- Planning for the Cherrybrook Library and Multi-Purpose Community Facility is underway with consultant engagement commenced for the design of the facility.
- Library Discovery collections developed further into creative activities including, cake tins, cookie cutters, Instax Mini instant cameras and Cricut Joy machines. The Cricut Joy collection was launched in conjunction with workshops, giving participants a helping hand to get started with their own creations.
- Quarterly meeting of Community Safety Precinct Committee, with representatives from Ku-ring-gai Council, Neighbourhood Watch, NSW Police, Westfield, CALD groups and offices of State and Federal Local Members, in attendance.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
1B.M04	Community centre usage						
	- Regular hires	9,328	8,092	10,469	7,243	2,666 ¹	15,266
	- Casual hires	2,375	1,707	2,570	2,219	2,610 ¹	2,175
1B.M05	Number of visits to libraries	260,212	211,209	565,371	659,691	364,722	670,000
1B.M06	Number of items loaned						
	- Physical	522,884	371,651	522,884	621,758	306,319	700,000
	- Electronic	378,717	421,749	378,717	414,633	196,804	400,000

Many 2020/21 and 2021/22 results were COVID-19 affected

¹ From December 2024 quarter, data reflects the number of booking dates per seasonal/regular hirer

STRATEGIC DIRECTION 1.

1B.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
1B.M01	Total public attendance at community and cultural facilities	275,002	351,292	165,736	388,030	300,000
1B.M02	% residents who are library members	36% ¹	28.3% ²	22.4% ³	22.0% ³	36%+
1B.M03	Average number of items loaned per library member per year	14.7 ¹	14.2 ²	23.3 ³	24.6 ³	14.7+

Many 2020/21 and 2021/22 results were COVID-19 affected

¹ All libraries were closed for part of March, all of April and May, and were operating at reduced hours in June 2020 due to the COVID-19 pandemic.

² All libraries were closed in July, August and September 2021 due to COVID-19 restrictions. In October 2021, Berowra and Galston Libraries reopened and Pennant Hills library opened with limited hours. Hornsby Library remained closed due to refurbishment and reopened in February 2022 with reduced hours. Pennant Hills and Hornsby Libraries returned to normal hours in May 2022.

³ From 2022/23, per NSW State Library guidelines members need to be active within last three years to count as a library member. 2022/23 and 2023/24 figures reflect this.

KEY INITIATIVES NEEDING ATTENTION	Comment	Responsibility Manager Director
1B.K02 Review Council's leasing and licensing policy for community facilities	Multiple areas of research (e.g. costing for AMP's, current, expired and requested Lease/Licence) required. Update to future Delivery program to show that this will be completed in later years.	Library and Community Services
1B.K03 Work with Scouts NSW and Girl Guides NSW to renew leases for community facilities	Discussions have started to occur with relevant Girl guide groups around the change in the Lease and Licence Policy. Update to future Delivery program to show that this will be completed in later years.	Library and Community Services

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(1,350,002)	(462,544)	(658,935)
Controllable expenses	10,145,962	4,995,614	5,037,643
Internal transfers	(369,685)	(184,838)	89,505
Operating result before depreciation	8,426,273	4,348,231	4,468,213

Liveable



STRATEGIC DIRECTION 2.

Inclusive and healthy living

Well designed neighbourhoods with distinct local characters featuring great public spaces that support people’s health, wellbeing and growth.

Working towards the United Nations Sustainable Development Goals:



Addressing Sydney’s Major Acute Shocks and Chronic Stresses



LONG-TERM GOALS (Where do we want to be?)

- G2.1 Quality, liveable and sustainable urban design and development
- G2.2 A greater diversity of housing for current and future community needs
- G2.3 An active and healthy community that fosters social, mental and physical wellbeing for all ages

FOCUS AREAS (Council’s delivery pathways)

- 2A. Leisure, sport, open space and recreation
- 2B. Urban design and heritage

COUNCIL’S SUPPORTING STRATEGIES/PLANS

- Active Living Strategy 2016
- Sportsground Strategy 2018
- Play Plan 2021
- Biodiversity Conservation Strategy 2021
- Disability Inclusion Action Plan 2021-2025
- Healthy Ageing Hornsby 2022-2026
- Hornsby Park Master Plan 2021
- Hornsby Thematic History 2021
- Local Housing Strategy 2020
- Local Strategic Planning Statement 2020
- Off Leash Dog Park Strategy 2021
- Sustainable Hornsby 2040 (2021)
- Sustainable Water Based Recreation Facilities Plan 2019
- Unstructured Recreation Strategy 2008
- Urban Forest Strategy 2021
- Water Sensitive Hornsby Strategy 2021
- Westleigh Park Master Plan 2023

STRATEGIC DIRECTION 2.

2A. Leisure, sport, open space and recreation

Focus Area descriptive statement

Quality parks, open spaces, sporting and recreational opportunities to meet current and future community needs that are accessible, diverse and promote healthy lifestyles

Services contributing to this Focus Area:

- Aquatic and Brickpit
- Asset Operations and Maintenance
- Environment
- Major Projects
- Parks and Recreation
- Regulatory Services
- Transport Planning
- Trees

FOCUS AREA COMMENTARY

- In the six months to December 2024, 203,002 people attended the Hornsby Aquatic and Leisure Centre, an increase of 5% to the same time last year. For the same period, 21,211 people attended the Galston Aquatic and Leisure Centre which reopened 12 months ago after major refurbishment.
- Learn to swim enrolments at the Hornsby and Galston Aquatic and Leisure Centres amounted to 3,902 in term 4 of 2024. A lot of education and communication has gone into ensuring our residents understand the importance of water safety and education through our free family swim program and free first aid training days held by Royal Life Saving Society qualified trainers.
- Total hours of utilisation for the Brickpit Stadium, Thornleigh for the December quarter was 73% overall and 89% for peak time (5-11pm Mon-Fri and Sat/Sun), with basketball utilising the facility the most.
- The Hornsby Aquatic and Leisure Centre celebrated its 10 year anniversary since complete refurbishment in November 2024.
- Relating to companion animals in the first six months, July to December 2024:
 - 52 companion animal incidents were investigated and completed
 - 627 cats and dogs registered through Council. The additional registrations through Council relate to the recent upgrade to the Office of Local Government's Pet Registry which is currently preventing pet owners from registering their animals online
 - 617 proactive patrols of oval and parks were undertaken in addition to community concerns with off-leash dogs.
- The sportsground conversion process to summer season sports is extensive and includes removing goal posts, uncovering cricket wickets, preparing turf wickets, returfing worn areas, fertilising and aerating grounds, repairing irrigation systems and new line marking. Selective weed spraying is ongoing. The higher than average rainfall impacted some grounds more than others and groundsmen implemented remediation works where possible.
- There were 7,600 bike counts over 184 days at the Hornsby Mountain Bike trail.

Liveable

2. Inclusive and healthy living

ADDRESSING CSP LONG-TERM GOALS

G2.1

G2.2

G2.3

2A.

FOCUS AREA COMMENTARY (cont'd)

- A snapshot of Council's summer season sportsgrounds:
 - Cricket Facilities
 1. 28 synthetic cricket centre wickets
 2. 9 turf wickets
 3. 28 synthetic cricket practice nets
 4. 13 turf practice net wickets
 - Baseball/Softball Facilities at:
 1. Hayes Oval
 2. Greenway Park
 3. Oakleigh Oval
 4. Ruddock Park (Junior)
 5. Rofe Park
 - Athletics Facilities at:
 1. Epping Athletics Track
 2. Greenway Oval No.2
 3. Pennant Hills Oval No.2
 4. Foxglove Oval
 - Touch Football and OzTag at:
 1. Foxglove Oval
 - Summer Soccer:
 1. Pennant Hills Park No.3
 2. Mills Park.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
2A.M06	Number of casual park bookings	2,052	2,255	2,104	3,029	Not available	2,000
2A.M07	Number of reported companion animal incidents investigated	1,119	932	1,171	1,090	252	900
2A.M08	Number of walkers on monitored bushwalking tracks	140,000	135,524	115,374	73,502	32,812	140,000
2A.M09	Number of laps on Hornsby mountain bike trail	39,406	31,350	31,446	14,838	7,600	28,000

Many 2020/21 and 2021/22 results were COVID-19 affected

STRATEGIC DIRECTION 2.

2A.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
2A.M01	Number of vehicles accessing recreational facilities (Fagan Park, Wisemans Ferry)	63,760 (Fagan Park)	49,354 (Fagan Park)	36,238 (Fagan Park)	62,130 (Fagan Park and Wisemans Ferry)	63,760
2A.M02	% of companion animal service requests investigated within seven days	93%	90%	100%	98.9%	98%
2A.M03	Visits to Hornsby Aquatic and Leisure Centre	237,307	183,513	326,937	402,831	300,000
2A.M04	Visits to Galston Aquatic Centre and Leisure Centre (facility closed for upgrades 2021-Dec 2023)	52,206	0	0	21,543	70,000
2A.M05	% utilisation per available hours at Thornleigh Brickpit Sports Stadium	75%	75%	81.5%	83%	>65%
2A.M010	Metres of tracks, boardwalks and bridges constructed or upgraded	2,142	1,580	3,667	961	500

Many 2020/21 and 2021/22 results were COVID-19 affected

KEY INITIATIVES COMPLETED

		Completion date	Responsibility Manager Director
2A.K13	Develop and implement master plan for Beecroft Village Green	Aug 2024	Parks, Trees and Recreation
2A.K16	Participate in the RSPCA's Keeping Cats Safe at Home Program	Dec 2024	Regulatory Services

KEY INITIATIVES ON HOLD

		Comment	Responsibility Manager Director
2A.K04	Hornsby Park - commence preparation of an updated Plan of Management based on the adopted master plan	As the existing Plan of Management is sufficient for the near-term the update process is on hold.	Major Projects
2A.K18	Hornsby Park – complete the tender process for subsequent embellishment works, subject to approval being confirmed and funds being available	This action follows 2A.K17 and as a result is also on hold until the new Council has been briefed and consulted.	Major Projects
2A.K19	Hornsby Park – undertake the construction of further embellishment works to provide additional near-term public access (Stage 2)	This action follows 2A.K17 and 2A.K18 and as a result is also on hold until the new Council has been briefed and consulted.	Major Projects

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(6,841,201)	(3,542,940)	(4,458,821)
Controllable expenses	16,059,472	8,022,059	8,121,393
Internal transfers	441,000	220,503	267,492
Operating result before depreciation	9,659,270	4,699,622	3,930,065

P24

HORNSBY SHIRE COUNCIL

Liveable

2. Inclusive and healthy living

ADDRESSING CSP LONG-TERM GOALS

G2.1

G2.2

G2.3

2B. Urban design and heritage

Focus Area descriptive statement

Quality and sustainable development meeting current and future housing needs

Services contributing to this Focus Area:

- Development Assessments
- Environment
- Regulatory Services
- Strategic Land Use Planning

FOCUS AREA COMMENTARY

- A Project Plan to review existing Heritage Inventory Sheets has been drafted and will be finalised in early 2025.
- In December 2024, Council approved the Heritage and Housekeeping Planning Proposal. Council is currently in the process of finalising the planning proposal as the local plan-making authority and expects this process to be completed by May 2025.
- Development Application income has been lower than budget estimates due to the current downturn in the economy.
- 100% of Engineering assessments of Development Applications were completed within 21 days.
- Council is progressing development of the Total Water Cycle Management Plan to support the Hornsby Town Centre Masterplan redevelopment.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
2B.M09	Number of DAs determined	977	1,024	960	727	335	1,050
2B.M10	Number of Subdivision Works Certificates determined	not previously reported	71	61	34	17	60
2B.M11	Number of swimming pools inspected under the Swimming Pool Barrier Inspection Program	343	401	437	839	312	250
2B.M12	Number of reported compliance service requests investigated	2,905	2,419	2,588	2,571	1,435	1,800
2B.M13	Number of environmental protection assessments of development applications	227	309	152	265	148	220
2B.M14	Number of Annual Fire Safety Statements reviewed	not previously reported	708	875	928	462	630

Many 2020/21 and 2021/22 results were COVID-19 affected

STRATEGIC DIRECTION 2.

2B.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
2B.M01	Construction value Development Applications (\$)	\$710m	\$1.35b	\$1.21b	\$589m	\$710m
2B.M02	Average time (days) for determination of Development Applications	37	39	34	43	60
2B.M03	Average time (days) for determination of Subdivision Works Certificates	22	22.8	53	14	14
2B.M04	% of heritage referrals completed within 14 days	73%	86%	80%	94%	80%
2B.M05	Owner-initiated Planning Proposals assessed within 90 days (from lodgement to resolution to submit) for Gateway Determination	no planning proposals received	90%	100%	no planning proposals received	90%
2B.M06	% of compliance service requests investigated within 21 days	89%	98%	97.5%	98%	98%
2B.M07	% environmental, health and building assessments undertaken in 21 days	79%	69%	74%	98%	98%
2B.M08	% Annual Fire Safety Statements reviewed	100%	100%	100%	100%	98%

Many 2020/21 and 2021/22 results were COVID-19 affected

KEY INITIATIVES COMPLETED

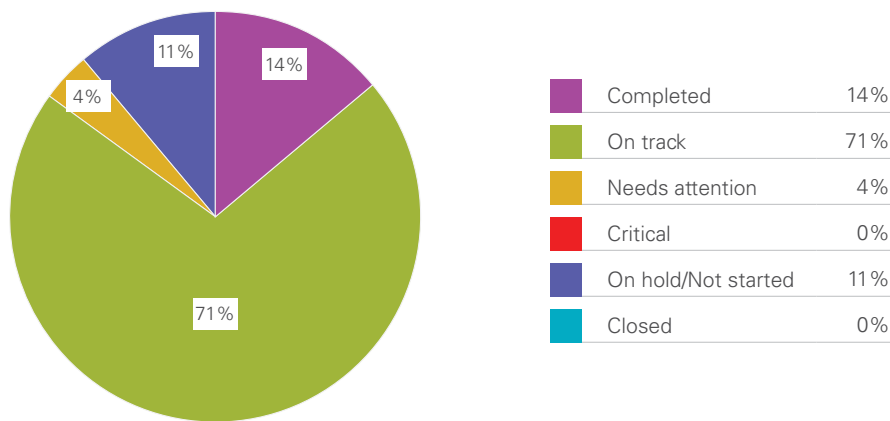
		Completion date	Responsibility Manager Director
2B.K16	Review Planning Agreement Policy to ensure community benefit is derived from uplifts from owner-initiated rezonings	Jun 2024	Strategic Land Use Planning
2B.K19	Exhibit, finalise and adopt Prepare a new Aboriginal Heritage Study	Jun 2024	Strategic Land Use Planning

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(3,045,995)	(1,519,864)	(1,363,855)
Controllable expenses	8,490,641	3,977,430	3,855,547
Internal transfers	100,000	49,999	0
Operating result before depreciation	5,544,645	2,507,566	2,491,692

Sustainable



Performance of Key Initiatives



BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(44,297,316)	(42,945,447)	(43,310,751)
Controllable expenses	51,889,361	23,121,530	19,233,165
Internal transfers	(93,878)	(33,944)	(248,482)
Operating result before depreciation	7,498,167	(19,857,861)	(24,326,069)

Sustainable



STRATEGIC DIRECTION 3.

Resilient and sustainable

We will survive, adapt and thrive in the face of shocks and stresses.
 We will minimise our footprint and transition to net zero.

Working towards the United Nations Sustainable Development Goals:



Addressing Sydney's Major Acute Shocks and Chronic Stresses



LONG-TERM GOALS (Where do we want to be?)

- G3.1 A resilient Shire that can adapt to a changing climate and withstand shocks and stresses (e.g. natural hazards or pandemics)
- G3.2 A net zero community
- G3.3 Using resources wisely and supporting the circular economy
- G3.4 A sustainable community that ensures the needs of future generations are met

FOCUS AREAS (Council's delivery pathways)

- 3A. Sustainability
- 3B. Resilience
- 3C. Waste, recycling and street cleaning

COUNCIL'S SUPPORTING STRATEGIES/PLANS

- Biodiversity Conservation Strategy 2021
- Bushfire Management Strategy 2020
- Climate Wise Hornsby Plan 2021
- Hornsby Ku-ring-gai Bush Fire Risk Management Plan 2023
- Sustainable Hornsby 2040 (2021)
- Urban Forest Strategy 2021
- Waste Matters Strategy 2020
- Water Sensitive Hornsby Strategy 2021

Sustainable

3. Resilient and sustainable

ADDRESSING CSP LONG-TERM GOALS

G3.1

G3.2

G3.3

G3.4

3A. Sustainability

Focus Area descriptive statement

Working towards net zero emissions through renewable energy, using resources wisely and sustainable transport

Services contributing to this Focus Area:

- Asset Operations and Maintenance
- Governance
- Procurement
- Sustainability
- Transport Planning

FOCUS AREA COMMENTARY

- Fleet fuel use data combined with the corporate emissions inventory has been analysed to identify key targets for reducing fleet emissions up to 2030 and beyond. This will be used to guide proposed changes to fleet management.
- Major works have been completed on Hornsby Library Solar (now fully functional) and the Cowan Wind Turbine (has been lowered due to a safety issue). Overall solar generation from 22 Council buildings was calculated as 222,948kWh for July to December 2024. PV generation has increased due to the new solar system at Hornsby Aquatic and Leisure Centre and rectifications completed at Hornsby Library and the Administration Building.
- An Expression of Interest process has been completed to identify Charge Point Operators that Council would support in the NSW Kerbside Charging Grants Round 2 to install kerbside chargers in priority areas with the least access to private, off-street parking to charge an EV. A letter of support has been issued to one Charge Point Operator.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
3A.M03	kWh energy savings from PV and wind generation	184,936.54	141,742.44	146,616	194,708	222,948	240,000
3A.M04	Embedding sustainability – Number of projects collaborated on	not previously reported	9	11	16	7	16

Many 2020/21 and 2021/22 results were COVID-19 affected

STRATEGIC DIRECTION 3.

3A.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
3A.M01	Council's greenhouse gas emissions (tonnes CO _{2e})	11,561	6,882	6,632	7,464	53% below 2017/18 levels (12,080 tonnes) by 2030
3A.M02	kL Council's potable water consumption	144,932	147,638	154,017	209,949	<144,932

Many 2020/21 and 2021/22 results were COVID-19 affected

KEY INITIATIVES COMPLETED

	Completion date	Responsibility Manager Director
3A.K04 Conduct fleet review to optimise and reduce emissions	Jan 2025	Strategy and Place
3A.K07 Complete audit of public street lighting	Sep 2024	Asset Operations and Maintenance

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	0	0	(194)
Controllable expenses	465,586	166,058	244,009
Internal transfers	0	0	0
Operating result before depreciation	465,586	166,058	243,814

Sustainable

3. Resilient and sustainable

ADDRESSING CSP LONG-TERM GOALS

G3.1

G3.2

G3.3

G3.4

3B. Resilience

Focus Area descriptive statement

A resilient Shire that can withstand shocks and stresses, adapt to a changing environment and bushfire risk

Services contributing to this Focus Area:

- Asset Operations and Maintenance
- Environment
- Fire Control
- Sustainability
- Trees

FOCUS AREA COMMENTARY

- Council has developed a communication and engagement strategy to finalise Hornsby Flood Risk Management Study and Plan by the end of 2025.
- Council has established and maintains Asset Protection Zones covering an area of 124,481m² and offers protection to a total of 1,463 homes. Eight individual sites and 14 complexes are currently under Council's management.
- Fire trail surface and vegetation maintenance was undertaken on 20 trails/occasions over the past six months, July to December 2024.

QUARTERLY MEASURES

	2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
3B.M03 Number of 'Approval to Burn' permits issued	1,054	1,031	1,071	1,048	639	1,000

Many 2020/21 and 2021/22 results were COVID-19 affected

ANNUAL MEASURES

	2020/21 Result	2021/22	2022/23	2023/24	Target
3B.M01 Square metres of asset protection zones maintained	not previously reported	first reported 2022/23	28,239	39,051	10,000
3B.M02 Square metres of new asset protection zones established	not previously reported	first reported 2022/23	6,130	33,312	14,000

Many 2020/21 and 2021/22 results were COVID-19 affected

KEY INITIATIVES COMPLETED

	Completion date	Responsibility Manager Director
3B.K01 New Rural Fire Service training facility Mount Colah- site selection, preparation of approval package and detailed design for construction	Jun 2024	Fire Control

STRATEGIC DIRECTION 3.

3B.

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(501,472)	(501,472)	(513,089)
Controllable expenses	2,052,555	1,035,941	(1,221,407)
Internal transfers	27,400	13,698	19,538
Operating result before depreciation	1,578,482	548,167	(1,714,958)

Sustainable

3. Resilient and sustainable

ADDRESSING CSP LONG-TERM GOALS

G3.1

G3.2

G3.3

G3.4



3C. Waste, recycling and street cleaning

Focus Area descriptive statement

A clean and attractive Shire that provides effective waste management and increases recovery and recycling of valuable resources

Services contributing to this Focus Area:

- Commercial Waste
- Domestic Waste Management
- Public Cleansing

FOCUS AREA COMMENTARY

- Three Repair Cafe workshops have been delivered in the first six months of 2024/25, with 41 participants.
- The Apartment Living Program (multi-unit dwellings), continues to expand with eight onsite meetings held during July to December 2024. Planning was completed for inspections of bins and bin storage areas at all multi-unit properties in January 2025.
- Six community demonstration sites for composting and worm farming continue to be supported to maintain best practice. Regular live worms and worm casting fertiliser, as well as specialist horticulturist advice, continues to be provided to the community groups throughout these sites. Additional garden beds were provided to the Edgeworth David Community Garden and McQuoin Park Retirement Village. The Edgeworth David Community Garden was showcased in Council's Keep Australia Beautiful Sustainable Cities Awards application for Local Waste Champions.
- Council is currently operating three sweepers which has resulted in improved coverage of street sweeping services across the Shire.
- Hornsby Mall is cleaned on a daily basis, with commercial centres cleaned twice weekly on a scheduled basis.
- An annual e-waste drop off event for rural residents was held in December 2024, where 100 local residents attended to recycle their TVs and computers.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
3C.M08	Number of reported illegal dumping incidents	407	281	337	911 (Jan-June 2024 only)	402	500

Many 2020/21 and 2021/22 results were COVID-19 affected

STRATEGIC DIRECTION 3.

3C.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
3C.M01	Number of customers dropping off items to Community Recycling Centre	34,800	37,071	61,923	58,000	30,000
3C.M02	Tonnes material collected Community Recycling Centre, including as part of EPA program	946	781	1,185	810	720
3C.M03	Tonnes collected by residential street sweepers	525	595	761	738	1,100
3C.M04	Tonnes litter collected from public litter bins	605	600	448	446	520
3C.M05	Tonnes domestic waste to landfill (red bin and bulky clean-up)	38,297	39,921	34,573	32,983	32,000
3C.M06	Tonnes domestic waste recycled (yellow bin)	10,877	10,820	9,816	9,618	11,500
3C.M07	Tonnes domestic waste composted (green bin)	18,648	20,854	19,076	18,071	17,500

Many 2020/21 and 2021/22 results were COVID-19 affected

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(39,241,005)	(38,018,255)	(38,456,213)
Controllable expenses	42,193,449	18,493,673	16,836,923
Internal transfers	(100,344)	(50,173)	(270,568)
Operating result before depreciation	2,852,100	(19,574,755)	(21,889,856)

Sustainable



STRATEGIC DIRECTION 4.

Natural environment

Our unique environment is celebrated, protected and enhanced.

Working towards the United Nations Sustainable Development Goals:



Addressing Sydney's Major Acute Shocks and Chronic Stresses



LONG-TERM GOALS (Where do we want to be?)

- G4.1 A natural environment that is healthy, diverse, connected and valued
- G4.2 Waterways are healthy and biodiverse, and the Shire's urban areas are water sensitive
- G4.3 The environmental value of rural lands is protected and enhanced

FOCUS AREA

(Council's delivery pathway)

- 4A. Environment

COUNCIL'S SUPPORTING STRATEGIES/PLANS

- Biodiversity Conservation Strategy 2021
- Hornsby Ku-ring-gai Bush Fire Risk Management Plan 2023
- Rural Lands Strategy 2022
- Sustainable Hornsby 2040 (2020)
- Urban Forest Strategy 2021
- Water Sensitive Hornsby Strategy 2021

STRATEGIC DIRECTION 4.

4A. Environment

Focus Area descriptive statement
 Conserve and enhance our unique trees, bushland and waterways, protect biodiversity and maintain a healthy environment

Services contributing to this Focus Area:

- Asset Operations and Maintenance
- Design and Construction
- Environment
- Regulatory Services
- Trees

FOCUS AREA COMMENTARY

- Council's vegetation mapping and vegetation corridor review is currently being undertaken by a consultant. It is expected the review will be completed early in 2025. Once complete, the 'Terrestrial Lands' map within the Hornsby Local Environment Plan can be updated accordingly.
- Review and update of Council's Green Offsets (Nature Positive) Policy has commenced in collaboration with external experts. Two workshops with Council staff have been held to inform a practical approach going forward. The draft Policy is expected to be presented to Council early in 2025.
- Council currently manages five biobanking sites, three active and two passive. Specific controls for the retention of vegetation and local provenance planting have been recommended in Development Application assessments at 31 development sites with offsets managed through the implementation of Vegetation Management Plans and Landscape Plans.
- Council has worked with neighbouring councils to collate water quality data to improve understanding of the environmental drivers of jellyfish blooms in the Hawkesbury. Council has shared microalgae data with the NSW Food Authority and local oyster industry in order to better manage shellfish harvest areas in the lower Hawkesbury.
- Six community planting days and one TAFE student planting day have been held during the first six months of 2024/25 attracting a wide diversity of participants. The events were held at Cherrybrook, Galston (2024 National Tree Day event), Castle Hill, Brooklyn and Dangar Island. Over 2,200 plants were planted and watered by over 180 participants.
- 191 catchment remediation assets have been maintained during July to December 2024, with 166 tonnes of pollution removed from the devices.
- 1,131kL of stormwater has been harvested from stormwater harvesting devices during July to December 2024.
- The Catchment Health Program has been temporarily paused after two years of intensive sampling of water quality, riparian vegetation, geomorphology, aquatic macroinvertebrates, and diatoms at 23 freshwater sites across the Shire. Council is currently reviewing the collected data to prioritise and strategically plan future sampling efforts, with the goal of maintaining or enhancing waterway health. The emphasis will be on prioritising actions to address sites with poor water quality grades.

Sustainable

4. Natural environment

ADDRESSING CSP LONG-TERM GOALS

G4.1

G4.2

G4.3

4A.

FOCUS AREA COMMENTARY (CONT'D)

- During July to December 2024, 40 active community nursery volunteers completed 1,987 hours of volunteering at Council's Community Nursery.
- Three Bushcode workshops were delivered during July to December 2024, as well as the inaugural and second sessions of New-Bubs Buschare group, where free babysitting is offered to babies while new parents immerse themselves in nature and care for the bush, which were held at the Mount Colah Community Centre bushland.
- Water quality parameters are being monitored monthly at key industrial sites with the following results:
 - Hornsby industrial site exceeded nutrient guidelines values for 7 out of 8 analyses
 - Mount Kuring-gai industrial site exceeded nutrient guideline values for all analyses.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
4A.M04	kL of stormwater harvested	not previously reported	first reported 2022/23	2,057	3,895	1,131	2,200-2,500
4A.M05	Number of tree applications determined	412	1,001	826	740	349	800
4A.M06	Number of Bushcare volunteer hours	7,979	4,817	6,444	6,710	4,228	5,500
4A.M07	% swimmable days at:						
	■ Crosslands	0%	0%	0%	4%	0%	100%
	■ Brooklyn, Dangar Island	88.5%	61.9%	74.5%	92%	100%	100%

Many 2020/21 and 2021/22 results were COVID-19 affected

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
4A.M01	Tonnes of pollutants removed from waterways via catchment remediation devices	500	300	456	696	1,194
4A.M02	Number of trees planted (street trees, parks)	12,000*	16,000*	1,571	1,930	12,000
4A.M03	Number of native plants produced at Warada Ngurang Community Nursery	45,091	21,453	31,366	33,832	45,000

Many 2020/21 and 2021/22 results were COVID-19 affected

* Greening Our Shire program completed in December 2021

KEY INITIATIVES COMPLETED

		Completion date	Responsibility Manager Director
4A.K05	Prepare Biosecurity Management policies and plans	Sep 2024	Environment

STRATEGIC DIRECTION 4.

4A.

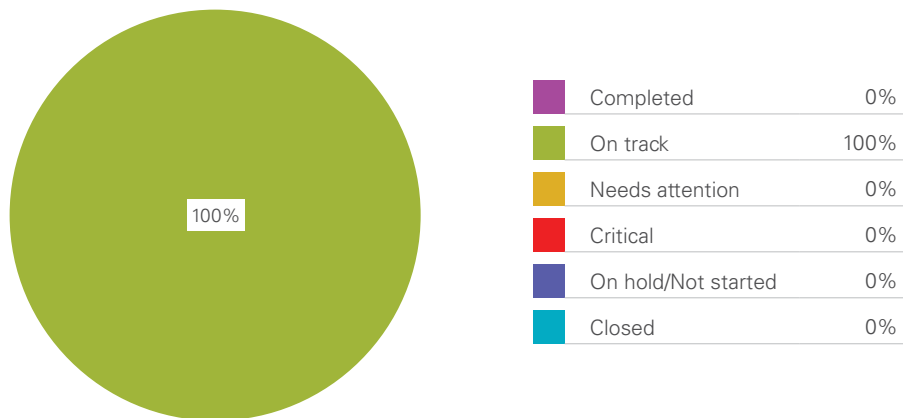
KEY INITIATIVES NEEDING ATTENTION	Comment	Responsibility Manager Director
4A.K25 Develop an ongoing, sustainable and funded street tree planting program	A costed tree planting program has been prepared and seeking opportunity for input into revised developer contribution plans. Funding tree planting from developer contributions will assist to provide opportunities for tree replacement as housing densities increase. Further work required to secure funding.	Parks, Trees and Recreation
KEY INITIATIVES ON HOLD	Comment	Responsibility Manager Director
4A.K06 Assess Plans of Management for Natural Areas to enhance biodiversity conservation outcomes	Community land Plans of Management (POMs) review is yet to commence. The POMs will be informed by recent and current assessments and analysis, including the Natural Areas Land Register review and the vegetation mapping review consultancy project. Investigations are being made into plans of management for Biobank sites.	Environment
4A.K20 Prepare an Urban Unstructured Recreation Strategy	Project to commence in the last quarter as the Unstructured Recreation in Natural Areas project develops further.	Environment
4A.K24 Review current biodiversity conservation management within the Development Control Plan	The Hornsby Development Control Plan is currently being reviewed to improve outcomes for biodiversity. However, the review is unable to be progressed until the Green Offsets (Nature Positive) Policy is developed and adopted by Council.	Environment
NEW KEY INITIATIVES ADDED TO PROGRAM	Date added	Responsibility Manager Director
4A.K26 (SRV - 4BAM) Bushland asset management - Bushland regeneration at 48 bushland reserves (2024/25 \$750,000; 2025/26 \$787,500)	Jul 2024	Environment
4A.K27 SRV - 6TTM) Trail and track maintenance (24/25 \$65.6k, 25/26 \$68.9k, 26/27 \$72.3k, 27/28 \$75.9k)	Oct 2024	Environment

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(4,554,838)	(4,425,719)	(4,341,254)
Controllable expenses	7,177,770	3,425,856	3,373,640
Internal transfers	(20,934)	2,530	2,545
Operating result before depreciation	2,601,997	(997,332)	(965,068)

Productive



Performance of Key Initiatives



BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(4,846,937)	(3,012,570)	(3,331,284)
Controllable expenses	12,229,393	6,336,073	5,512,545
Internal transfers	309,500	154,747	263,174
Operating result before depreciation	7,691,955	3,478,250	2,444,435

Productive



STRATEGIC DIRECTION 5.

Integrated and accessible transport

Our transport infrastructure and services will be connected and easy to use. We will increase walking and cycling, and the use of public transport.

Working towards the United Nations Sustainable Development Goals:



Addressing Sydney's Major Acute Shocks and Chronic Stresses



LONG-TERM GOALS (Where do we want to be?)

- G5.1 Roads and footpaths are safe, reliable and connected to key destinations for people to move around the Shire
- G5.2 Transport options are well-connected, accessible and integrated to support healthy and active lifestyles and minimise dependency on private cars

FOCUS AREA
(Council's delivery pathway)

- 5A. Roads, footpaths and moving around

COUNCIL'S SUPPORTING STRATEGIES/PLANS

- Bike Plan 2019
- Car Parking Management Study 2020
- Integrated Land Use and Transport Strategy 2004
- Walking and Cycling Plan 2021

Productive

5. Integrated and accessible transport

ADDRESSING CSP LONG-TERM GOALS

G5.1

G5.2

5A. Roads, footpaths and moving around

Focus Area descriptive statement

Well-maintained, safe and connected transport networks for pedestrians, cyclists and vehicles

Services contributing to this Focus Area:

- Asset Operations and Maintenance
- Design and Construction
- Ranger Services
- Sustainability
- Traffic Engineering and Road Safety

FOCUS AREA COMMENTARY

- Crash data has been received from TfNSW and updated into the Geographic Information System.
- A review of pedestrian movements at night has been carried out at all existing Children’s Crossings near schools in the Shire to establish if street lighting upgrades are required. A comprehensive list of works has been developed to upgrade all Children’s Crossings near primary schools to formal marked crossings.
- Eighteen items have been referred to the Local Traffic Committee during July to December 2024.
- Preparation of parking precinct plans for areas identified in the Parking Management Study is underway. Parking surveys have been completed for key areas of the study and analysed resulting in parking changes recommendations being formulated.
- Road safety education programs for 2024/25 will include Speed VMA, Child Car Seat Safety Education and Motorcyclist Awareness campaigns, Teaching your Learner Driver presentations and Survey the Ride workshops.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
5A.M06	Number of road safety programs run	5	10	9	4	11	5
5A.M07	Number of schools participating in School Zone Road Safety programs	10	4	14	7	25	10

Many 2020/21 and 2021/22 results were COVID-19 affected

STRATEGIC DIRECTION 5.

5A.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
5A.M01	km of new paved footpaths constructed	5.46	2.18	2.96	1.89	>2km
5A.M02	km of new paved shared paths constructed	1	1.17	2	0.9	>1km
5A.M03	Average Pavement Condition Index for roads (out of 10)	8.2	8.2	7.95	8.2	8.2
5A.M04	Number of participants in road safety education programs	740	747	525	302	>700
5A.M05	Number of new dedicated car share spaces on public roads and in car parks	11	12	12	12	>11

Many 2020/21 and 2021/22 results were COVID-19 affected

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(4,529,937)	(2,854,070)	(3,129,496)
Controllable expenses	11,072,189	5,747,677	4,915,301
Internal transfers	309,500	154,747	263,174
Operating result before depreciation	6,851,751	3,048,354	2,048,979

Productive



STRATEGIC DIRECTION 6.

Vibrant and viable places

We have attractive and multi-use places that support economic development, innovation and local living.

Working towards the United Nations Sustainable Development Goals:



Addressing Sydney's Major Acute Shocks and Chronic Stresses



LONG-TERM GOALS (Where do we want to be?)

- G6.1 A vibrant and connected business, employment and tourism hub that is innovative and sustainable
- G6.2 A '30-minute City' with supporting infrastructure
- G6.3 Rural areas thrive and are a local source of fruits, flowers and other agricultural produce

FOCUS AREA (Council's delivery pathway)

- 6A. Inviting centres and business

COUNCIL'S SUPPORTING STRATEGIES/PLANS

- Brooklyn Discussion Paper (2021)
- Economic Development and Tourism Strategy 2021
- Employment Land Use Study 2021
- Local Housing Strategy 2020
- Local Strategic Planning Statement 2020
- Public Domain Guidelines 2021
- Section 7.11 Development Contributions Plan 2020

STRATEGIC DIRECTION 6.

6A. Inviting centres and business

Focus Area descriptive statement
 Welcoming and lively town centres and villages that support the local economy and encourage visitation to the Shire

Services contributing to this Focus Area:

- Asset Operations and Maintenance
- Major Projects
- Place
- Regulatory Services
- Transport Planning
- Trees

FOCUS AREA COMMENTARY

- Draft Destination Management Plan has been developed. Further refinement and consultation to be undertaken prior to finalisation and adoption by Council in 2025.
- Further consultation to progress a Place Plan for Brooklyn has been undertaken with community organisations on the Hawkesbury River to determine the footprint and management model to be considered for the tenured parking area.
- A total of 287 Scores on Doors Certificates were issued to eligible businesses in accordance with the risk-based inspection program and NSW Food Authority guidelines.
- Specialist GIS-linked software has been selected that will assist to identify and track new public area tree planting opportunities and subsequent establishment.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
6A.M06	Number of primary food premises and public health inspections	not previously reported	439	763	830	488	800
6A.M07	Number of meetings with Chambers of Commerce/businesses	4	6	5	19	1	6

Many 2020/21 and 2021/22 results were COVID-19 affected

Productive

6. Vibrant and viable places

ADDRESSING CSP LONG-TERM GOALS

G6.1

G6.2

G6.3

6A.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
6A.M01	Total page views on DiscoverHornsby tourism website	49,462	69,310	34,154	43,429	57,000
6A.M02	% medium and high risk food premises inspected	63%	96%	100%	100%	98%
6A.M03	Number of incidents of vandalism and annual expenditure on vandalism on Council's assets	15 \$9,000	29 \$27,915	10 \$7,734	2 \$3,347	≤2020/21
6A.M04	Number of incidents of graffiti and annual expenditure on graffiti on Council's assets	375 \$44,000	326 \$39,235	447 \$58,342	557 \$69,019	≤2020/21
6A.M05	% cooling tower risk management plans and audits reviewed	98%	100%	100%	100%	98%

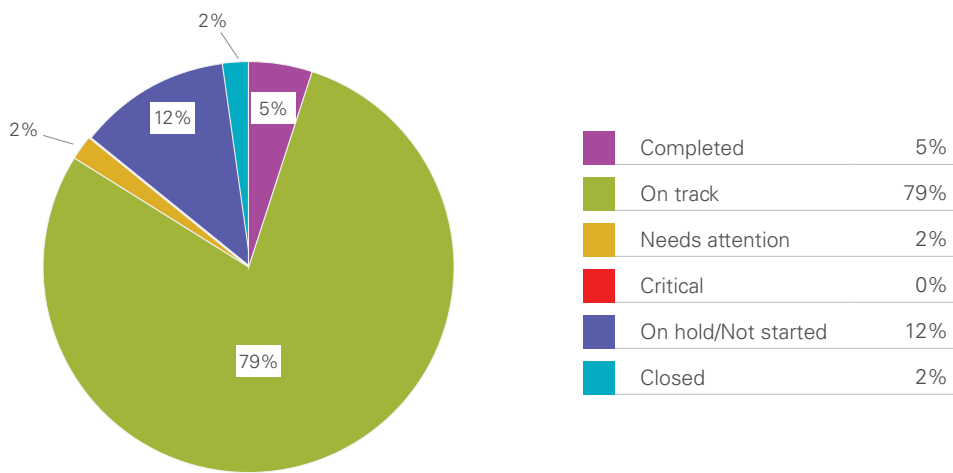
Many 2020/21 and 2021/22 results were COVID-19 affected

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(317,000)	(158,499)	(201,788)
Controllable expenses	1,157,203	588,395	597,244
Internal transfers	0	0	0
Operating result before depreciation	840,203	429,895	395,455

Collaborative



Performance of Key Initiatives



BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(105,416,172)	(92,741,374)	(95,343,318)
Controllable expenses	34,140,329	16,780,498	21,675,944
Internal transfers	(898,800)	(449,398)	(486,050)
Operating result before depreciation	(72,174,643)	(76,410,273)	(74,153,424)

Collaborative



STRATEGIC DIRECTION 7.

Open and engaged

We aspire to create an organisation that is trusted and respected by the community. We are proactive in engaging with the community and our decision-making is inclusive, easy and timely.

Working towards the United Nations Sustainable Development Goals:



LONG-TERM GOALS (Where do we want to be?)

- G7.1 An organisation that is transparent and trusted to make decisions that reflect the community vision
- G7.2 An organisation that the community can easily connect and communicate with
- G7.3 A community that actively participates in decision making

FOCUS AREAS

(Council's delivery pathways)

- 7A. Leadership and governance
- 7B. Customer experience
- 7C. Communication, education and engagement

COUNCIL'S SUPPORTING STRATEGIES/PLANS

- Communications and Engagement Strategies 2019
- Community Engagement Strategy 2024 and Policy
- Disability Inclusion Action Plan 2021-2025
- Economic Development and Tourism Strategy 2021
- Technology and Transformation Strategy 2020-2023

STRATEGIC DIRECTION 7.

7A. Leadership and governance

Focus Area descriptive statement
 Transparent and effective leadership, decision making and governance

Services contributing to this Focus Area:

- Audit, Risk and Improvement Committee (ARIC)
- Communications and Engagement
- Development Assessments
- Domestic Waste Management
- Financial Services
- Governance
- Leadership
- People and Culture
- Risk and Audit
- Strategy
- Sustainability

FOCUS AREA COMMENTARY

- After the Local Government elections in September 2024, an Induction program for the newly elected Council was undertaken each Wednesday evening from October through to December. The program included a detailed induction briefing facilitated by an external provider to ensure all requirements have been addressed with the Councillors.
- The Internal Audit Plan for 2022-2024 was completed in full with final audit reports submitted to the Audit, Risk and Improvement Committee in November 2024.
- The Annual Code of Conduct complaint statistic report was submitted to Council in November 2024.
- The 2023/24 Financial Statements were presented to the public at the November 2024 General Meeting of Council following the completion of the external audit. The level of outstanding rates debt is 2.42% at 30 June 2024, which betters the 5% benchmark set by the Office of Local Government. The Financial Statements form part of the 2023/24 Annual Report which was also presented to Council in November.
- The scheduled policy reviews will be undertaken in early 2025 to coincide with the first year of the first term of the newly-elected Council.

Collaborative

7. Open and engaged

ADDRESSING CSP LONG-TERM GOALS

G7.1

G7.2

G7.3

7A.

QUARTERLY MEASURES

	2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
7A.M04 % of audits completed in annual internal audit plan	0%	10%	100%	95%	100%	100%

Many 2020/21 and 2021/22 results were COVID-19 affected

ANNUAL MEASURES

	2020/21 Result	2021/22	2022/23	2023/24	Target
7A.M01 Return on invested funds	1.87%	0.49%	3.43%	4.90%	1.5%
7A.M02 % of non-carbon and socially responsible investments	23% (at 30 June 2021)	29%	33%	23%	23%
7A.M03 Expenditure attributed to consultancies compared to budget / externally funded (+/- 10%)	100%	100%	100%	100%	100%

Many 2020/21 and 2021/22 results were COVID-19 affected

KEY INITIATIVES COMPLETED

	Completion date	Responsibility Manager Director
7A.K08 Assist in conduct of the local government elections in September 2024 (ensure accessibility requirements are met)	Oct 2024	Governance and Customer Service
7A.K12 Prepare State of the Shire Report	Sep 2024	Strategy and Place

KEY INITIATIVES ON HOLD

	Comment	Responsibility Manager Director
7A.K17 Implement continuous improvement measures following review of Development Assessment processes	Initial scoping meeting for the DA service review is now due. The scoping meeting has been set for later in January 2025.	Strategy and Place
7A.K18 Implement continuous improvement measures following review of Administration processes	On hold pending evaluation of service review prioritisation.	Strategy and Place

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(100,767,404)	(90,419,455)	(92,266,614)
Controllable expenses	13,121,678	6,251,934	6,658,569
Internal transfers	0	0	220
Operating result before depreciation	(87,645,725)	(84,167,521)	(85,607,824)

STRATEGIC DIRECTION 7.

7B. Customer experience

Focus Area descriptive statement

A customer-focused organisation that delivers quality information, services and improved digital experience

Services contributing to this Focus Area:

- Communications and Engagement
- Community Development
- Customer Service
- Environment
- Financial Services
- Governance
- Libraries
- Strategic Land Use Planning
- Technology and Transformation

FOCUS AREA COMMENTARY

- The Customer Service team continues to assist and develop enhancements to the customer experience. Council has recently implemented a new phone system which allows the officers to send SMS messaging directly to the customers whilst on the phone. Further developments of this system will continue over the coming months including integration of slipsheets to ensure consistent messaging across Council. The next phase will be the introduction of Webchat scheduled to be rolled out over the next quarter.
- Student-focused resources to enhance educational outreach, as well as a dedicated Erosion and Sediment Control webpage to provide targeted guidance and information, are available on Council's website to support the community in adopting water-sensitive practices.
- Despite a large number of access to information (GIPA) requests, staff are continuously receiving positive feedback for their customer service and efficiency. The annual reporting to the Information and Privacy Commission NSW has been completed outlining Council's performance in processing GIPA applications for the financial year.
- Council works closely with our webcast provider to ensure accurate recordings of Council meetings are placed on our website in as timely a manner as possible. The number of viewers, live and on demand, fluctuates greatly month by month and can be due to various public interest matters being discussed.

Collaborative

7. Open and engaged

ADDRESSING CSP LONG-TERM GOALS

G7.1

G7.2

G7.3

7B.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
7B.M04	Average answering speed (seconds) of answering incoming calls to Customer Service	15.75	12.5	12.9	24.4	22	20
7B.M05	Number of informal applications processed under Government Information (Public Access) Act (GIPA) legislation	1,538	1,339	1,454	1,407	745	1,500
7B.M06	% of section 10.7 Planning Certificates issued within 5 days	95%	95%	95%	95%	97%	90%

Many 2020/21 and 2021/22 results were COVID-19 affected

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
7B.M01	% telephone calls serviced by Customer Service	97.2%	93.5%	91%	83.4%	80%
7B.M02	Number of customer service requests received and % completed within SLA	18,775 84.8%	36,411 60.3%	35,194 79.8%	36,155 83.8%	90%
7B.M03	Number of formal applications processed under Government Information (Public Access) act (GIPA) legislation	31	13	27	27	12

Many 2020/21 and 2021/22 results were COVID-19 affected

KEY INITIATIVES ON HOLD

	Comment	Responsibility Manager Director
7B.K05 Enhance single view of the customer	This project is currently on hold while other priorities in the Business Transformation space are being completed. We will review systems and requirements for the single view of the customer in the future.	Technology and Transformation

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(128,000)	(63,996)	(41,724)
Controllable expenses	2,092,248	1,018,465	872,282
Internal transfers	0	0	0
Operating result before depreciation	1,964,248	954,469	830,557

STRATEGIC DIRECTION 7.

7C. Communication, education and engagement

Focus Area descriptive statement

Communicate, educate and engage with the community, businesses and other stakeholders and facilitate active participation in our community

Services contributing to this Focus Area:

- Communications and Engagement
- Community Development
- Domestic Waste Management
- Environment
- Major Projects
- Place
- Sustainability

FOCUS AREA COMMENTARY

- Council has approached Indigenous and key community members to engage with design development for Galston Village Public Domain. A workshop with council staff, design consultant and key community member was completed in early December 2024 with productive discussions on detailed design development of the upgrades.
- During Stage 3 of the Hawkesbury Coastal Management Program, more than 500 community members participated in 21 drop-in sessions held over a 10-week engagement period. Council coordinated and attended six of these sessions at various waterfront and catchment locations.
- Council has been actively involved with the 'Coming Together for the Durumbura' project which is looking to build connections and catchment health outcomes for the Lane Cove River. This project, driven by Macquarie University's Department of Critical Indigenous Studies, is an activation of Dharug Ngurra (Country) that involves returning traditional custodial knowledges, practices, and presence to care for Country. This project aims to care for the river, her valley, and its biodiversity holistically.
- Council is in the early stages of delivering an Erosion and Sediment Control campaign targeting building industry professionals. The initial step was to deliver internal training on sediment and erosion control measures which was completed in December 2024. The knowledge gained from this training will inform the development of the campaign, improve internal capacity to lead by example and identify non-compliance in the community. A Communication, Education, and Engagement Plan is being prepared to support roll out of the campaign.
- Eleven Biodiversity education events were held July to December 2024 attracting an estimated 500 participants. Varied programs were provided and included the Great Southern Bioblitz INaturalist workshop and citizen science event held in collaboration with Ku-ring-gai Council, National Tree Day event at Fagan Park, Galston, a community planting event at Greenway Park, Cherrybrook, two annual bird surveys (Cheltenham and Hornsby) and a pollinator identification workshop at Pennant Hills.
- In July to December 2024, 13 Citizenship ceremonies were conducted conferring 477 new Australian citizens.
- In July to December 2024, 153 media stories were published from media releases, as well as eight articles published, and 56 media stories published in response to media enquiries. There were less media stories in the December quarter due to the commencement of a newly elected Council.

Collaborative

7. Open and engaged

ADDRESSING CSP LONG-TERM GOALS

G7.1

G7.2

G7.3

7C.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
7C.M06	Number of subscribers to Council's newsletters	29,082	27,508	26,516	25,243	24,945	30,000
7C.M07	Total page views on Council's 'YourSayHornsby' website	not previously reported	8,237	117,000	80,671	37,136	6,500
7C.M08	Number of environmental and resilience education events held	71	93	208	209	121	114
7C.M09	Number of media stories placed relating to Council campaigns	not previously reported	not previously reported	not previously reported	357	217	100

Many 2020/21 and 2021/22 results were COVID-19 affected

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
7C.M01	Number of followers on social media channels (Facebook, Instagram, X (formerly Twitter), LinkedIn)	37,000	36,755	38,997	45,835	45,000
7C.M02	Total page views on Council's website	2,948,302	2,918,742	2,886,440	3,507,742	2,800,000
7C.M03	Increase in subscribers to Council's weekly engagement newsletter	not previously reported	first reported 2022/23	221%	26%	20%
7C.M04	Number of participants in environmental and resilience education events	1,213	2,164	8,972	9,368	>1,540
7C.M05	Number of new Australian citizens conferred	1,146	1,896	1,776	1,652	1,100

Many 2020/21 and 2021/22 results were COVID-19 affected

KEY INITIATIVE	CLOSED	Closed Date	Comment	Responsibility Manager Director
7C.K01	Develop and deliver an approach to marketing events and attractions within the Hornsby Shire, including cycling and recreation related infrastructure and develop and promote the visitor experiences that celebrate Hornsby Shire's Indigenous and European histories	Sep 2024	This item will be considered within the context of the forthcoming Destination Management Plan.	Strategy and Place

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(180,000)	(180,000)	(220,848)
Controllable expenses	3,661,292	1,850,454	1,493,704
Internal transfers	0	0	0
Operating result before depreciation	3,481,292	1,670,454	1,272,856

Collaborative



STRATEGIC DIRECTION 8.

Smart and innovative

From global to local connectedness, we will be forward-thinking and find creative solutions to enhance daily living.

Working towards the United Nations Sustainable Development Goals:



Addressing Sydney's Major Acute Shocks and Chronic Stresses



LONG-TERM GOALS (Where do we want to be?)

- G8.1 Integrated and sustainable long term planning for the community's future
- G8.2 An organisation of excellence
- G8.3 A Shire that fosters creativity and innovation
- G8.4 Smart Cities approaches improve our day to day living

FOCUS AREAS (Council's delivery pathways)

- 8A. Planning for the future
- 8B. Organisational support
- 8C. Smart cities

COUNCIL'S SUPPORTING STRATEGIES/PLANS

- Economic Development and Tourism Strategy 2021
- Hornsby Town Centre Masterplan 2023
- Property Strategy 2023
- Resourcing Strategy
 - ◇ Long Term Financial Plan
 - ◇ Asset Management Framework
 - ◇ Workforce Planning

Collaborative

8. Smart and innovative

ADDRESSING CSP LONG-TERM GOALS

G8.1

G8.2

G8.3

G8.4



8A. Planning for the future

Focus Area descriptive statement

Communicate, educate and engage with the community, businesses and other stakeholders and facilitate active participation in our community

Services contributing to this Focus Area:

- Community and Cultural Facilities
- Environment
- Financial Services
- Leadership
- Major Projects
- Parks and Recreation
- People and Culture
- Place
- Land and Property Services
- Regulatory Services
- Strategic Land Use Planning
- Sustainability
- Transport Planning
- Trees

FOCUS AREA COMMENTARY

- Catchment models have been developed for the Hornsby Town Centre with the outcomes (e.g. water quality targets and water conservation and wastewater requirements) incorporated into the draft Development Control Plan and Integrated Water Cycle Management Plan. Both these plans will be exhibited and adopted in the second half of 2024/25.
- Preparation of a Natural Areas Recreational Strategy has commenced, with research and analysis underway. The early phases of engagement have also been initiated, with meetings with Council staff, Councillors and other stakeholders. Thorough community consultation phase is due to commence early in 2025.
- Council has played a key role in developing a comprehensive list of management options as part of Stage 3 in the preparation of the Hawkesbury-Nepean Coastal Management Program. This list incorporates collaborative input from more than 20 government agencies and six Partner Councils involved in the program. Community engagement was conducted over a ten-week period October to November 2024. At present, the six Partner Councils are considering the feedback received, and a detailed assessment is underway to evaluate the feasibility, viability, and overall suitability of each proposed management option.
- Preparation of the Seniors Housing Strategy commenced in June 2024 and has continued throughout the early part of 2024/25.
- To progress asset management improvements, contractors have been engaged to commence data collection via CCTV of Council's drainage network, undertake condition assessments of commercial properties and to collect condition data for the remaining 5% of Council's open space assets.
- The bushfire information on Council's website and Approval to Burn process have been reviewed and redesigned. Templates for prescribed burn planning have been prepared and opportunities for improving Council's capability to undertake small burns have been investigated.

STRATEGIC DIRECTION 8.

8A.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
8A.M01	% Delivery Program/Operational Plan actions Completed / On Track	92%	86%	87%	89%	85-90%
8A.M02	% Capital works completed on time or still on track	87%	81%	83%	80%	75-85%
8A.M03	Operating Performance Ratio (Council's achievement of containing operating expenditure within operating revenue)	3.82%	-1.89%	11.55%	-2.08%	0%
8A.M04	Own Source Operating Revenue Ratio (reliance on external funding sources such as operating grants and contributions)	80.89%	73.76%	74.93%	108.23%	60%
8A.M05	Rates and Annual Charges Outstanding Percentage (impact of uncollected rates on Council's liquidity and adequacy of recovery efforts)	2.34%	2.29%	2.57%	2.42%	5%
8A.M06	Unrestricted Current Ratio (liquidity)	6.45x	6.40x	6.83x	6.21x	1.5x
8A.M07	Sections 7.11 and 7.12 (development contributions) income received (\$ million)	4.16	6.75	6.88	8.06	\$4 million

Many 2020/21 and 2021/22 results were COVID-19 affected

KEY INITIATIVES COMPLETED

	Completion date	Responsibility Manager Director
8A.K19 Consider the preparation of an affordable rental housing scheme under SEPP 70	Dec 2024	Strategic Land Use Planning

KEY INITIATIVES ON HOLD

	Comment	Responsibility Manager Director
8A.K50 Develop Aboriginal Engagement Strategy	Not reported.	Library and Community Services
8A.K33 Develop an Active Transport Plan	Project currently on hold. As part of a restructure in the Infrastructure and Major Projects area an Active Transport Officer is being proposed.	Strategy and Place
8A.K34 Investigate paid parking including design of parking access control and management systems at recreational destinations across the Shire - including a recreational parking permit system	Further investigation currently on hold while the Infrastructure and Major Projects Division undergo a review. As part of the new structure, it is proposed to have Paid Parking Officer.	Strategy and Place

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(301,000)	(150,498)	(217,538)
Controllable expenses	3,311,109	1,489,860	1,564,383
Internal transfers	0	0	0
Operating result before depreciation	3,010,109	1,339,362	1,346,844

Collaborative

8. Smart and innovative

ADDRESSING CSP LONG-TERM GOALS

G8.1

G8.2

G8.3

G8.4



8B. Organisational support

Focus Area descriptive statement

Assist the organisation in its day-to-day activities and support an engaged, productive and healthy workforce

Services contributing to this Focus Area:

- Asset Operations and Maintenance
- Communications and Engagement
- Community Development
- Environment
- Governance
- Leadership
- People and Culture
- Procurement
- Land and Property Services
- Strategy
- Technology and Transformation
- Transport Planning

FOCUS AREA COMMENTARY

- Significant work has been undertaken on developing a Data Strategy and associated Data Governance Strategy. These documents will form the foundation of future work in the data analytics space and assist in embedding a holistic approach to application and data governance throughout Council.
- Over the first six months of 2024/25, a number of prerequisite projects to enable the upgrade of Council's records management system have been completed. This is a key foundation to the implementation of an Information Management Architecture Framework, which will be a priority for this year.
- A total of 1,747 hard copy legacy files have been digitised July to December 2024. The project is on track to complete conversion of the 2003 Development Application range prior to the end of the current financial year. A total of 566 files have been destroyed this period under the State Records Retention and Disposal Authority.
- A project to design and build a new intranet for Council has commenced and is due for completion in mid 2025.
- The Talent Review and Succession Planning Program has progressed and a new cohort of people leaders are in the process of being inducted into the process.
- From July to December 2024, 356 staff attended 47 internal training sessions and 68 staff attended 48 external training events.
- Health and wellbeing services and initiatives continue to be delivered to Council staff, with recognition of high level of performance from Council's workers compensation insurer.

STRATEGIC DIRECTION 8.

8B.

QUARTERLY MEASURES		2020/21	2021/22	2022/23	2023/24	2024/25 Dec	Annual Target
8B.M03	Number of hard copy legacy records/files digitised, transferred or destroyed	not previously reported	5,908	7,792	3,844	1,747	1,500
8B.M04	% of items registered into Council's records management system by Records Team (as a percentage of total number for organisation)	not previously reported	13.24%	15.68%	16.78%	17%	25%

Many 2020/21 and 2021/22 results were COVID-19 affected

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
8B.M01	Lost hours through sick leave	3.8%	3.7%	3.7%	4%	3.8%
8B.M02	Voluntary staff turnover	9.5%	14.5%	16.9%	15%	9.5%

Many 2020/21 and 2021/22 results were COVID-19 affected

BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Operating income	(4,039,768)	(1,927,424)	(2,596,592)
Controllable expenses	11,954,000	6,169,782	11,087,003
Internal transfers	(898,800)	(449,398)	(486,270)
Operating result before depreciation	7,015,431	3,792,959	8,004,140

Collaborative

8. Smart and innovative

ADDRESSING CSP LONG-TERM GOALS

G8.1

G8.2

G8.3

G8.4



8C. Smart cities

Focus Area descriptive statement

Embrace emerging technology and optimise existing digital assets

Services contributing to this Focus Area:

- Environment
- Libraries
- Major Projects
- Parks and Recreation
- Sustainability
- Technology and Transformation

FOCUS AREA COMMENTARY

Council continues to build capabilities in emerging technologies to support business requirements and drive innovation with research and by attending industry events.

- A library system upgrade has introduced improvements to the online catalogue and staff functionality. A new Higher School Certificate page has been rolled out providing easy access to library resources by subject.
- As of December, Ausgrid's streetlight LED rollout is nearing completion (98.4% of program target). Including replacements as part of routine maintenance, 96.98% of the streetlights in the Ausgrid area are LEDs. Since the beginning of the LED replacement program, Council has seen savings in streetlight electricity bills of over \$1.3 million, and over \$2.5 million in maintenance bills (as at November 2024).

This is a developing Focus Area which currently has no discrete budget allocated.

ANNUAL MEASURES		2020/21 Result	2021/22	2022/23	2023/24	Target
8C.M01	Number of public wifi areas available	3	3	4	4	>3
8C.M02	Number of real-time monitoring devices providing data to help inform management decisions	110	109	106	114	>110

Many 2020/21 and 2021/22 results were COVID-19 affected

KEY INITIATIVES ON HOLD

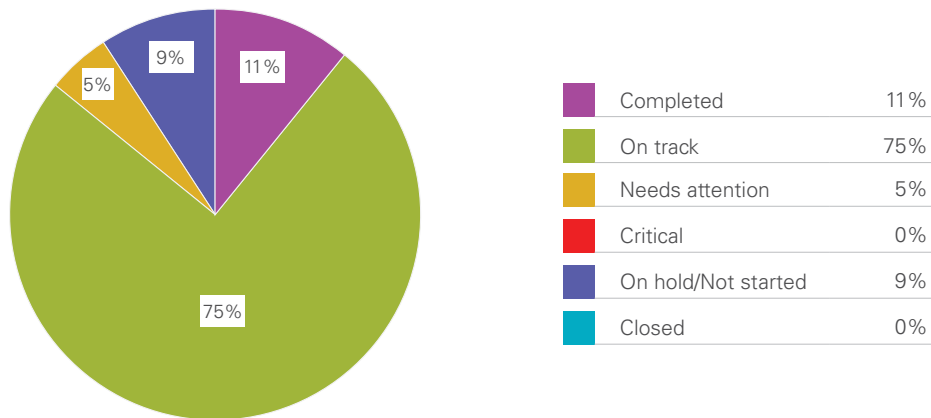
Comment	Responsibility Manager Director
8C.K01 Undertake investigation into large scale renewable energy projects in Hornsby	No action undertaken Strategy and Place

Capital projects



new improve maintain

Performance of Capital projects



BUDGET 2024/25	Original budget (full year) \$	Revised budget (to Dec) \$	December result \$
Capital expenses	69,651,527	36,649,488	24,100,485

Capital projects



CAPITAL PROJECTS COMPLETED AS AT DECEMBER 2024

			Completed date
LOCAL ROADS			
5A.C23.10	■ Low Street, Mount Kuring-gai	Harwood Avenue to High Street	Aug 2024
FOOTPATHS			
5A.C24.09	■ New Line Road, Cherrybrook	Franklin Road to County Drive	Aug 2024
5A.C24.04	■ The Crest, Hornsby Heights	McKay Road to Heights Place	Oct 2024
5A.C24.05	■ Heights Place, Hornsby Heights	The Crest to cul-de-sac	Oct 2024
5A.C24.06	■ Koloona Street, Berowra Heights	Warrina to Jaranda Streets	Oct 2024
PARKS/PLAYGROUNDS			
2A.C20.32	■ (s7.11) Pennant Hills Park – Walking paths	New paths, seating terraces and landscaping associated with Pennant Hills No.1 oval completed. Final tree planting to be undertaken next quarter. Project has seen significant improvements with approx lineal 2km of pathways, extensive roadside parking, kerbing, installation of a roundabout and terrace seating adjacent to Pennant Hills Oval No. 2	Sep 2024
2A.C23.21	■ Playground renewal – Wollundry Park, Pennant Hills	Playground upgrade open for public use	Aug 2024
2A.C24.14	■ Playground and amenities – Beecroft Village Green	Upgraded playground and new toilet open for public use	Aug 2024
STORMWATER QUALITY IMPROVEMENT DEVICES			
4A.C21.03	■ Edward Bennett Oval, Cherrybrook	Installation and construction of gross pollution devices and biofiltration/stormwater harvesting system	Dec 2024

CAPITAL PROJECTS NEEDING ATTENTION		Comment	Responsibility Manager Director
2A.C22.39	Foreshore - Brooklyn Wharf Upgrade with Pontoon (LRCI \$300k)	Agreement reached on new pontoon layout. Currently proceeding with tender documentation of the project.	Asset Operations and Maintenance
5A.C22.14	Traffic - Shared Path - Pennant Hills to Epping (Finalise investigation for entire route and complete design)	An unfinished section of shared path behind Beecroft Tennis courts to link The Crescent with Beecroft Park still to be completed - awaiting Sydney Trains approval. Will continue to pursue approval from Sydney Trains to utilise rail corridor land behind Beecroft Tennis Courts.	Traffic and Road Safety
5A.C17.03	Traffic - Intersection upgrade - Peats Ferry Road/Bridge Road, Hornsby (survey and design)	Funding allocated in s7.11 plan for project is insufficient to deliver the works. Funding application made with Safer Roads Program for 2025/26 seeking \$3m contribution.	Traffic and Road Safety
2A.C23.20	OS - Tom Richmond Oval, Brooklyn - Amenities (Toilet facilities)	Building and footpath works complete. Sewer connection delayed (ten months) awaiting Sydney Water approval. Approval received late December and connection scheduled for early 2025.	Parks, Trees and Recreation

Capital projects



CAPITAL PROJECTS ON HOLD		Comment	Responsibility Manager Director
2A.C22.25	B rec impls - Berowra Waters – accessible boardwalk and viewing platform	Project on hold and deferred indefinitely. The outcome of on-site Aboriginal Cultural Heritage assessments has provided the recommendation that Council instead continue to work with other land managers in the Berowra Waters area to assess a re-alignment of the Great North Walk away from Aboriginal sites in this area, and management strategies including interpretation of the cultural significance of the area, this work may continue outside of this project proposal.	Environment
2A.C23.01	Foreshore - Berowra Waters – west pontoon extension	Application for additional grant funding for the pontoon extension and upgrade has been submitted. Results of the grant application will be known during July 2025. Design and construct documentation will proceed if application is successful.	Asset Operations and Maintenance
4A.C23.05	(SRV - 3PSU) Prioritised stormwater upgrades - Larool Creek, Thornleigh (\$1m pa)	Partial construction of drainage upgrade in Wareemba Avenue, Thornleigh complete. Detailed design of drainage upgrade through further section of Wareemba Avenue 70% complete. Work currently on hold due to site difficulties near Larool Street. These structural and geotechnical issues are expected to be resolved early in the new financial year and work to proceed in 2025/26.	Asset Operations and Maintenance
5A.C20.04	Traffic (s7.11) - Beecroft Town Centre traffic improvements, including signalisation of Wongala Crescent/ Hannah Street	Advice received that traffic signals will be required in the future and any landscape design should be capable of accommodating traffic signals. Preferred concept to be presented to Council in 2025.	Traffic and Road Safety
2A.C22.13	OS - (s7.11) Playground renewal - Foxglove Oval, Mount Colah – shade structure	Project on hold pending further site investigations.	Parks, Trees and Recreation
2A.C23.06	OS - Dog off leash renewal - Ruddock Park, Westleigh	Not reported.	Parks, Trees and Recreation
2A.C24.24	OS - Dog off leash renewal - Asquith Park	Not reported.	Parks, Trees and Recreation

ATTACHMENT 3 - ITEM 1

Capital projects



CAPITAL PROJECTS ADDED TO THE PROGRAM

From time to time Council may reprioritise capital projects due to changing needs, for example to respond to changes in the community, the environment of the proposed works, supply issues, resource allocation, or may apply for and receive a grant which has specific criteria attached to it including completion date.

Below are projects that did not appear in the 2024/25 Operational Plan but are underway/completed.

NEW CAPITAL PROJECTS ADDED TO PROGRAM		Date added	Responsibility Manager Director
2A.C24.26	(SRV) Contribution to playground renewal Charles Curtis, Fearnley, Moorfield Hills and Norman Avenue parks 24/25; various sites 25/26-27/28 (\$85k pa)	Oct 2024	Parks, Trees and Recreation
2A.C24.27	(SRV) Improve sportsgrounds change rooms - Investigation, design and management works, including access audits, AMP development, preparation of concepts to inform program going forward (2024/25 \$250k)	Oct 2024	Parks, Trees and Recreation
2A.C24.28	(SRV) Hornsby Park and Links bushwalking track wayfinding signage (2024/25 \$90k, 2025/26 \$60k)	Oct 2024	Environment
2A.C24.29	(SRV) Salt Pan Reserve, Brooklyn - accessible loop path (2024/25 \$87k, 2025/26 \$23k)	Oct 2024	Environment
2A.C24.30	(SRV) Berowra to Cowan - Great North Walk bushwalking track upgrades Stage 2 (24/25 \$36k, 25/26 \$78k, 26/27 \$195.5k, 27/28 \$50k)	Oct 2024	Environment
2A.C24.31	(SRV) Larool Creek Bridge (shared use bridge connection Hornsby-Westleigh) (24/25 \$60k, 25/26 \$60k)	Oct 2024	Environment
2A.C24.33	(SRV) Berowra Waters (Dusthole Bay), Berrilee - public toilet renewal (24/25 \$450k)	Oct 2024	Environment
2A.C24.34	(SRV) Upper McKell Park, Brooklyn - public toilet renewal (24/25 \$400k)	Oct 2024	Environment
2A.C24.35	(SRV) Renew our public amenities - Investigation, design and management works for program going forward (24/25 \$150k)	Oct 2024	Environment
5A.C24.15	(SRV) Shared Path - Ramsay Road, Pennant Hills (24/25 \$800k)	Dec 2024	Traffic and Road Safety
5A.C24.16	(SRV) Shared Zone - Quarry Road, Hornsby Park (24/25 \$800k)	Dec 2024	Traffic and Road Safety
5A.C24.17	High pedestrian activity area (HPAA), Hornsby East CBD - Design and construction (\$2.8 million grant TfNSW)	Dec 2024	Traffic and Road Safety

ATTACHMENT 3 - ITEM 1

This document contains important information. If you do not understand it, please call the Translating and Interpreting Service on 131 450. Ask them to phone 9847 6666 on your behalf to contact Hornsby Shire Council. Council's business hours are Monday to Friday, 8.30am-5pm.



Chinese Simplified

需要帮助吗?

本文件包含了重要的信息。如果您有不理解之处，请致电 131 450 联系翻译与传译服务中心。请他们代您致电 9847 6666 联系 Hornsby 郡议会。郡议会工作时间为周一至周五，早上 8:30 - 下午 5 点。



Chinese Traditional

需要幫助嗎?

本文件包含了重要的信息。如果您有不理解之處，請致電 131 450 聯繫翻譯與傳譯服務中心。請他們代您致電 9847 6666 聯繫 Hornsby 郡議會。郡議會工作時間為周一至周五，早上 8:30 - 下午 5 點。



German

Brauchen Sie Hilfe?

Dieses Dokument enthält wichtige Informationen. Wenn Sie es nicht verstehen, rufen Sie bitte den Übersetzer- und Dolmetscherdienst unter 131 450 an. Bitten Sie ihn darum, für Sie den Hornsby Shire Council unter der Nummer 9847 6666 zu kontaktieren. Die Geschäftszeiten der Stadtverwaltung sind Montag bis Freitag, 8.30-17 Uhr.



Hindi

?क्या आपको सहायता की आवश्यकता है?

इस दस्तावेज़ में महत्वपूर्ण जानकारी दी गई है। यदि आप इसे समझ न पाएँ, तो कृपया 131 450 पर अनुवाद और दुभाषिया सेवा को कॉल करें। उनसे हॉर्न्सबी शायर काउंसिल से संपर्क करने के लिए आपकी ओर से 9847 6666 पर फोन करने का निवेदन करें। काउंसिल के कार्यकाल का समय सोमवार से शुक़वार, सुबह 8.30 बजे-शाम 5 बजे तक है।



Korean

?도움이 필요하십니까

본 문서에는 중요한 정보가 포함되어 있습니다. 이해가 되지 않는 내용이 있으시면, 통역번역서비스(Translating and Interpreting Service)로 전화하셔서(131 450번) 귀하를 대신하여 혼즈비 셔 카운슬에 전화(9847 6666번)를 걸어 달라고 요청하십시오. 카운슬의 업무시간은 월요일~.금요일 오전 8시 30분~오후 5시입니다



Tagalog

Kailangan ng tulong?

Itong dokumento ay naglalaman ng mahalagang impormasyon. Kung hindi ninyo naiintindihan, pakitawagan ang Serbisyo sa Pagsasalinwika at Pag-iinterpretar (Translating and Interpreting Service) sa 131 450. Hilingin sa kanilang tawagan ang 9847 6666 para sa inyo upang kontakin ang Hornsby Shire Council. Ang oras ng opisina ng Council ay Lunes hanggang Biyernes, 8.30n.u.-5n.h.



Farsi

?دی‌راد کمک‌ه‌ب‌زاین

ک‌د‌ر‌ ا‌ر‌ ن‌ ا‌ م‌چ‌ ن‌ ا‌ ن‌ چ‌ . د‌ش‌ ا‌ب‌ ی‌ م‌ م‌م‌ ت‌ا‌ع‌ ا‌ ل‌ ط‌ ا‌ ی‌ و‌ ا‌ ح‌ د‌ن‌ س‌ ن‌ ی‌ ا‌ م‌ ه‌ب‌ ی‌ ه‌ ا‌ ف‌ ش‌ و‌ ی‌ ب‌ ت‌ ک‌ ه‌ م‌ ج‌ ر‌ ت‌ ت‌ ا‌ م‌ د‌ خ‌ ا‌ ب‌ ا‌ ف‌ ط‌ ل‌ ، د‌ ی‌ ن‌ ک‌ ی‌ م‌ن‌ ب‌ ن‌ ا‌ ج‌ ز‌ ا‌ د‌ ی‌ ا‌ و‌ خ‌ ب‌ ا‌ ه‌ ن‌ ا‌ ز‌ a‌ . د‌ ی‌ ر‌ ی‌ گ‌ ب‌ س‌ ا‌ م‌ ت‌ 450 131 ه‌ ر‌ ا‌ م‌ ش‌ ر‌ ی‌ ا‌ ش‌ ی‌ ب‌ ز‌ ن‌ ر‌ و‌ ه‌ ر‌ ه‌ ش‌ ی‌ ا‌ ر‌ و‌ ش‌ ا‌ ب‌ 9847 6666 ه‌ ر‌ a‌ M‌ ش‌ ا‌ ب‌ ا‌ م‌ ش‌ ا‌ ت‌ ه‌ ب‌ ن‌ ش‌ و‌ د‌ ر‌ ه‌ ش‌ ی‌ ا‌ ر‌ و‌ ش‌ ی‌ ر‌ a‌ ک‌ ت‌ a‌ ع‌ ا‌ S‌ . د‌ن‌ ر‌ ی‌ گ‌ ب‌ S‌ a‌ M‌ t‌ . ن‌ S‌ a‌ ر‌ ه‌ ظ‌ ا‌ د‌ ع‌ ب‌ 5 ا‌ ت‌ ح‌ ب‌ ص‌ 8:30 ز‌ a‌ ، ع‌ م‌ ج‌



ATTACHMENT 3 - ITEM 1

ATTACHMENT/S

REPORT NO. CS4/25

ITEM 2

- 1. HSC INVESTMENTS SUMMARY REPORT NOVEMBER
2024**
- 2. HSC BORROWINGS SUMMARY REPORT NOVEMBER
2024**
- 3. HSC INVESTMENTS SUMMARY REPORT DECEMBER
2024**
- 4. HSC BORROWINGS SUMMARY REPORT DECEMBER
2024**



Investment Summary Report
November 2024

ATTACHMENT 1 - ITEM 2

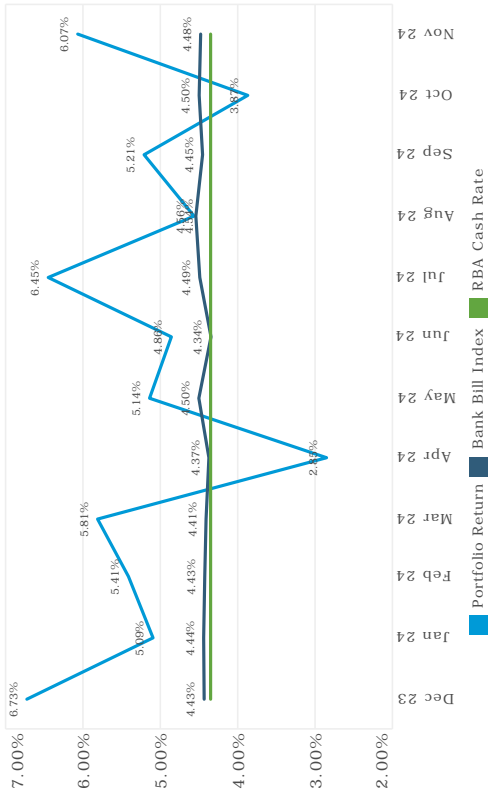


Hornsby Shire Council Executive Summary - November 2024

Investment Holdings

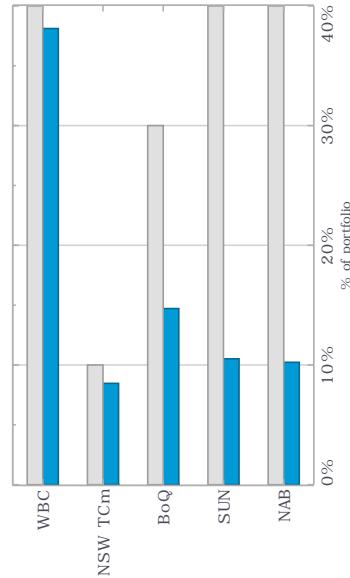
	Face Value (\$)	Current Value (\$)	Current Yield (%)	FYTD Yield (%)
Cash	49,226,241	49,226,241	4.3210	4.3297
Floating Rate Note	46,350,000	46,719,747	5.0901	5.0721
Managed Funds	24,591,745	24,591,745	19.8238	8.8631
Term Deposit	170,309,000	173,107,770	5.0191	5.0220
	290,476,986	293,645,504	6.0676	5.2223

Investment Performance

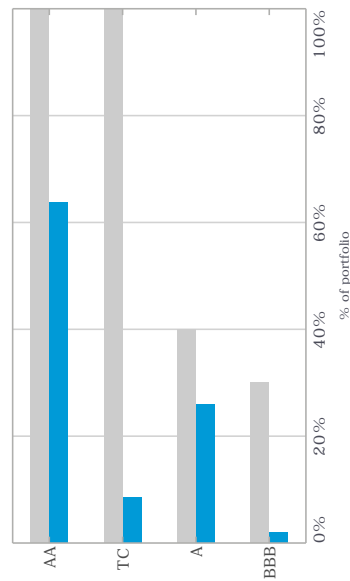


Investment Policy Compliance

Individual Institutional Exposures



Total Credit Exposure



Term to Maturities

Term	Face Value (\$)	Policy Max *
Between 0 and 0.25 years	86,685,241	30%
Between 0.25 and 1 years	50,250,000	17%
Between 1 and 2 years	24,450,000	8%
Between 2 and 5 years	104,500,000	36%
Between 5 and 10 years	24,591,745	8%
	290,476,986	25%

* Council always retains the flexibility to invest as short as required by internal requirements or the economic outlook

g Portfolio Exposure Investment Policy Limit



ATTACHMENT 1 - ITEM 2



Hornsby Shire Council
Investment Holdings Report - November 2024

Cash Accounts

Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Current Value (\$)
24,654.16	4.8000%	Westpac Group	AA-	24,654.16
60,912.13	4.8000%	AMP Bank	BBB+	60,912.13
1,622,843.33	4.4826%	Macquarie Bank	A+	1,622,843.33
8,405,749.23	4.1500%	Bendigo and Adelaide Bank	A-	8,405,749.23
12,369,404.24	4.3500%	Westpac Group	AA-	12,369,404.24
26,742,678.33	4.3500%	Bank of Queensland	A-	26,742,678.33
49,226,241.42	4.3210%			49,226,241.42

Managed Funds

Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Funds Name	Current Value (\$)
24,591,744.77	19.8238%	NSW T-Corp (MT)	TCm	Medium Term Growth Fund	24,591,744.77
24,591,744.77	19.8238%				24,591,744.77

Term Deposits

Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Book Value (\$)	Current Value (\$)
28-Aug-24	2-Jan-25	127	5,000,000.00	4.9500%	Suncorp Bank	AA-	5,000,000.00	5,064,417.81
5-Sep-24	6-Jan-25	123	5,000,000.00	4.9500%	National Australia Bank	AA-	5,000,000.00	5,058,993.15
6-Nov-24	5-Feb-25	91	5,000,000.00	5.0000%	National Australia Bank	AA-	5,000,000.00	5,017,123.29
20-Nov-24	19-Feb-25	91	5,000,000.00	5.0000%	National Australia Bank	AA-	5,000,000.00	5,007,534.25
28-Aug-24	26-Feb-25	182	5,000,000.00	5.0000%	National Australia Bank	AA-	5,000,000.00	5,065,068.49
29-Feb-24	28-Feb-25	365	8,000,000.00	5.0500%	Suncorp Bank	AA-	8,000,000.00	8,305,490.41
3-Sep-24	28-Feb-25	178	61,000.00	3.7500%	Westpac Group	AA-	61,000.00	61,557.77
3-Sep-24	28-Feb-25	178	198,000.00	3.7500%	Westpac Group	AA-	198,000.00	199,810.48
16-Sep-24	17-Mar-25	182	5,000,000.00	4.9600%	Suncorp Bank	AA-	5,000,000.00	5,051,638.36
24-Sep-24	24-Mar-25	181	5,000,000.00	5.0400%	Suncorp Bank	AA-	5,000,000.00	5,048,947.95
23-Oct-24	23-Apr-25	182	5,000,000.00	5.0500%	National Australia Bank	AA-	5,000,000.00	5,026,979.45
22-Aug-24	22-Aug-25	365	50,000.00	4.2500%	Westpac Group	AA-	50,000.00	50,588.01



ATTACHMENT 1 - ITEM 2



Hornsby Shire Council
Investment Holdings Report - November 2024

Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Book Value (\$)	Current Value (\$)
11-Sep-23	11-Sep-25	731	30,000,000.00	5.2800%	Westpac Group	AA-	30,000,000.00	30,351,517.81
16-Aug-23	16-Aug-27	1461	8,000,000.00	5.1500%	ANZ Banking Group	AA-	8,000,000.00	8,120,778.08
23-Aug-23	23-Aug-27	1461	5,000,000.00	5.2200%	ING Bank (Australia)	A	5,000,000.00	5,071,506.85
30-Aug-23	30-Aug-27	1461	8,000,000.00	5.2800%	Westpac Group	AA-	8,000,000.00	8,107,625.21
6-Feb-23	7-Feb-28	1827	10,000,000.00	4.1300%	Westpac Group	AA-	10,000,000.00	10,338,320.55
6-Feb-23	7-Feb-28	1827	5,000,000.00	4.1200%	Westpac Group	AA-	5,000,000.00	5,168,750.68
6-Feb-23	7-Feb-28	1827	10,000,000.00	4.0900%	Westpac Group	AA-	10,000,000.00	10,335,043.84
28-Jul-23	28-Jul-28	1827	8,000,000.00	5.3200%	Bank of Queensland	A-	8,000,000.00	8,145,753.42
9-Aug-23	9-Aug-28	1827	8,000,000.00	5.2200%	Bank of Queensland	A-	8,000,000.00	8,130,428.49
4-Sep-23	4-Sep-28	1827	15,000,000.00	5.2800%	Westpac Group	AA-	15,000,000.00	15,190,947.95
4-Sep-23	4-Sep-28	1827	15,000,000.00	5.2800%	Westpac Group	AA-	15,000,000.00	15,190,947.95
			170,309,000.00	5.0191%			170,309,000.00	173,107,770.25
Floating Rate Notes								
Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Security Name	Credit Rating	Book Value (\$)	Current Value (\$)
4-Feb-20	4-Feb-25	1827	4,200,000.00	5.5411%	NPBS Snr FRN (Feb25) BBSW+1.12%	BBB+	4,183,872.00	4,220,394.42
17-Mar-22	17-Mar-25	1096	4,000,000.00	5.3977%	BEN Snr FRN (Mar25) BBSW+0.98%	A-	3,997,640.00	4,050,644.66
22-Aug-22	22-Aug-25	1096	1,200,000.00	5.3529%	SUN Snr FRN (AUG25) BBSW+0.93%	AA-	1,200,000.00	1,206,047.87
2-Dec-20	2-Dec-25	1826	3,400,000.00	4.9166%	BEN Snr FRN (Dec25) BBSW+0.52%	A-	3,320,984.00	3,442,204.62
9-Dec-20	9-Dec-25	1826	10,000,000.00	4.8853%	MAC Snr FRN (Dec25) BBSW+0.48%	A+	9,776,443.50	10,114,007.88
24-Feb-21	24-Feb-26	1826	2,100,000.00	4.8651%	SUN Snr FRN (Feb26) BBSW+0.45%	AA-	2,047,584.00	2,100,839.46
24-Aug-21	24-Aug-26	1826	4,700,000.00	4.8251%	NAB Snr FRN (Aug26) BBSW+0.41%	AA-	4,592,840.00	4,695,690.89
15-Sep-21	15-Sep-26	1826	4,250,000.00	4.8961%	SUN Snr FRN (Sep26) BBSW+0.48%	AA-	4,129,002.50	4,286,909.63
23-Sep-21	23-Dec-26	1917	6,000,000.00	4.8383%	CBA Green Snr FRN (Dec26) BBSW+0.41%	AA-	5,850,960.00	6,037,298.25
10-Feb-22	10-Feb-27	1826	1,500,000.00	5.4131%	NPBS Snr FRN (Feb27) BBSW+1.00%	BBB+	1,460,115.00	1,505,289.12



ATTACHMENT 1 - ITEM 2



Hornsby Shire Council
Investment Holdings Report - November 2024

Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Security Name	Credit Rating	Book	Value (\$)	Current Value (\$)
11-Nov-22	11-Nov-27	1826	5,000,000.00	5.6431%	WBC Smr FRN (Nov27) BBSW+1.23%	AA-		5,000,000.00	5,060,420.55
46,350,000.00									46,719,747.35
Total Investments									
Face Value (\$)									Current Value (\$)
290,476,986.19									293,645,503.79



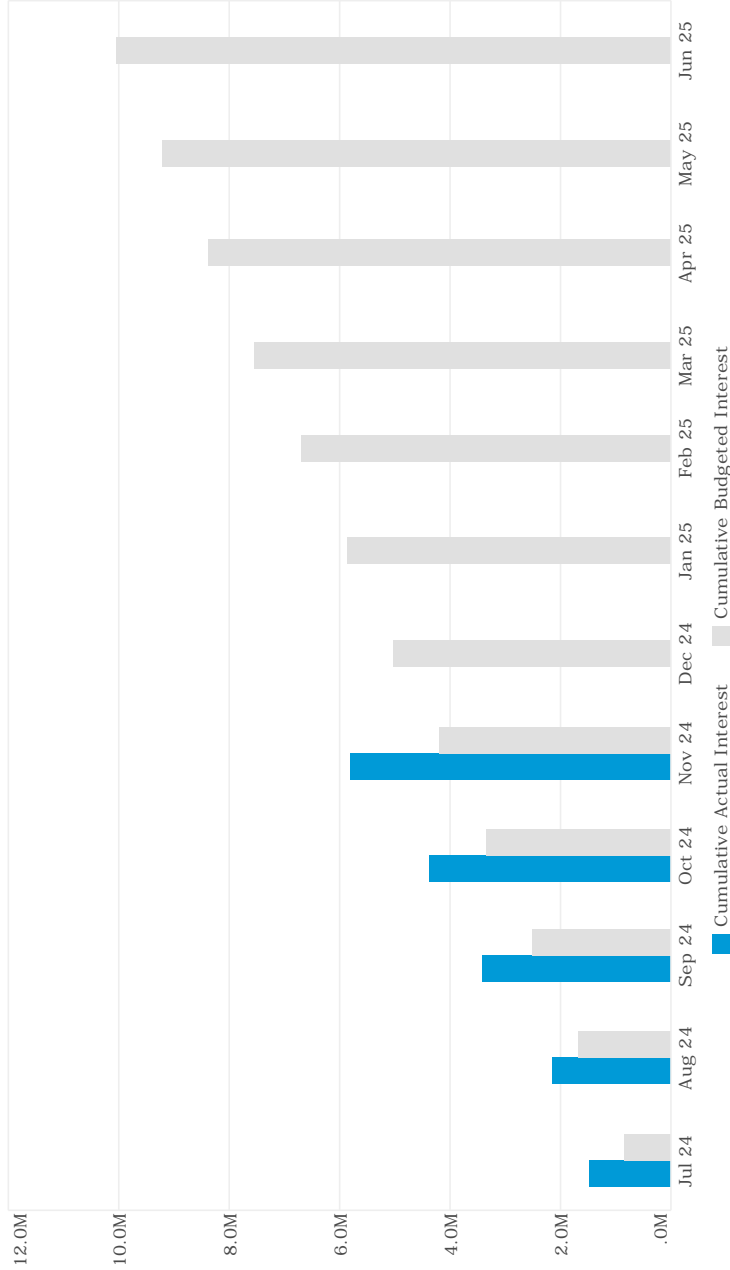
ATTACHMENT 1 - ITEM 2



Hornsby Shire Council
Investment Budget Report - November 2024

Budgeted vs Actual Returns

	Cumulative Actual Income	Cumulative Budgeted Income
July 2024	1,472,994	837,106
August 2024	2,138,225	1,674,212
September 2024	3,410,342	2,511,318
October 2024	4,377,776	3,348,424
November 2024	5,803,771	4,185,530
Budget Target		9,823,719



ATTACHMENT 1 - ITEM 2

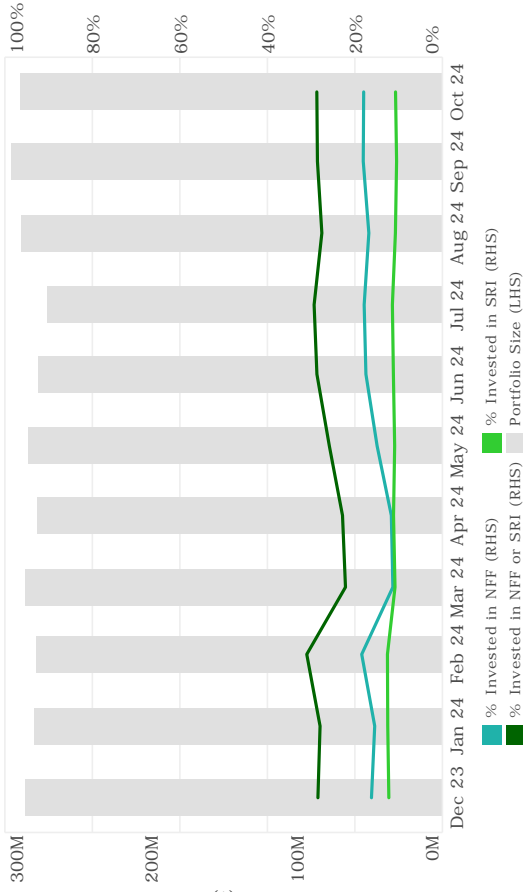
Hornsby Shire Council
Environmental Commitments Report - November 2024



Current Breakdown

Historical Portfolio Exposure to NFF Lending ADIs and SRI's

ADI Lending Status *	Current Month (\$)	Previous Month (\$)
Fossil Fuel Lending ADIs		
ANZ Group	8,000,000	8,000,000
ING Bank Australia	5,000,000	5,000,000
Macquarie Bank	11,622,843	11,616,886
National Australia Bank	29,700,000	29,700,000
Westpac Group	85,703,058	85,259,472
	140,025,902	139,576,358
	48%	48%
Non Fossil Fuel Lending ADIs		
AMP Bank	60,912	60,653
Bank of Queensland	42,742,678	42,647,405
Bendigo and Adelaide Bank	15,805,749	15,777,175
Newcastle Greater Mutual Group	5,700,000	5,700,000
Suncorp Bank	30,550,000	30,550,000
Other	94,859,340	94,735,233
	33%	33%



Green Products Summary

	Current Month (\$)	Previous Month (\$)
AMP Bank	60,912	60,653
Bank of Queensland	42,742,678	42,647,405
Bendigo and Adelaide Bank	15,805,749	15,777,175
CBA (Green)	6,000,000	6,000,000
Newcastle Greater Mutual Group	5,700,000	5,700,000
Suncorp Bank	30,550,000	30,550,000
Westpac Group (Green TD)	25,000,000	25,000,000
	125,859,340	125,735,233
	43%	43%
	289,476,986	289,540,494

* source: Marketforces

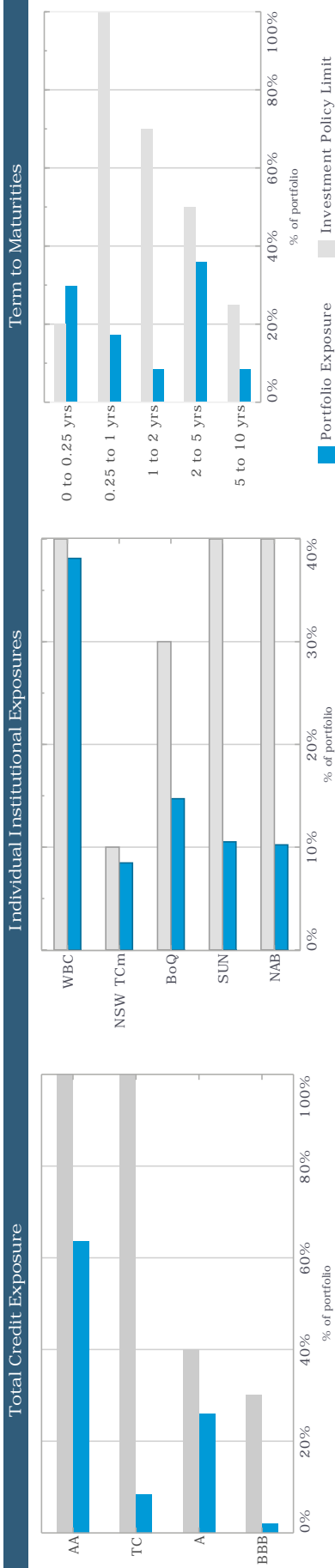
Percentages may not add up to 100% due to rounding



ATTACHMENT 1 - ITEM 2



Hornsby Shire Council
Investment Policy Compliance Report - November 2024



Credit Rating Group	Face Value (\$)	Policy Max
AA	184,953,058	64%
TC	24,591,745	8%
A	75,171,271	26%
BBB	5,760,912	2%
	290,476,986	30%

Institution	% of portfolio	% of Investment portfolio Policy Limit
Westpac Group (AA-)	38%	40%
NSW T-Corp (TCm)	8%	10%
Bank of Queensland (A-)	15%	30%
Suncorp Bank (AA-)	11%	40%
National Australia Bank (AA-)	10%	40%
Bendigo and Adelaide Bank (A-)	5%	30%
Macquarie Bank (A+)	4%	30%
Newcastle Greater Mutual Group (BBB+)	2%	15%
ANZ Group (AA-)	3%	40%
ING Bank Australia (A)	2%	30%
Commonwealth Bank of Australia (AA-)	2%	40%

Specific Sub Limits	Face Value (\$)	Policy Max
BBB+	5,760,912	2%
	290,476,986	30%

* Council always retains the flexibility to invest as short as required by internal requirements or the economic outlook

a = compliant
r = non-compliant





HORNSBY SHIRE COUNCIL SCHEDULE OF BORROWINGS AS AT 30 NOVEMBER 2024

1. LOANS	Lender	Date Drawn	Maturity Date	\$'000 Amount Borrowed	\$'000 01/07/2024 Opening Balance	\$'000 2024/25 YTD Repayments Principal	\$'000 Closing Balance	%	Fixed Interest Rate %
None									

2. OPERATING LEASES	Lessor	Date Executed	Expiry date	\$'000 Total Lease Payments	\$'000 01/07/2024 Opening Balance	\$'000 New Leases	\$'000 2024/2025 Repayments YTD	\$'000 Closing Balance
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (118)	15-Aug-22	15-May-26	34	17	-	4	13
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (119)	15-Nov-22	15-Aug-27	64	41	-	6	35
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (120)	15-Aug-23	15-Aug-28	31	25	-	3	22
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (121)	15-Nov-23	15-Nov-28	453	382	-	45	337
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (122)	15-Nov-23	15-Nov-27	134	109	-	17	92
	TOTAL			716	574	0	75	498

ATTACHMENT 2 - ITEM 2



Investment Summary Report
December 2024

ATTACHMENT 3 - ITEM 2

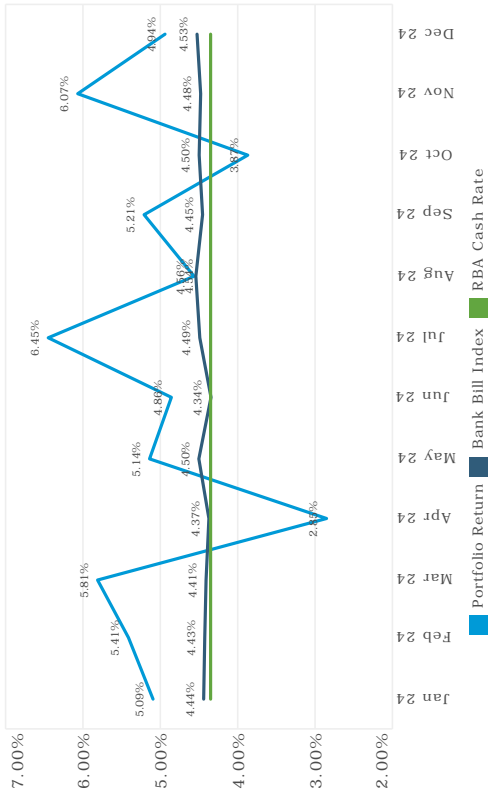


Hornsby Shire Council Executive Summary - December 2024

Investment Holdings

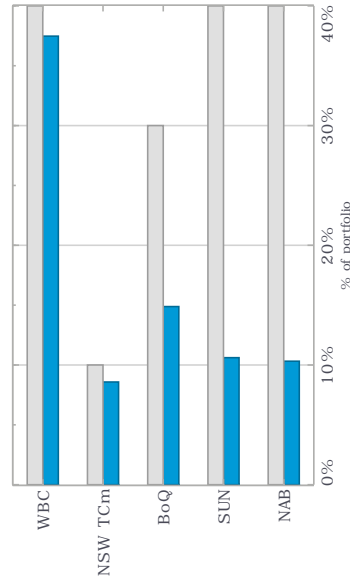
	Face Value (\$)	Current Value (\$)	Current Yield (%)	FYTD Yield (%)
Cash	46,547,441	46,547,441	4.3303	4.3302
Floating Rate Note	46,350,000	46,577,489	5.1115	5.0786
Managed Funds	24,700,741	24,700,741	5.3450	8.2622
Term Deposit	170,309,000	173,833,759	5.0191	5.0215
	287,907,182	291,659,430	4.9392	5.1746

Investment Performance

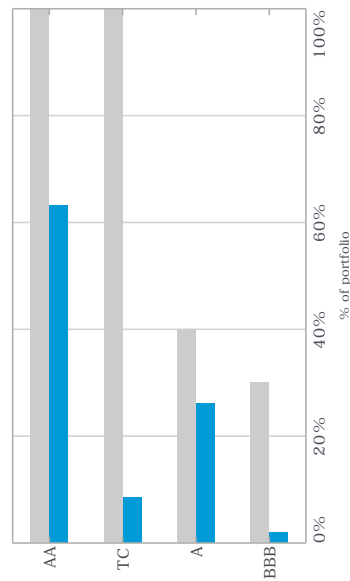


Investment Policy Compliance

Individual Institutional Exposures



Total Credit Exposure



Term to Maturities

	Face Value (\$)	Policy Max *
Between 0 and 0.25 years	98,006,441	34%
Between 0.25 and 1 years	49,650,000	17%
Between 1 and 2 years	17,050,000	6%
Between 2 and 5 years	98,500,000	34%
Between 5 and 10 years	24,700,741	9%
	287,907,182	25%

* Council always retains the flexibility to invest as short as required by internal requirements or the economic outlook

g Portfolio Exposure Investment Policy Limit



ATTACHMENT 3 - ITEM 2



Hornsby Shire Council
Investment Holdings Report - December 2024

Cash Accounts

Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Current Value (\$)
24,757.90	4.8000%	Westpac Group	AA-	24,757.90
61,175.97	5.1000%	AMP Bank	BBB+	61,175.97
1,629,441.09	4.7869%	Macquarie Bank	A+	1,629,441.09
8,435,376.60	4.1500%	Bendigo and Adelaide Bank	A-	8,435,376.60
9,555,210.02	4.3500%	Westpac Group	AA-	9,555,210.02
26,841,479.70	4.3500%	Bank of Queensland	A-	26,841,479.70
46,547,441.28	4.3303%			46,547,441.28

Managed Funds

Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Funds Name	Current Value (\$)
24,700,740.77	5.3450%	NSW T-Corp (MT)	TCm	Medium Term Growth Fund	24,700,740.77
24,700,740.77	5.3450%				24,700,740.77

Term Deposits

Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Book Value (\$)	Current Value (\$)
28-Aug-24	2-Jan-25	127	5,000,000.00	4.9500%	Suncorp Bank	AA-	5,000,000.00	5,085,438.36
5-Sep-24	6-Jan-25	123	5,000,000.00	4.9500%	National Australia Bank	AA-	5,000,000.00	5,080,013.70
6-Nov-24	5-Feb-25	91	5,000,000.00	5.0000%	National Australia Bank	AA-	5,000,000.00	5,038,356.16
20-Nov-24	19-Feb-25	91	5,000,000.00	5.0000%	National Australia Bank	AA-	5,000,000.00	5,028,767.12
28-Aug-24	26-Feb-25	182	5,000,000.00	5.0000%	National Australia Bank	AA-	5,000,000.00	5,086,301.37
29-Feb-24	28-Feb-25	365	8,000,000.00	5.0500%	Suncorp Bank	AA-	8,000,000.00	8,339,802.74
3-Sep-24	28-Feb-25	178	61,000.00	3.7500%	Westpac Group	AA-	61,000.00	61,752.05
3-Sep-24	28-Feb-25	178	198,000.00	3.7500%	Westpac Group	AA-	198,000.00	200,441.10
16-Sep-24	17-Mar-25	182	5,000,000.00	4.9600%	Suncorp Bank	AA-	5,000,000.00	5,072,701.37
24-Sep-24	24-Mar-25	181	5,000,000.00	5.0400%	Suncorp Bank	AA-	5,000,000.00	5,068,350.68
23-Oct-24	23-Apr-25	182	5,000,000.00	5.0500%	National Australia Bank	AA-	5,000,000.00	5,048,424.66
22-Aug-24	22-Aug-25	365	50,000.00	4.2500%	Westpac Group	AA-	50,000.00	50,768.49



ATTACHMENT 3 - ITEM 2



Hornsby Shire Council
Investment Holdings Report - December 2024

Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Book Value (\$)	Current Value (\$)
11-Sep-23	11-Sep-25	731	30,000,000.00	5.2800%	Westpac Group	AA-	30,000,000.00	30,486,049.32
16-Aug-23	16-Aug-27	1461	8,000,000.00	5.1500%	ANZ Banking Group	AA-	8,000,000.00	8,155,769.86
23-Aug-23	23-Aug-27	1461	5,000,000.00	5.2200%	ING Bank (Australia)	A	5,000,000.00	5,093,673.97
30-Aug-23	30-Aug-27	1461	8,000,000.00	5.2800%	Westpac Group	AA-	8,000,000.00	8,143,500.27
6-Feb-23	7-Feb-28	1827	10,000,000.00	4.1300%	Westpac Group	AA-	10,000,000.00	10,373,397.26
6-Feb-23	7-Feb-28	1827	5,000,000.00	4.1200%	Westpac Group	AA-	5,000,000.00	5,186,246.58
6-Feb-23	7-Feb-28	1827	10,000,000.00	4.0900%	Westpac Group	AA-	10,000,000.00	10,369,780.82
28-Jul-23	28-Jul-28	1827	8,000,000.00	5.3200%	Bank of Queensland	A-	8,000,000.00	8,181,900.27
9-Aug-23	9-Aug-28	1827	8,000,000.00	5.2200%	Bank of Queensland	A-	8,000,000.00	8,165,895.89
4-Sep-23	4-Sep-28	1827	15,000,000.00	5.2800%	Westpac Group	AA-	15,000,000.00	15,258,213.70
4-Sep-23	4-Sep-28	1827	15,000,000.00	5.2800%	Westpac Group	AA-	15,000,000.00	15,258,213.70
			170,309,000.00	5.0191%			170,309,000.00	173,833,759.44

Floating Rate Notes

Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Security Name	Credit Rating	Book Value (\$)	Current Value (\$)
4-Feb-20	4-Feb-25	1827	4,200,000.00	5.5411%	NPBS Snr FRN (Feb25) BBSW+1.12%	BBB+	4,183,872.00	4,238,550.06
17-Mar-22	17-Mar-25	1096	4,000,000.00	5.4456%	BEN Snr FRN (Mar25) BBSW+0.98%	A-	3,997,640.00	4,014,189.79
22-Aug-22	22-Aug-25	1096	1,200,000.00	5.3529%	SUN Snr FRN (AUG25) BBSW+0.93%	AA-	1,200,000.00	1,210,807.43
2-Dec-20	2-Dec-25	1826	3,400,000.00	4.9560%	BEN Snr FRN (Dec25) BBSW+0.52%	A-	3,320,984.00	3,415,073.64
9-Dec-20	9-Dec-25	1826	10,000,000.00	4.9197%	MAC Snr FRN (Dec25) BBSW+0.48%	A+	9,776,443.50	10,034,720.15
24-Feb-21	24-Feb-26	1826	2,100,000.00	4.8651%	SUN Snr FRN (Feb26) BBSW+0.45%	AA-	2,047,584.00	2,109,369.66
24-Aug-21	24-Aug-26	1826	4,700,000.00	4.8251%	NAB Snr FRN (Aug26) BBSW+0.41%	AA-	4,592,840.00	4,714,575.63
15-Sep-21	15-Sep-26	1826	4,250,000.00	4.9399%	SUN Snr FRN (Sep26) BBSW+0.48%	AA-	4,129,002.50	4,253,465.60
23-Sep-21	23-Dec-26	1917	6,000,000.00	4.8613%	CBA Green Snr FRN (Dec26) BBSW+0.41%	AA-	5,850,960.00	5,991,772.06
10-Feb-22	10-Feb-27	1826	1,500,000.00	5.4131%	NPBS Snr FRN (Feb27) BBSW+1.00%	BBB+	1,460,115.00	1,512,470.26



ATTACHMENT 3 - ITEM 2



Hornsby Shire Council
Investment Holdings Report - December 2024

Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Security Name	Credit Rating	Book	Value (\$)	Current Value (\$)
11-Nov-22	11-Nov-27	1826	5,000,000.00	5.6431%	WBC Smr FRN (Nov27) BBSW+1.23%	AA-		5,000,000.00	5,082,494.40
									46,577,488.68
Total Investments									
									291,659,430.17



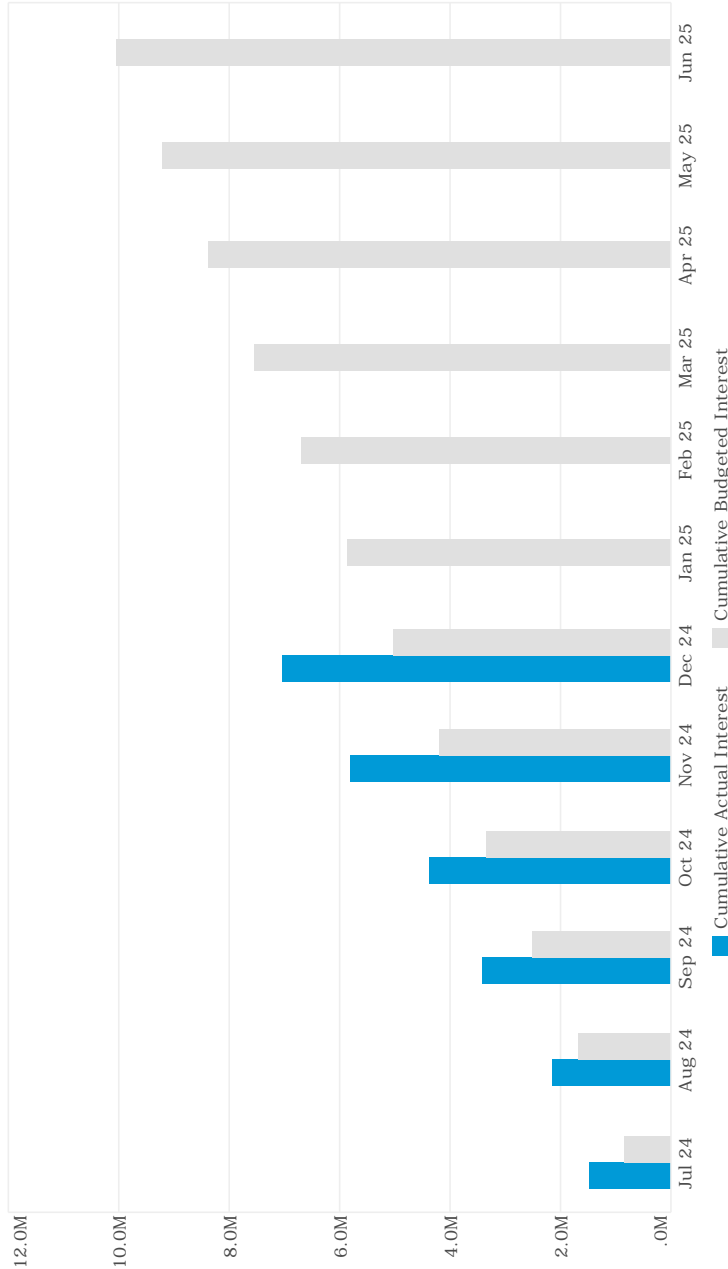
ATTACHMENT 3 - ITEM 2



Hornsby Shire Council
Investment Budget Report - December 2024

Budgeted vs Actual Returns

	Cumulative Actual Income	Cumulative Budgeted Income
July 2024	1,472,994	837,106
August 2024	2,138,225	1,674,212
September 2024	3,410,342	2,511,318
October 2024	4,377,776	3,348,424
November 2024	5,803,771	4,185,530
December 2024	7,027,072	5,022,636
Budget Target		9,823,719



ATTACHMENT 3 - ITEM 2

Hornsby Shire Council
Environmental Commitments Report - December 2024



Current Breakdown

ADI Lending Status *	Current Month (\$)	Previous Month (\$)
Fossil Fuel Lending ADIs		
ANZ Group	8,000,000	8,000,000
ING Bank Australia	5,000,000	5,000,000
Macquarie Bank	11,629,441	11,622,843
National Australia Bank	29,700,000	29,700,000
Westpac Group	82,888,968	85,703,058
	137,218,409	140,025,902
	48%	48%
Non Fossil Fuel Lending ADIs		
AMP Bank	61,176	60,912
Bank of Queensland	42,841,480	42,742,678
Bendigo and Adelaide Bank	15,835,377	15,805,749
Newcastle Greater Mutual Group	5,700,000	5,700,000
Suncorp Bank	30,550,000	30,550,000
	94,988,032	94,859,340
	33%	33%

Other

NSW T-Corp (MT)	24,700,741	24,591,745
	24,700,741	24,591,745
	9%	8%

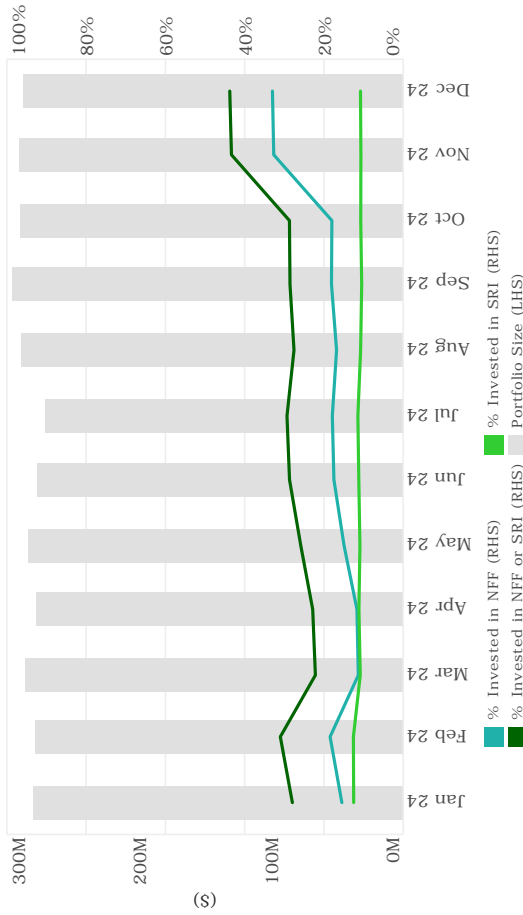
Socially Responsible Investment

CBA (Green)	6,000,000	6,000,000
Westpac Group (Green TD)	25,000,000	25,000,000
	31,000,000	31,000,000
	11%	11%
	287,907,182	290,476,986

* source: Marketforces

Percentages may not add up to 100% due to rounding

Historical Portfolio Exposure to NFF Lending ADIs and SRI's



Green Products Summary

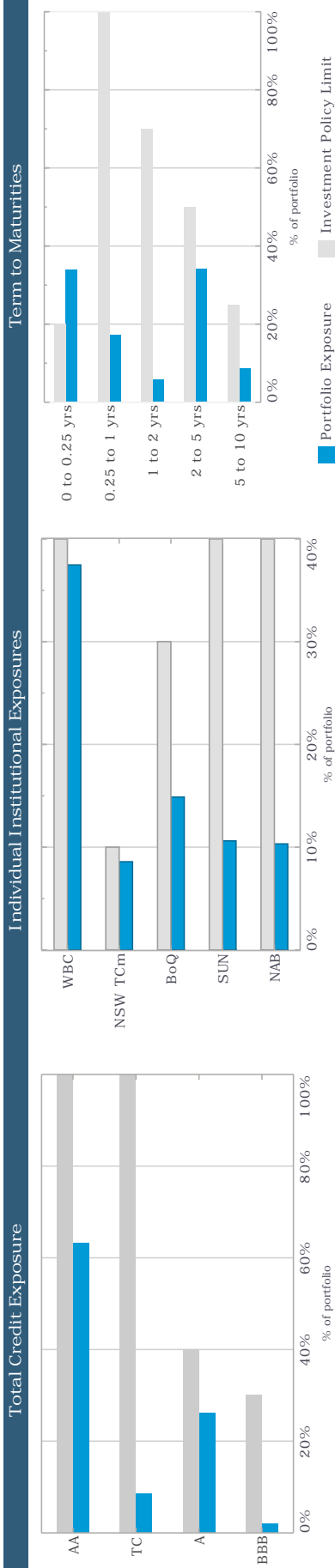
	Current Month (\$)	Previous Month (\$)
AMP Bank	61,176	60,912
Bank of Queensland	42,841,480	42,742,678
Bendigo and Adelaide Bank	15,835,377	15,805,749
CBA (Green)	6,000,000	6,000,000
Newcastle Greater Mutual Group	5,700,000	5,700,000
Suncorp Bank	30,550,000	30,550,000
Westpac Group (Green TD)	25,000,000	25,000,000
	125,988,032	125,859,340
	44%	43%
	287,907,182	290,476,986



ATTACHMENT 3 - ITEM 2



Hornsby Shire Council
Investment Policy Compliance Report - December 2024



Credit Rating Group	Face Value (\$)	Policy Max
AA	182,138,968	63%
TC	24,700,741	9%
A	75,306,297	26%
BBB	5,761,176	2%
	287,907,182	30%

Institution	% of portfolio	% of Investment portfolio Policy Limit
Westpac Group (AA-)	37%	40%
NSW T-Corp (TCm)	9%	10%
Bank of Queensland (A-)	15%	30%
Suncorp Bank (AA-)	11%	40%
National Australia Bank (AA-)	10%	40%
Bendigo and Adelaide Bank (A-)	6%	30%
Macquarie Bank (A+)	4%	30%
Newcastle Greater Mutual Group (BBB+)	2%	15%
ANZ Group (AA-)	3%	40%
ING Bank Australia (A)	2%	30%
Commonwealth Bank of Australia (AA-)	2%	40%

Specific Sub Limits	Face Value (\$)	Policy Max
BBB+	5,761,176	2%
	287,907,182	30%

a = compliant
r = non-compliant

* Council always retains the flexibility to invest as short as required by internal requirements or the economic outlook





HORNSBY SHIRE COUNCIL SCHEDULE OF BORROWINGS AS AT 31 DECEMBER 2024

1. LOANS	Lender	Date Drawn	Maturity Date	\$'000 Amount Borrowed	\$'000 01/07/2024 Opening Balance	\$'000 2024/25 YTD Repayments Principal	\$'000 Closing Balance	%
None								

2. OPERATING LEASES	Lessor	Date Executed	Expiry date	\$'000 Total Lease Payments	\$'000 01/07/2024 Opening Balance	\$'000 New Leases	\$'000 2024/2025 Repayments YTD	\$'000 Closing Balance
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (118)	15-Aug-22	15-May-26	34	17	-	4	13
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (119)	15-Nov-22	15-Aug-27	64	41	-	6	35
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (120)	15-Aug-23	15-Aug-28	31	25	-	3	22
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (121)	15-Nov-23	15-Nov-28	453	382	-	45	337
	Vestone Capital Pty Ltd - previously known as Macquarie Equipment Finance (122)	15-Nov-23	15-Nov-27	134	109	-	17	92
	TOTAL			716	574	0	75	498

ATTACHMENT 4 - ITEM 2

ATTACHMENT/S

REPORT NO. PC1/25

ITEM 4

- 1. DPHI NOMINATION FORM - MINIMUM LOT SIZE**
- 2. DRAFT RESPONSE LETTER AND FORM DUAL
OCCUPANCY MINIMUM LOT SIZE**
- 3. DUAL OCCUPANCY R2 ZONE LOT PARAMETERS
INVESTIGATION REPORT**

Department of Planning, Housing and Infrastructure
Form



Dual Occupancy Minimum Lot Size Form

Please complete this form and return to the Department if Council would like to introduce a minimum lot size for dual occupancies in the LEP

Councils where dual occupancies have been newly permitted in the R2 Low Density Residential Zone under Stage 1 of the Low and Mid-Rise Housing (LMR) policy are invited to propose a minimum lot size for dual occupancies in the LEP.

Subject to consideration of proposed lot sizes, the Department intends on making a self-repealing SEPP that will amend the relevant LEPs without the need for individual planning proposals.

Before completing this form, please read the information on the following page including considerations to be had in setting a minimum lot size.

It would be appreciated if a draft response is provided by **13 December 2024** and a final response with council endorsement by **14 February 2025**. Please send the form and any questions you may have to the team at lowandmidrisehousing@planning.nsw.gov.au.

1. What is Council's proposed minimum lot size for dual occupancies in the R2 zone?

[Answer here]

2. Which LEP should this apply to?

[Answer here]

3. What is the justification for the lot size? Please attach any supporting information and evidence

[Answer here]

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ATTACHMENT 1 - ITEM 4

Department of Planning, Housing and Infrastructure Form



Background information

Considerations when setting a minimum lot size

Stage 1 of the LMR policy aims to encourage housing supply by making dual occupancies permissible in the R2 Low Density Residential Zone across the state. Setting appropriate controls for dual occupancies is also important to create certainty and to ensure they are delivered at contextually appropriate densities and are well designed.

Based on a review of minimum lot sizes for dual occupancies across a range of NSW Council's, it is expected that the minimum lot size is set so that **at least 50% of R2 lots** will be compliant (i.e. the median R2 lot size, or lower). Within the Sydney metropolitan area, this equates to around 300m² within inner city small lot areas, up to 900m² in larger lot suburban fringe areas. In regional contexts, there is more variability and local considerations.

Stage 1 Low and Mid-Rise Housing Policy

Stage 1 of the Low and Mid-Rise Housing (LMR) Policy commenced on 1 July 2024 through an amendment to the Housing SEPP 2021. It made dual occupancies and semi-detached dwellings permitted with consent in all R2 Low Density Residential zones (except for some lands affected by certain hazards such as a bushfire). This resulted in dual occupancies becoming newly permitted in the R2 zone in the following Local Government Areas:

- Albury
- Ballina
- Cowra
- Hornsby
- Inner West
- Ku-ring-gai
- Lismore
- Liverpool
- Mosman
- Murray River
- Northern Beaches (Warringah LEP)

Department of Planning, Housing and Infrastructure Form



ATTACHMENT 1 - ITEM 4

- Strathfield
- Tamworth

Complying development temporarily paused

Complying development for dual occupancies in the R2 zone has been temporarily paused in areas where they have been newly permitted to enable Councils to consider and, if necessary, implement a minimum lot size.

The State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 (Codes SEPP) allows dual occupancies as complying development if they are permitted with consent and meet the development standards. The minimum lot size standard is the greater of the LEP lot size or 400m².

Councils where dual occupancies have been newly permitted may not have a minimum lot size, so unless one is implemented, the 400m² default will apply to complying development.

Stage 2 Low and Mid-Rise Housing Policy

Stage 2 of the Low and Mid-Rise Housing (LMR) Policy is being finalised and is planned to commence in late 2024. It is for the bulk and remainder of the policy.

Stage 2 will encourage more housing in residential areas within 800m walking distance from nominated town centres and nominated stations (known as 'local housing areas'). It will expand permissibility and introduce non-discretionary development standards for dual occupancies, terraces, townhouses and apartment buildings in these areas.

Within local housing areas, the following non-discretionary development standards are proposed to apply for dual occupancies:

- Lot size: min 450m²
- Lot width: min 12m
- Car parking spaces: min 1 per dwelling
- FSR: 0.65:1

Department of Planning, Housing and Infrastructure
Form



ATTACHMENT 1 - ITEM 4

- Height: 9.5m

These standards will only apply within local housing areas within R1 to R4 zones (where dual occupancies are permitted). They will only apply to development applications. Council's minimum lot size for dual occupancies will apply outside these areas for development applications, and in all areas for complying development.

The nominated centres and stations are being finalised based on a detailed assessment of goods and services, frequent and convenient public transport and infrastructure capacity.



OFFICE OF THE GENERAL MANAGER

12 December 2024

Kristy Chan
 A/Executive Director, Strategic Planning & Policy
 Department of Planning, Housing and Infrastructure

Via email: lowandmidrisehousing@planning.nsw.gov.au

Dear Ms Chan

Draft response to DPHI Dual Occupancy Minimum Lot Size Request

Thank you for the opportunity to provide suggested minimum lot size controls for dual occupancies in Hornsby Shire.

As you would be aware, Council's approach for planning for housing growth is based on the identification of discreet precincts across the Shire that are least constrained, where housing would best be located and infrastructure can be planned. Dual occupancy development permitted across the Shire raises issues for Council for how a dispersed population will be serviced and accommodated and could lead to a widespread change in character of our low density areas.

The ability to introduce an appropriate minimum lot size for dual occupancies is appreciated as it allows Council to be more responsive to local character, vegetation and landscaping.

With the assistance of a consultant, an analysis of lot sizes and distribution across the Shire has been undertaken to produce the following draft minimum lot sizes for dual occupancy development within Hornsby Shire.

	Dual occupancy (attached)		Dual occupancy (detached)	
	Parent	Child	Parent	Child
Land not within a HCA	700sqm	350sqm	800sqm	400sqm
Land within a HCA	800sqm	400sqm	900sqm	450sqm

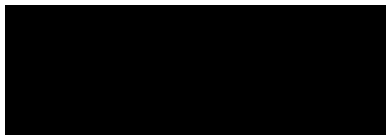
The above lot sizes meet the required consideration that at least 50% of R2 lots will be compliant, as well as Council's own considerations about local character, landscaping and vegetation and heritage conversation areas.

A draft response to the DPHI Dual Occupancy Minimum Lot Size Form is attached. Please note that these are officer level suggestions as the matter has not been reported to a formal meeting of the Council. A report is scheduled to be presented to Council's meeting on 12 February 2025, enabling an endorsed position to be submitted by the due date of 14 February 2025.

ATTACHMENT 2 - ITEM 4

Should you wish to discuss Council's draft response prior to the scheduled February Council meeting where formal endorsement will be sought, please do not hesitate to contact James Farrington on 9847 6750 or jfarrington@hornsby.nsw.gov.au

Yours faithfully



Steven Head
General Manager

Trim reference: F2018/00162-002#003

Attachments: Dual Occupancy Minimum Lot Size Form
Mecone Dual Occupancy R2 Zone Lot Parameters Investigation (Dec 2024)

DPHI Dual Occupancy Minimum Lot Size Form**Question 1: What is Council's proposed minimum lot size for dual occupancies in the R2 zone?**

The following lot sizes depend on the form of housing - dual occupancy (attached) and dual occupancy (detached) – and the location of housing – within or not within a heritage conservation area. The lots are indicated by permissibility (parent lot) and subsequent subdivision minimum lot size (child lot).

	Dual occupancy (attached)		Dual occupancy (detached)	
	Parent	Child	Parent	Child
Land not within a HCA	700sqm	350sqm	800sqm	400sqm
Land within a HCA	800sqm	400sqm	900sqm	450sqm
A minimum frontage width of 16m is proposed for parent lots				

It is anticipated that new clauses would be required under Hornsby LEP Part 4 Principal Development Standards to give effect to these lot sizes and lot width. Sample clauses have been drafted to show Council's intent for the implementation of the lot sizes.

We welcome the opportunity to work with DPHI and PCO to develop these clauses.

Proposed HLEP 2013 dual occupancy permissibility controls***4.1C Minimum lot sizes for dual occupancies in the R2 Low Density Residential zone***

- (1) *The objectives of this clause are as follows-*
- (a) *to provide for dual occupancy development at a density that is appropriate for the site constraints,*
 - (b) *to ensure that new dual occupancy development is compatible with the established scale and character of its setting.*
- (2) *Where dual occupancies are permitted in the R2 Low Density Residential zone and the lot is not located within a heritage conservation area, development consent may be granted if -*
- (a) *The lot has a width of at least 16m, as measured at the front building line, and*
 - (b) *The lot meets the minimum lot size stipulated in the table to this subclause.*

Land use	Minimum lot size
<i>Dual occupancy (attached)</i>	<i>700m²</i>
<i>Dual occupancy (detached)</i>	<i>800m²</i>

- (3) *Where dual occupancies are permitted in the R2 Low Density Residential zone and the lot is located within a heritage conservation area, development consent may be granted if –*
- (a) *The lot has a width of at least 16m, as measured at the front building line, and*
 - (b) *The lot meets the minimum lot size stipulated in the table to this subclause.*

Land use	Minimum lot size
<i>Dual occupancy (attached)</i>	<i>800m²</i>
<i>Dual occupancy (detached)</i>	<i>900m²</i>

- (4) *Despite clause 4.1, development consent may be granted for Torrens Title subdivision if –*
- (a) *There is a dual occupancy on the land that was lawfully erected or a dual occupancy is proposed on the land, and*

- (b) Each subsequent subdivided lot is no less than 50% of the minimum lot size defined in the relevant table under section (2) or (3) of this clause,
- (c) Each of the resulting lots will have one dwelling on it, and
- (d) A lot is a battle-axe lot or other lot with an access handle, the area of the access handle is not to be included in calculating the lot size.
- (5) Despite clause 4.1A, development consent may be granted for subdivision for the purposes of a strata plan scheme if –
- (a) There is a dual occupancy on the land that was lawfully erected or a dual occupancy is proposed on the land, and
- (b) Each subsequent subdivided lot (other than any lot comprising common property within the meaning of the [Strata Schemes \(Freehold Development\) Act 1973](#) or [Strata Schemes \(Leasehold Development\) Act 1986](#)) is no less than 50% of the minimum lot size defined in the relevant table under section (2) or (3) of this clause,
- (c) Each of the resulting lots will have not more than one dwelling on it, and
- (d) A lot is a battle-axe lot or other lot with an access handle, the area of the access handle is not to be included in calculating the lot size.

Question 2: Which LEP should this apply to?

The proposed minimum lot size and subdivision clauses should apply to Hornsby LEP 2013.

Question 3: What is the justification for the lot size? Please attach any supporting justification and evidence.

Council engaged Mecone to prepare an analysis of lot sizes and distribution across the Shire. Mecone's report is attached and forms Council's evidence base and justification for the draft lot sizes.

The draft lot sizes proposed meet the required consideration that at least 50% of R2 lots will be compliant, as well as Council's own considerations about local character, landscaping and vegetation and heritage conversation areas.

Scenario	Number of Eligible Lots	% of 'Eligible lots'
DA Pathway – total (both scenarios below)	7,100	50%
DA Pathway – non - heritage conservation areas Min area: 700m ² (attached) 800m ² (detached) Min width 16m	6,250	44%
DA Pathway – Heritage conservation areas only Min area: 800m ² (attached) 900m ² (detached) Min width 16m	850	6%
CDC Pathway Min area: 700m ² (attached), 800m ² (detached) Min width 15m Excludes heritage conservation areas	7,800	55%

Table 2 above is an excerpt from the attached Mecone Dual Occupancy R2 Zone Lot Parameters Investigation (Dec 2024). It illustrates that, of the 14,123 lots within Hornsby Shire that dual occupancy is now permissible on, the proposed lot sizes would allow dual occupancy and subsequent subdivision on 7,100 of these lots. This exceeds the 50 per cent threshold required by DPHI.

Mecone's investigation involved a detailed spatial analysis of lot sizes across the Shire, resulting in the recommendation for different minimum lot sizes in HCA and non HCA areas. Generally, lot sizes within HCAs are above the Shire's median lot size of 770sqm, therefore differing lot sizes would promote a more even distribution of housing across the Shire and protect the heritage significance of HCAs.

Mecone's investigation was also informed by urban design advice, including consideration of subdivision patterns, vegetation and streetscape characteristics and the impacts of attached and detached dual occupancy forms of development in infill areas. This has resulted in the recommendation to increase the minimum lot size for detached dual occupancies, acknowledging the additional space needed to support vegetation, driveways and services.

Attachment: Mecone Dual Occupancy R2 Zone Lot Parameters Investigation (Dec 2024)

PREPARED FOR:



Dual Occupancy R2 Zone Lot Parameters Investigation

DECEMBER 2024

Mecone



ATTACHMENT 3 - ITEM 4



Mecone acknowledges the Traditional Custodians of the land on where this project is undertaken and across the Mecone offices that this report is prepared, paying respect to the Elders past and present. We recognise the ongoing connection of Aboriginal and Torres Strait Islander peoples to land, waters, and culture.

Project Director

Adam Coburn

Contributors



Margaret Paige – Associate (Mecone)

Peter Smith – Director (Smith & Tzannes)

Winston Yang - Associate (Mecone)

Tim Greentree – Urban Design (Smith & Tzannes)

Harsha Yadav – Planner (Mecone)

Revision	Revision datef	Status	Authorised: Name & Signature
1.0	8 November 2024	DRAFT	Adam Coburn 
2.0	6 December 2024	FINAL	Adam Coburn 

* This document is for discussion purposes only unless signed and dated by the persons identified. This document has been reviewed by the Project Director.

Contact

MECONE

Suite 1204b, Level 12, 179 Elizabeth Street
Sydney, New South Wales 2000

info@mecone.com.au
mecone.com.au

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Executive Summary

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STRATEGY

- The recommended controls provide housing diversity and additional dwellings in the R2 zone while maintaining residential character and environmental protection.
- Design testing demonstrated lots with a larger area support tree canopy retention, private space, and contextual compatibility – especially within heritage conservation areas (HCA).

RECOMMENDATIONS

- Recommended minimum parent lot size:
 - **Heritage Conservation Areas (HCA):**
 - Attached dual occupancy: 800m².
 - Detached dual occupancy: 900m².
 - **Elsewhere:**
 - Attached dual occupancy: 700m².
 - Detached dual occupancy: 800m².
- Recommended parent lot width: 16m (applies to development applications (DA) only)
- Recommended resulting lot size for subdivision of dual occupancy: minimum of 50% of the minimum parent lot size

HOUSING DELIVERY

- Dual occupancies are permissible under the Housing SEPP provisions on 14,123 (39%) of R2 zoned lots.
- 7,800 lots have sufficient lot size for dual occupancy development:
 - 6,250 dual occupancies could be approved by a DA or CDC – lots 16+m wide
 - 850 lots are in the heritage conservation areas and will require a development application
 - 700 lots could be approved by CDC (but not a DA) - lots 15-16m wide.
- No dual occupancies should be permitted (CDC or DA) on bushfire or flood prone land in the Hornsby LGA.



Introduction

The introduction of Stage 1 of the State Government's Low and Mid-Rise housing reforms through *State Environmental Planning Policy (Housing) (the Housing SEPP) 2021* on 1 July 2024 made dual occupancies and semi-detached dwelling permissible in the R2 Low Density Residential zone across New South Wales. The policy excludes land affected by environmental constraints, including heritage items and hazards such as flooding and bushfire. The result of this policy is that **dual occupancy development and semi-detached housing is permissible** on 14,123 lots (eligible lots) in the R2 zone in Hornsby Shire. These lots represent **39% of all lots in the R2 zone**.

Dual occupancy development is often referred to as 'hidden density', as the resulting development often occurs over a long period of time and the impact can be managed where policy settings are appropriately applied.

The Hornsby Shire planning framework does not currently include controls to guide the development of dual occupancy and semi-detached housing forms. Council is working on Development Control Plan amendments to address this under a separate study. This study has been commissioned by Hornsby Shire Council to assist in formulating minimum lot width and minimum lot size controls for inclusion in the Hornsby Local Environmental Plan 2013. This is important for Council as without specifying a lot size, dual occupancies can be carried using the complying development pathway where the lot area is 400m² or more and the lot width is 15m or more.

This study recommends appropriate minimum lot sizes and lot widths that balance the requirement for diversified housing opportunities whilst maintaining the character of R2 Low Density Residential zoned land across Hornsby.

Study findings

A comparative analysis of dual occupancy controls and outcomes in seven local government areas in metropolitan Sydney, was carried out including GIS analysis and design testing that considers character and tree canopy.

This study found that lot size is the key factor in determining the impact of dual occupancy. Larger lots provide greater opportunity to retain trees and provide space for landscaping and private open space. In the context of Hornsby Shire, this is important for responding to and maintaining landscape character.

The GIS analysis of lots in the Hornsby area and review of the planning 'levers' available concluded that lot size can be varied to manage the extent, typology and distribution of dual occupancy development across Hornsby Shire. Increasing the minimum lot size was demonstrated to reduce the number of lots where dual occupancies could be developed. The policy intent is for the largest lots in the R2 zone to provide the opportunity for additional housing.

Hornsby has unique heritage conservation areas (HCA). These areas have capacity for dual occupancy development that is compatible with the character. Battle-axe subdivision of many of the larger lots has already occurred and demonstrated that development can be compatible with the character of these areas when an appropriate lot size is set.



Table 1: Summary of lot analysis

Scenario	Number of Lots	%
Total R2 Zoned lots	36,276	-
'Eligible Lots' for dual occupancy development Ch.3 Pt.12 Housing SEPP applies	14,123	39% of R2 lots
'Eligible Lots' in heritage conservation areas	1,795	13% of 'eligible' lots 50% of all HCA lots
CDC Pathway – Min area: 400m ² / Min width: 15m No minimum lot size in LEP Heritage conservation areas excluded	9,100	64% of 'eligible' lots

Scenario testing of a combination of minimum parent lot sizes and parent lot widths found that if no minimum parent lot size is set, the Codes SEPP minimum lot area of 400m², and lot width of 15m will allow dual occupancy development using the complying development pathway on 64% of all eligible lots in the R2 zone. When HCA lots are excluded as complying development is not available in the heritage conservation areas, complying development pathway is available to 74% of eligible lots.

Larger minimum parent lot sizes will ensure that dual occupancies are generally located on lots that are appropriate to retain the character and natural features of the Hornsby LGA and minimise the visual impact of dual occupancies in the suburban areas.

Design testing illustrated that wider lot width controls allow 'one behind the other' dual occupancy development to better accommodate the 3.5m side driveway access and car parking on the rear lot and allow a front room to the street in the front dwelling.

Heritage conservation areas

Within the Beecroft-Cheltenham HCA lot sizes suitable for dual occupancies tend to have a larger lot area. Setting the lot area in the HCA larger than the general lot area allows for retention of existing tree canopy and sufficient landscaping to ensure the new dual occupancies have a better contextual fit. Further the larger lot size encourages retention of the existing dwelling at the front of the lot and the additional dwelling at the rear.

Reducing the proportion of lots in the HCA where dual occupancy can be carried out will limit the visual impact dual occupancies will have on the HCA.

Subdivision

Optimal feasibility is achieved when the dual occupancy is subdivided, either by Torrens title or strata title. Setting standards for resulting lot sizes for the subdivision of dual occupancy are important to ensure the underlying subdivision pattern and rhythm of the street can be reflected and ensure that each lot in the subdivision will have sufficient area to accommodate vehicle circulation, car parking, setbacks and the retention of existing trees and landscaping.



Approval Pathways

There are two approval pathways available:

- Complying Development – Uses Codes SEPP development standards and the LEP minimum parent lot size standard.
- Development Application – Uses LEP minimum parent lot size standard and the minimum parent lot width standard.

Recommended controls

In the context of Hornsby Shire, the policy settings should seek to:

- Set a minimum parent lot size that can accommodate the retention of trees and landscaping and allow adequate space for car parking and private open space.
- Respond to the landscape and streetscape characteristics of the heritage conservation areas
- Provide for a minimum lot width that retains the rhythm of the streetscape
- Set a minimum 'resulting lot size' for subdivision that allows the underlying subdivision pattern of Hornsby to be interpreted and retains the rhythm of the streetscape.
- Retain the character of the heritage conservation area so that dual occupancies are not disproportionately represented in this area.

The following controls are recommended for dual occupancy development in the R2 zone.

1. A minimum lot size (parent lot size) for dual occupancy development:
 - In Heritage Conservation Areas:
 - Attached dual occupancy: 800m²
 - Detached dual occupancy: 900m²
 - Elsewhere:
 - Attached dual occupancy: 700m²
 - Detached dual occupancy: 800m²
2. Minimum parent lot width at the building line: 16m
3. Minimum resulting lot size for the subdivision of dual occupancy development: Each resulting lot should be at least 50% of the minimum parent lot size
4. If the lot is a battle axe lot with an access handle – the area of the access handle is not included in the minimum lot size.
5. Dual occupancies should not be made permissible on lots containing a heritage item, bushfire prone land or flood prone land consistent with Chapter 3 Part 12 of the Housing SEPP.

The recommended controls outlined above will allow for the delivery of housing diversity whilst maintaining residential character of Hornsby Shire's low density residential lands.

The recommended controls have been shown to provide opportunity for an additional 7,100 dwellings through the DA pathway or 7,800 additional dwellings through the complying development pathway in the R2 zone. Together with the 2,440 dwellings are already accounted for as 'planned dwellings', this will provide capacity to more than the 5,500 completed dwelling set as Hornsby Shire LGAs housing target. The recommended controls will allow for diverse housing delivery within the R2 zone, while maintaining the landscape character of these low density residential lands.



Table 2: Impact of recommendations

Scenario	Number of Eligible Lots	% of 'Eligible lots'
DA Pathway – total <i>(both scenarios below)</i>	7,100	50%
<i>DA Pathway – non - heritage conservation areas</i> <i>Min area: 700m² (attached) 800m² (detached)</i> <i>Min width 16m</i>	6,250	44%
<i>DA Pathway – Heritage conservation areas only</i> <i>Min area: 800m² (attached) 900m² (detached)</i> <i>Min width 16m</i>	850	6%
CDC Pathway Min area: 700m ² (attached), 800m ² (detached) Min width 15m Excludes heritage conservation areas	7,800	55%

Contribution to housing delivery

Hornsby Shire has a target of completing 5,500 new dwellings by mid-2029. The potential dual occupancies enabled by this study will contribute towards the 3,100 'projected dwellings' (those not already approved). Over time, the dual occupancies will add to the diversity of housing within the R2 zoned land, and ensure that land affected by bushfire, flood and heritage is protected. Only a small proportion of potential dual occupancies will be delivered between the commencement of the policy and mid-2029. The recommended controls will allow for diverse housing delivery within the R2 zone, while maintaining the landscape character of these low density residential lands.

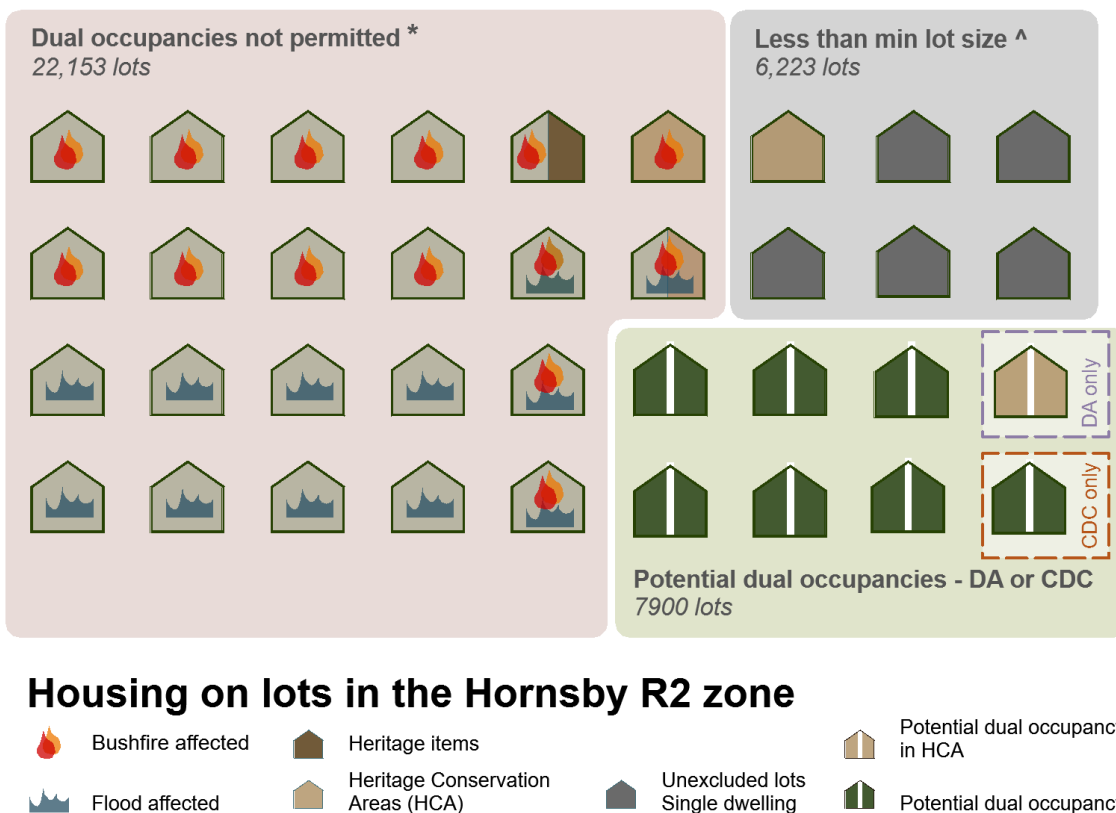


Figure 1: Dual occupancy on lots in the R2 zone – each 'house' represents 1000 lots

1 Introduction

This Planning Report has been prepared by Mecone Group Pty Ltd and Smith&Tzannes to assist Hornsby Shire Council to recommend minimum lot size and minimum lot width LEP controls for dual occupancy and semi-detached housing in the R2 zone.

1.1 Project Background

The introduction of Stage 1 of the Low and Mid-Rise housing reforms through State Environmental Planning Policy (Housing) (the Housing SEPP) 2021 on 1 July 2024 made dual occupancies and semi-detached dwelling permissible in the R2 Low Density Residential zone across New South Wales. Permitting dual occupancies and semi-detached dwellings in the R2 zone is a key component of the NSW Government's response to the National Housing Accord.

The R2 Low Density Residential zone is the largest residential zone in Hornsby Shire Local Government Area (LGA) and includes neighbourhoods with substantially different characteristics, including areas identified as Heritage Conservation Areas. Hornsby Local Environmental Plan 2013



(HLEP2013) and the Hornsby Development Control Plan 2024 (HDCP2024) do not contain specific controls for these housing forms in the R2 zone. Currently, dual occupancy development and semi-detached housing must comply with the controls for single dwellings. This means that each resulting lot in the subdivision of a dual occupancy must meet the minimum lot size for single dwellings.

The Low Rise Housing Diversity Code within *State Environmental Planning Policy (Exempt and Complying Development) 2006* provides a complying development pathway for dual occupancy development, provided specific requirements are met. This pathway has been temporarily switched off in Hornsby Shire LGA to allow Hornsby Shire Council to prepare controls for dual occupancies by mid-2025.

Dual occupancy controls such as minimum lot size and width for dual occupancy development and subdivision can be included in the *Hornsby Local Environmental Plan 2013*. This allows Council to specify controls which are specific to the local context. This study has been commissioned by Hornsby Shire Council to assist in formulating minimum lot width and minimum lot size controls for inclusion in the *Hornsby Local Environmental Plan 2013*. The Department of Planning, Housing and Infrastructure (DPHI) has indicated its expectation that the minimum lot size will be set so 'that at least 50% of R2 lots will be compliant (i.e. the median R2 lot size or lower)'. Council is working on Development Control Plan amendments to address this under a separate study.

Controls such as minimum lot size and/or lot width for dual occupancies and semi-detached dwellings will impact on the potential yield or residential density within a neighbourhood, and cumulatively contribute to Hornsby Shire Council's ability to achieve its 2024-2029 Housing Target.

1.2 Methodology

The project has focused on the formulation of minimum lot size and minimum lot width controls for inclusion in the Hornsby Shire Local Environmental Plan 2013. This has been informed by:

- A background review of the relevant policies, strategies and plans to identify key directions and considerations and develop a strategic understanding of the Hornsby Shire context. This included discussion with Council's heritage specialists to understand the key considerations in the heritage conservation areas.
- A comparative review of dual occupancy controls and outcomes across 7 local government areas (LGAs). These case study locations have been selected based on considerations including levels of recent dual occupancy development, lot requirements for dual occupancies in established in the relevant local environmental plan (LEP), characteristics of the LGA (e.g. bushland, landscaped area, heritage conservation areas, topography, infill or greenfield) and the subdivision patterns (corner sites, battle-axe lots). The case studies have also considered a range of dual occupancy typologies e.g. attached (side-by-side), one behind the other, one above the other.
- Analysis of R2 lot characteristics in Hornsby Shire, including all lots in the R2 zone and more detailed analysis to identify the lots where dual occupancy and semi-detached housing is permissible under the Housing SEPP ('eligible lots'). This informed the settings for the scenario testing and provided the baseline data for analysis of the scenario implications.
- Iterative scenario testing of different lot widths and sizes to demonstrate and refine the built form outcomes. The potential yield and distribution of dual occupancy development has been quantified as part of the scenario testing. The testing has also considered the implications of the various scenarios for the complying development and development application pathway.



- Finally, the implications of the potential dual occupancy capacity associated with the scenarios has been considered in light of the housing target for Hornsby Shire and the potential implications of the introduction of the non-refusal standards for dual occupancy development as part of Stage 2 of the Department of Planning, Housing and Infrastructure's low-and mid-rise housing reform programme.

1.3 Report Structure

The report has been prepared to assist with the preparation of a future planning proposal or other justification in support of proposed changes to the Hornsby Local Environmental Plan 2013.

Specifically, the planning report includes the following information:

- A summary of the strategic planning context
- A description of the different forms of dual occupancy development
- A summary of the case study investigations
- An explanation of the lot analysis and findings
- An outline of the dual occupancy control scenario testing and key findings
- Recommended dual occupancy controls

The Report is accompanied by the list of Appendices in the Table of Contents.

1.4 Definitions and key terminology

Key terms utilised in this report are defined below.

Building Typology refers to the way in which the dwellings are arranged in a dual occupancy development

Side by side; means two dwellings sharing a common wall in an attached or semi-detached configuration. Both dwellings are arranged to face the primary street frontage

Atop one another; means two dwellings on one lot of land that are attached to each other sharing a common floor / ceiling

Detached; means two dwellings on one lot of land that are not attached but may share a driveway or common amenity depending on resulting subdivision type.

One behind the other (battle-axe); means one dwelling facing the street and the other located behind.

Codes SEPP; State Environmental Planning Policy (Exempt and Complying Codes) 2008

Dwelling House; means a building containing only one dwelling.

Duplex; common term for dual occupancy

Dual Occupancy; means a dual occupancy (attached, semi-detached or detached), Dual occupancies are a type of residential accommodation

Dual occupancy (attached) means 2 dwellings on one lot of land that are attached to each other, but does not include a secondary dwelling

Dual occupancy (Detached); means 2 detached dwellings on one lot of land, but does not include a secondary dwelling.

Eligible lots: lots in the R2 zone where dual occupancy and semi-detached dwellings are permissible under Chapter 2 Part 12 of the Housing SEPP. These are lots which are not bushfire prone, affected by flood risk and do not contain a heritage item or archaeological item. See Chapter 5 for details.

Greenfield: means the construction of new buildings or structures on previously undeveloped land, often located outside existing urban areas.



Housing SEPP – State Environmental Planning Policy (Housing) 2021

Infill (development); means the construction of new buildings or structures on under-utilised parcels of land within an existing neighbourhood with the aim of increasing density but maintaining overall character.

LEP means a local environmental plan.

Lot Type

Standard; means a parcel of land with a single street frontage

Corner; means a parcel of land on the corner of a block with two street frontages perpendicular to one another.

Irregular; means a parcel of land with an oblique or irregular shape outside that of a square or rectangle.

Low and mid-rise housing reforms – planning reforms exhibited or introduced by the Department of Planning, Housing and Infrastructure to increase the delivery of a range of housing types. Low-rise housing includes dual occupancies, terraces, townhouses and low-rise (1-2 storey) apartments.

Parent Lot: means the original parcel of land from which dual occupancies or other developments are created, serving as the basis for subdivision into distinct properties.

Resulting Lot; means the new parcel of land formed after the subdivision of a parent lot because of a dual occupancy development.

Semidetached; means a dwelling that is on its own lot of land and is attached to only one other dwelling



2 Strategic Context

Residential growth in Hornsby Shire is guided by the Hornsby Local Strategic Planning Statement 2020 and the Hornsby Local Housing Strategy 2020. Planning for future growth is also required to align with NSW state government directions.

2.1 Hornsby Local Strategic Planning Statement 2020

Hornsby Local Strategic Planning Statement identifies the long term vision for the way the LGA will change over time. It identifies Hornsby Shire's special characteristics and the values that are to be preserved and how change will be managed into the future.

The key priorities relevant to this study are:

- Expanding our tree canopy cover and protecting mature trees to enhance the environmental qualities and character of the bushland shire
- Protecting the character of our low density neighbourhoods
- Improving the quality of architectural design of new development
- Enhancing, protecting, conserving and promoting our natural, built and cultural heritage.

2.2 Hornsby Local Housing Strategy 2020

The Hornsby Local Housing Strategy sets out the priorities, actions and capacity for housing in Hornsby Shire. It aligns with the Local Strategic Planning Statement (LSPS) and reinforces the priorities of

- LP1. Protecting the character of our low density neighbourhoods.
- LP2. Promoting design excellence for new housing including having regard to the principles of ecologically sustainable development and universal design.
- LP5. Protecting, conserving and promoting our natural, built and cultural heritage

The Housing Strategy sets out key objectives:

1. Promote design excellence to ensure new housing delivers high quality buildings and an urban realm that respects current and future desired local character, green spaces and landscaping.
2. Ensure new housing development minimises environment impact and promotes ecologically sustainable development.
3. Protect sensitive areas from development and ensure new housing does not detract or erode an area's local character.
4. Identify opportunities to encourage housing diversity including medium density, adaptable housing for the aging and multi-unit housing in areas of limited choice and availability.
5. Promote sustainable locations for housing growth close to transport, which support the role of centres, have adequate infrastructure and maximise opportunities through collaboration.
6. Ensure housing growth aligns with the Region and District Plan priorities, planned infrastructure growth and will deliver the District Plan housing targets.

These objectives guide future housing development towards locations near transport nodes, the Hornsby Town Centre and Cherrybrook Station precinct and away from environmentally sensitive locations e.g. areas affected by flooding and bushfire. They support the delivery of a mix of well-designed housing forms and aim to manage the extent of change to the character of the low-density residential neighbourhoods.



2.3 Heritage Conservation Areas

Hornsby Shire has six Heritage Conservation Areas listed under the *Hornsby Local Environmental Plan 2013*:

- Beecroft/Cheltenham Heritage Conservation Area
- Hornsby West Side Heritage Conservation Area
- The Crescent (Pennant Hills) Heritage Conservation Area
- Wahroonga Heritage Conservation Area
- Wahroonga (North) Heritage Conservation Area
- Barker College Heritage Conservation Area.

These areas provide evidence of a particular historical period of development and their significance is generally associated with the underlying land subdivision, the street pattern, arrangement of lots, the landscape character and buildings that share common periods of development, historical associations, materials, form and scale.

2.4 National Housing Accord

The Commonwealth Government has a broad housing agenda to address the supply and affordability of housing. The National Housing Accord is an agreement between all levels of government, institutional investors and the construction sector to help tackle the nation's housing challenge.

In August 2023, the Commonwealth and states and territories agreed to a shared ambition to deliver 1.2 million new well-located homes over 5 years from mid-2024. Most of this supply is recognised to come from the market with government playing a key role in enabling and kick-starting investment.

As part of the Accord, the NSW State Government committed to building 377,000 new dwellings by 2029. Permitting dual occupancy development and semi-detached housing in the R2 zone is a component of the planning and land use reforms to achieve this commitment.

2.5 Hornsby Shire Local Housing Target

The NSW State Government released housing targets for each local government area in May 2024. These targets were set to meet its obligations under the National Housing Accord. Hornsby Shire LGA's target is 5,500 new completed homes by mid-2029.

According to DPHI information, this housing target comprises 'planned dwellings' and 'projected dwellings'. 'Planned dwellings' are homes which are currently under construction, approved but yet to commence construction, currently undergoing development assessment or planned for delivery by June 2029. The Department of Housing, Planning and Infrastructure forecasts of future housing supply released at the end of October 2024, forecast net housing completions in the Hornsby Shire LGA between July 2024 and June 2029 to be 2,440 dwellings.

The remaining approximately 3,100 dwellings are 'projected dwellings' that are expected to be completed over the next five years, including those resulting from planning reforms to encourage more diverse and well located homes. Permitting dual occupancy and semi-detached housing in the R2 zone will contribute to this component of the target.



3 Dual occupancy and semi-detached housing forms

Dual occupancy and semi-detached housing forms offer a way to retrofit additional density into existing areas with limited impact on the existing streetscape surrounds because the scale of this development is often consistent with that of a freestanding single dwelling house.

A dual occupancy occurs when two dwellings are built on one lot of land. These dwellings can then be subdivided (for separate sale) or occupied separately as rental accommodation.

There are different ways in which the dwellings can be arranged. The dwellings can be:

- attached (side by side or one above the other)
- detached as separate buildings,
- each dwelling can face the street
- one dwelling could be street facing and the other located in the rear garden.

Where each dwelling is intended for separate ownership the dwellings need to be subdivided. There are two forms of subdivision:

- Torrens title: where each dwelling is located on its own separate lot of land
- Strata subdivision: where each dwelling is provided on a lot that shares ownership of common property, such as driveway or landscaping. In some cases, strata subdivision can achieve the same effect as Torrens title subdivision where there is no common property except for the common dividing wall.

Dual occupancies are often referred to as 'hidden density'. When planned well, over time they provide a gradual increase in the population density of an area with minimal strain on existing infrastructure. When the policy settings are set appropriately, they can integrate with the existing streetscape and environment. However, Hornsby Council's current housing strategies do not encourage this form of density when dispersed across the Shire, due to the concern with managing the impact of development outside of planned precincts or areas.

Hornsby has some unique heritage conservation areas (HCA). These areas do have capacity for additional housing that is compatible with the character. Battle-axe subdivision of many of the larger lots has already occurred, with new dwellings subsequently constructed on the new lot. This has demonstrated that this form of development can be compatible with the character of these areas when an appropriate lot size is set. The one behind the other form of dual occupancy delivers the same outcome, except both dwellings are approved first and subsequently subdivided.

3.1 Types of dual occupancy

The arrangement of the dwellings in a dual occupancy depends on many factors including:

- lot size and proportion
- topography
- streetscape
- views
- access to parking.



Table 3: Summary of dual occupancy typologies

Type		Description	After subdivision
Side by side		<p>Two dwellings constructed side by side both facing the street. A common wall separates the dwellings.</p> <p>The parent lot needs to be sufficiently wide enough to allow the 2 houses to be positioned side by side and allow for car parking.</p>	<p>Semi-detached dwellings</p> <p>(Torrens title or strata subdivision with common wall)</p>
Atop one another		<p>Two dwellings constructed one over the other (or part over the other)</p>	<p>Dual occupancy</p> <p>(Strata subdivision with common landscape, driveway and common structure)</p>
Side by side (with common garage)		<p>Two dwellings constructed side by side both facing the street.</p> <p>A common basement car park (often used where topography limits separate car parking)</p>	<p>Dual occupancy</p> <p>(Strata subdivision with common landscape, driveway and carparking.)</p>



ATTACHMENT 3 - ITEM 4

Type		Description	After subdivision
One behind the other (detached dual occupancy)		One dwelling constructed at the front to face the street, the other located at the rear. Often the original house is maintained where driveway access to the rear is possible.	Dwelling houses Torrens title subdivision. Access to street from rear lot either by easement or access handle.
Detached dual occupancy		On wider lots or corner lots where there is sufficient frontage for each dwelling and setbacks between each dwelling.	Dwelling houses Torrens title subdivision



3.2 Approval pathways

There are two approval pathways for dual occupancy:

Complying development

Complying development is set by State-wide standards and a design guide and can be approved by a private certifying authority (PCA). Development must comply with the standards and respond to the guideline. Complying development is excluded from land subject to a number of environmental constraints. This means complying development cannot be undertaken in heritage conservation areas.

Complying development can provide consent for dual occupancies that are attached side by side, one above the other attached or semi-detached typologies, but does not permit one behind the other types or hybrid models. Complying development pathway is not available on certain land constrained by heritage or other environmental matters.

The State-wide controls only permit dual occupancies where they are permitted by an environmental planning instrument and refer to the LEP for minimum lot size standards. If the LEP does not set a minimum lot size, a default control of 400m² applies.

Where development is on land where complying development is not permitted, or does not meet the state-wide standards, a development application is required.

Development application

Development applications are guided by standards in the LEP and controls and guidance in development control plans unique to each LGA. The planning controls in a development application can be considered on merit and applied flexibly to suit the more challenging sites. It allows for a wider range of dual occupancy building typologies.



Figure 2: Dual occupancy Cronulla – Jamisa Architects



4 Comparative Case Studies Review

4.1 Purpose

A comparative review of a range of dual occupancy and semi-detached development examples was undertaken to examine how different lot requirements impact built form outcomes. This has focused on understanding the impacts of different lot requirements on the resulting built form and dwelling yield/density.

4.2 Selection of Case Studies

Case studies from a range of local government areas in metropolitan Sydney were selected. The LGAs were chosen based on the following factors:

- level of dual occupancy development in the past 5 years
- similar characteristics to Hornsby Shire (bushland character, landscaped area, heritage conservation areas, topography)
- mix of infill/greenfield
- underlying subdivision patterns
- LEP controls for dual occupancy development

Specific case studies within these LGAs were selected to provide a cross section of dwelling typologies, lot typologies, case studies within heritage conservation areas and mix of lot sizes. Table 4 provides a summary of the key characteristics of the case studies selected.

The selection of case study LGAs and specific case studies was limited by the extent of information available in relation to specific dual occupancy applications through either the development application pathway or for a complying development certificate.



Table 4: Case studies

LGA	Neighbourhood	Development type	Lot typology	Dwelling typology	Development trends
Sutherland Shire	Cronulla	Infill	Corner	One behind the other	LGA with highest level of dual occupancy development in NSW in past 5 years
	Burraneer		Street frontage	Side-by-side	
	Jannali		Street frontage	One behind the other	
Northern Beaches	Queenscliff	Infill	Street frontage	Side-by-side	
	Balgowlah		Street frontage	Side-by-side	
	Fairlight		Street frontage	One atop the other	
Canada Bay	Abbotsford	Infill	Street frontage	Side-by-side	
Ryde	Putney	Infill	Street frontage	Side-by-side	
Blacktown	Schofields	Greenfield	Street frontage	Side-by-side	LGA with 5 th highest level of dual occupancy development in NSW in past 5 years
Hunters Hill	Hunters Hill	HCA	Street frontage	Side-by-side	
North Sydney	Cammeray	HCA	Street frontage	One atop the other	

Details of the case studies are provided in Appendix A.



4.3 Key learnings

The comparative review has identified the following key findings in relation to dual occupancy typologies:

- There is market preference for the side-by-side typology. This may be attributed to several factors, including a preference for each dwelling to have a frontage directly to the street, the ability to develop using the complying development pathway, and the LEP and DCP controls that encourage this form of development. This form is also conducive to Torrens Title subdivision.
- The one atop another typology is less common. This format is found mostly in areas where there are iconic views. This building form is more expensive (a class 2 building under the NCC requiring higher fire ratings) and is limited to strata title subdivision.
- There are fewer contemporary examples of dual occupancies on battle-axe lots or internal lots. It is typically the result of subdivision of larger lots. Many of these larger lots have already been subdivided in the 1960-2010's. This typology is not permitted as complying development. The policy settings in LEP's and DCP often require large lot areas and large setbacks on these lots and / or limits development to single storey forms.

In considering the outcomes and impacts of dual occupancy development with different lot parameters, the findings are:

- There is greater opportunity to retain vegetation and provide landscaping on larger lots and where there are larger rear setbacks.
- The architectural quality of the built form of dual occupancies is not necessarily determined by lot size or lot width, with examples of good architectural responses found on both larger and smaller lot sizes and lot widths.
- Lots size does impact streetscape with smaller lots having less ability to respond to surrounding landscape character.
- The impact of dual occupancies on the streetscape depends on:
 - The character of the street: Instances where a side-by-side typology reads as a single large dwelling can blend into the streetscape if the streetscape is characterised by the large dwellings. A streetscape characterised by a range of dwellings, variation in dwelling age and character etc can accommodate dual occupancy development more readily than one where the street is relatively homogenous in building form and typology.
 - The amount of landscaping and adequacy of existing setbacks.
 - The dual occupancy typology. The one-behind the other form generally tends to have less impact, as one dwelling is not visible from the street; however, the impact of the additional driveway can be disruptive to the rhythm of the streetscape.
 - Topography: Sloping sites can offer opportunities to sensitively locate dwellings and parking/garage arrangements to reduce the impact on the streetscape. Designing dual occupancies on steeply sloping sites – particularly those that fall away from the street is particularly challenging.
 - The design response and materials and how these relate to the existing streetscape, buildings etc.
- The impact of driveways and garages can be significant. Shared driveways and basement car parking can provide opportunities to limit the number of driveways. The design of garage doors and integrating basement entrances into the landscape and built form is not always done well.



This review has also identified that many local environmental plans include minimum lot sizes for the 'parent lot' of a dual occupancy. This is the development standard referred to in the Codes SEPP and sets the standard below which dual occupancy cannot be carried out on the lot. The minimum 'parent lot' size assists in managing the density of residential development and ensuring there is sufficient space for design to meet requirements such as landscaping, parking and private open space. Different parent lot sizes may be suitable for different neighbourhoods or localities, to reflect the character of an area and can encourage or discourage dual occupancies in an area.

Of the case studies, only the Ryde LEP and the Canada Bay LEP specify a minimum lot width for dual occupancy development. These 'parent lot' widths generally align with the lot widths in the underlying subdivision pattern so ensuring that the pattern and rhythm of the streetscape is maintained. The standard also ensures there is opportunity for a habitable room to face the street. This standard is not referred to in the Codes SEPP.

Among the case studies, only the Ryde LEP include specific controls for subdivision of attached side-by-side dual occupancies – specifying minimum lot sizes and widths for the 'resulting' lot. Not including a minimum lot size for the resulting lot allows flexibility for site constraints to be resolved during design. It also reduces the requirement for clause 4.6 variations to be submitted with development applications for dual occupancy subdivision. If subdivision of a dual occupancy is proposed that will result in a battle-axe lot, then the battle-axe lot is required to be larger than the minimum lot size for standard subdivision. This effectively limits the subdivision of one behind the other dual occupancies.



Figure 3: Dual occupancy Burraneer – Smith & Tzannes



5 The R2 Low Density Residential zone in Hornsby Shire

The R2 Low Density Residential zone is the largest residential zone in Hornsby Shire LGA. It covers 4,224. ha of land and applies to 36,276 lots in the LGA. The spatial application of the zone is illustrated in Figure 6.

Lot sizes in the R2 zone vary from small lots of less than 100m² to over 2,000m². Almost two thirds of R2 lots are between 600m² and 1,000 m². Approximately one third of all R2 lots are between 700m² and 800m² in size. The median lot size of all R2 lots is 770m². Although larger lots are distributed across the R2 zone, there is a concentration of lots larger than 1,000m² in the Beecroft-Cheltenham Heritage Conservation Area.

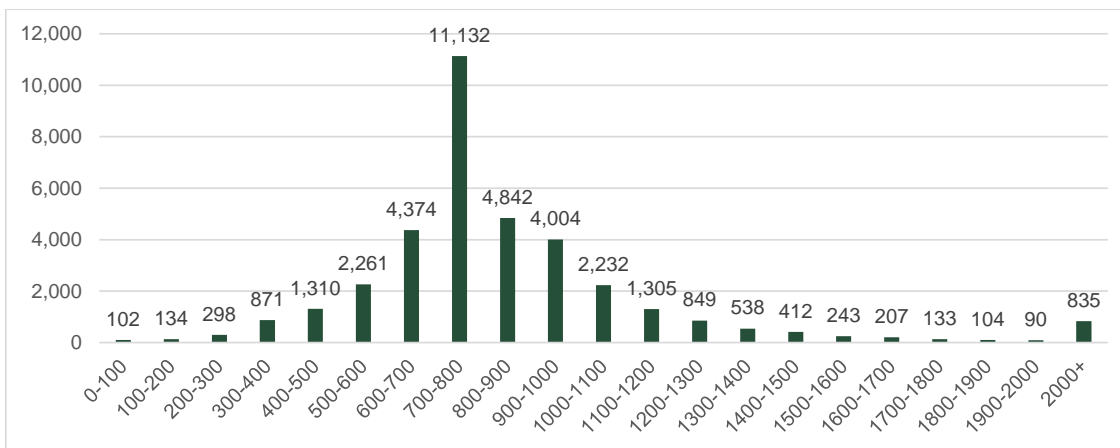
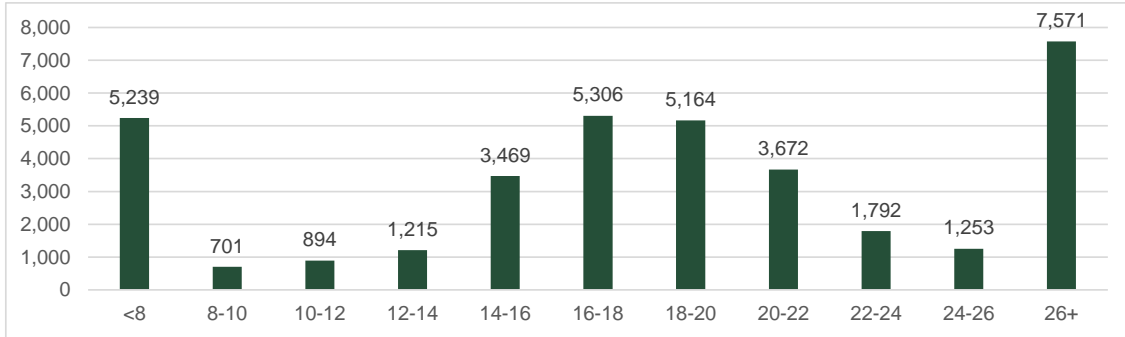


Figure 4: Lot size R2 Low Density Zone in Hornsby Shire

Source: Mecone

As most lots in Hornsby Shire are regular in shape, street frontage is a proxy for the lot width. Figure 5 indicates that lots in the R2 zone are most commonly between 16-18m wide and 18-20m wide. Almost 14% of lots in Hornsby Shire have a lot frontage of less than 8m. Aside from some very narrow lots, this frontage represents the accessway of a battle-axe lot. The graph in Figure 5 shows many lots with a frontage of 26m or more. While there are some lots with a street frontage of this length, this category includes lots with more than one street frontage e.g. corner lots.



Notes: 1. Frontages <8m include battle-axe lot access handles
2. Frontages 26m+ include corner lots where the sum of the two street frontages totals more than 26m.

Figure 5: Linear lot frontage (m) R2 Low Density Zone in Hornsby Shire

Source: Mecone



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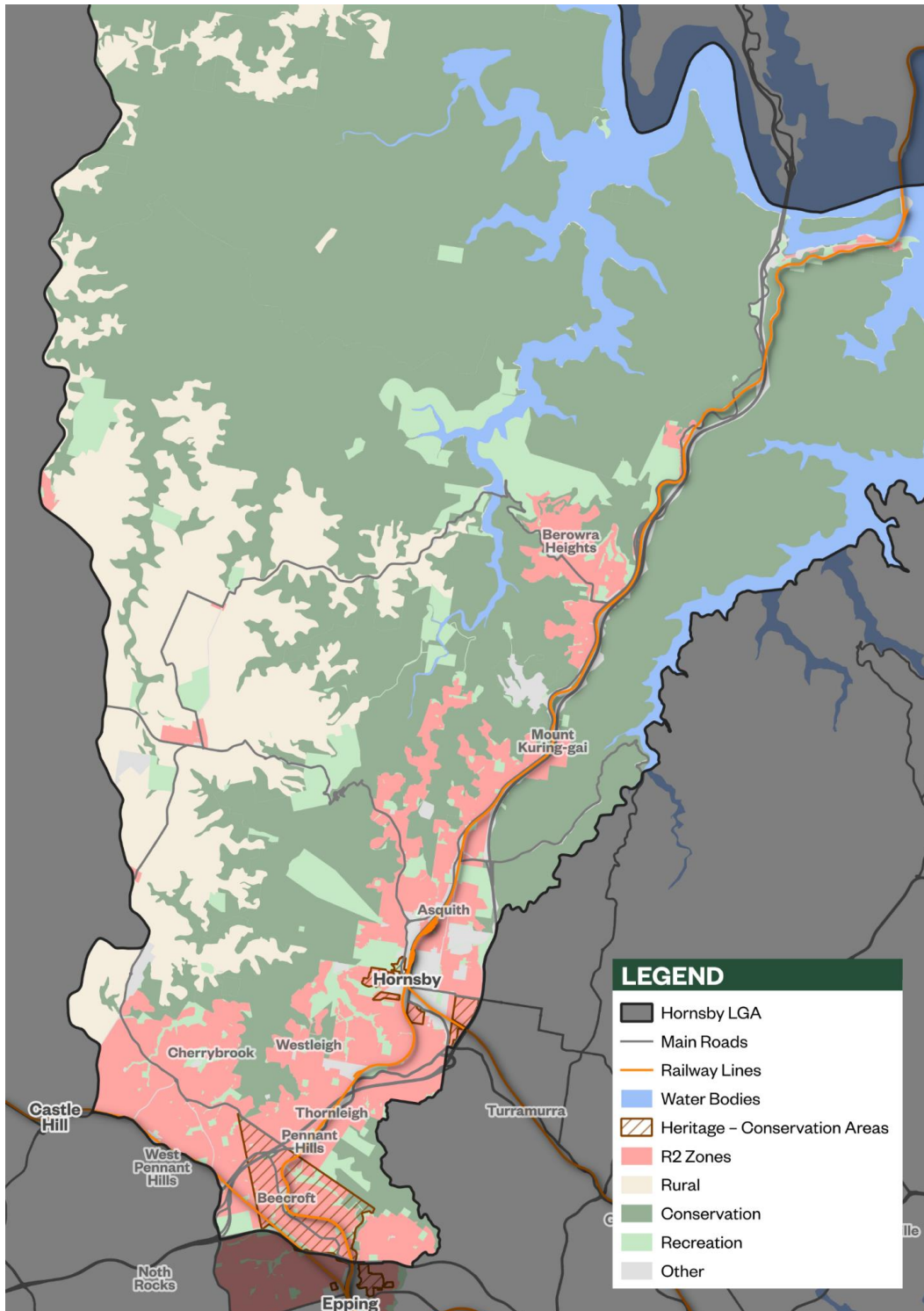


Figure 6: Spatial extent of R2 Low Density Zone in Hornsby Shire
Source: Mecone



5.1 Application of the Low- and Mid-rise housing reforms

The introduction of the low- and mid-rise housing reforms through Chapter 3 Part 12 of the Housing SEPP permits dual occupancies and semi-detached homes in the R2 low-density residential zone; however, certain land within the zone is excluded from the policy. The excluded land in Hornsby Shire is identified in the Housing SEPP and further explained in the Policy Exclusions factsheet as:

- Bushfire-prone land: This includes vegetation categories 1, 2 and 3, as well as the buffer zone.
- Flood prone land within the Hawkesbury Nepean Valley and Georges River water catchments: Flood-prone land is related to the Probable Maximum Flood defined in the NSW Flood Plan Risk Management Manual.
- Heritage items: This is land which comprises or contains a heritage item.

These are well considered exclusions, given the location of the land affected by the hazards of bushfire and flooding are generally located on the periphery of the R2 zone in Hornsby Shire and away from frequent public transport and services.

GIS analysis based on data provided by Hornsby Shire Council and the Rural Fire Services has identified the land which is excluded from the application of Chapter 3 Part 12 of the Housing SEPP. Within the zone there are large lots on which uses such as schools, seniors housing and hospitals are located. It can be reasonably anticipated that these lots will continue to be used for these purposes for the foreseeable future. These lots have also been excluded from the analysis of R2 zoned lots for the purposes of this study.

Table 5 and Figure 7 to Figure 10 summarise the GIS analysis.

Table 5: Land excluded from the application of Chapter 3 Part 5 of the Housing SEPP

	No. of lots	No. of lots within HCAs
R2 zoned lots	36,276	3,574
Exclusions		
Heritage*	575	246
Flooding	12,113	330
Bushfire	14,366	1,347
Total R2 lots excluded**	22,153**	1,779**
Total R2 'eligible lots'	14,123	1,795

* This includes lots identified as containing heritage items and archaeological items.

** Some lots are identified in multiple exclusions

Source: Mecone

The Low-and Mid-rise housing reforms apply to 14,123 lots in Hornsby Shire. For the purposes of this report, these are referred to as 'eligible lots', where dual occupancy and semi-detached dwellings are permissible.



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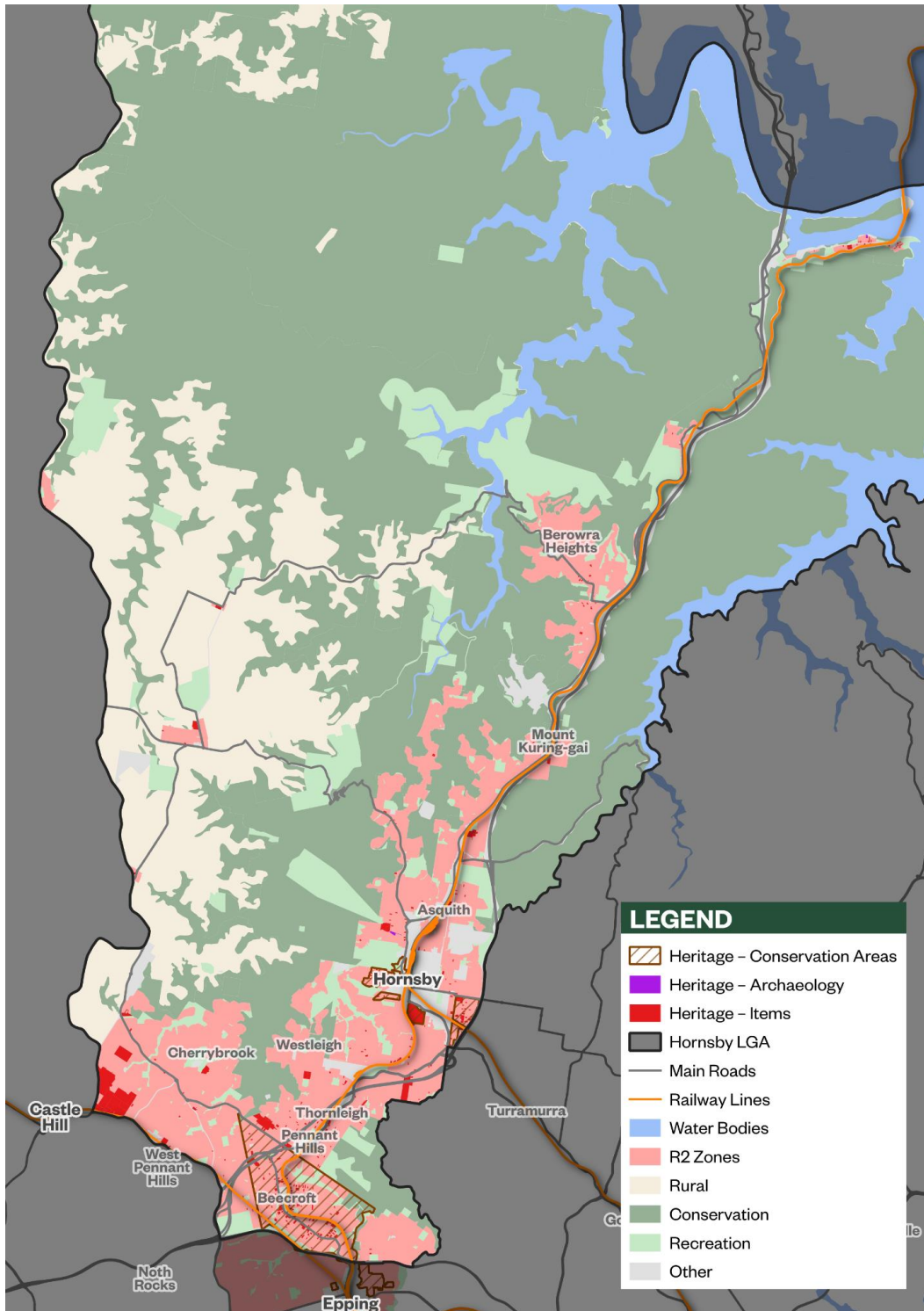


Figure 7: Lots excluded due to heritage
Source: Mecone



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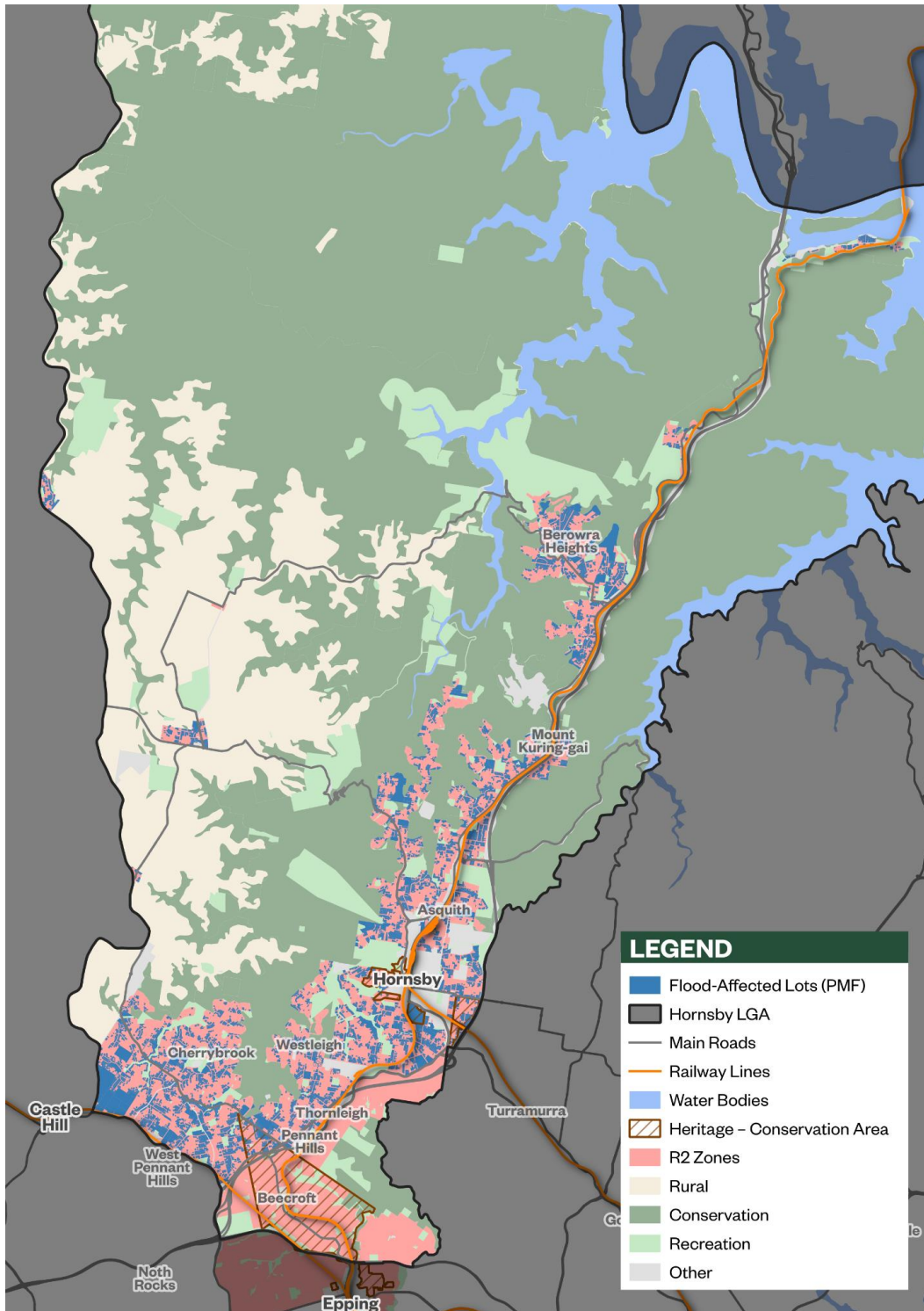


Figure 8: Lots excluded due to flood risk
Source: Mecone

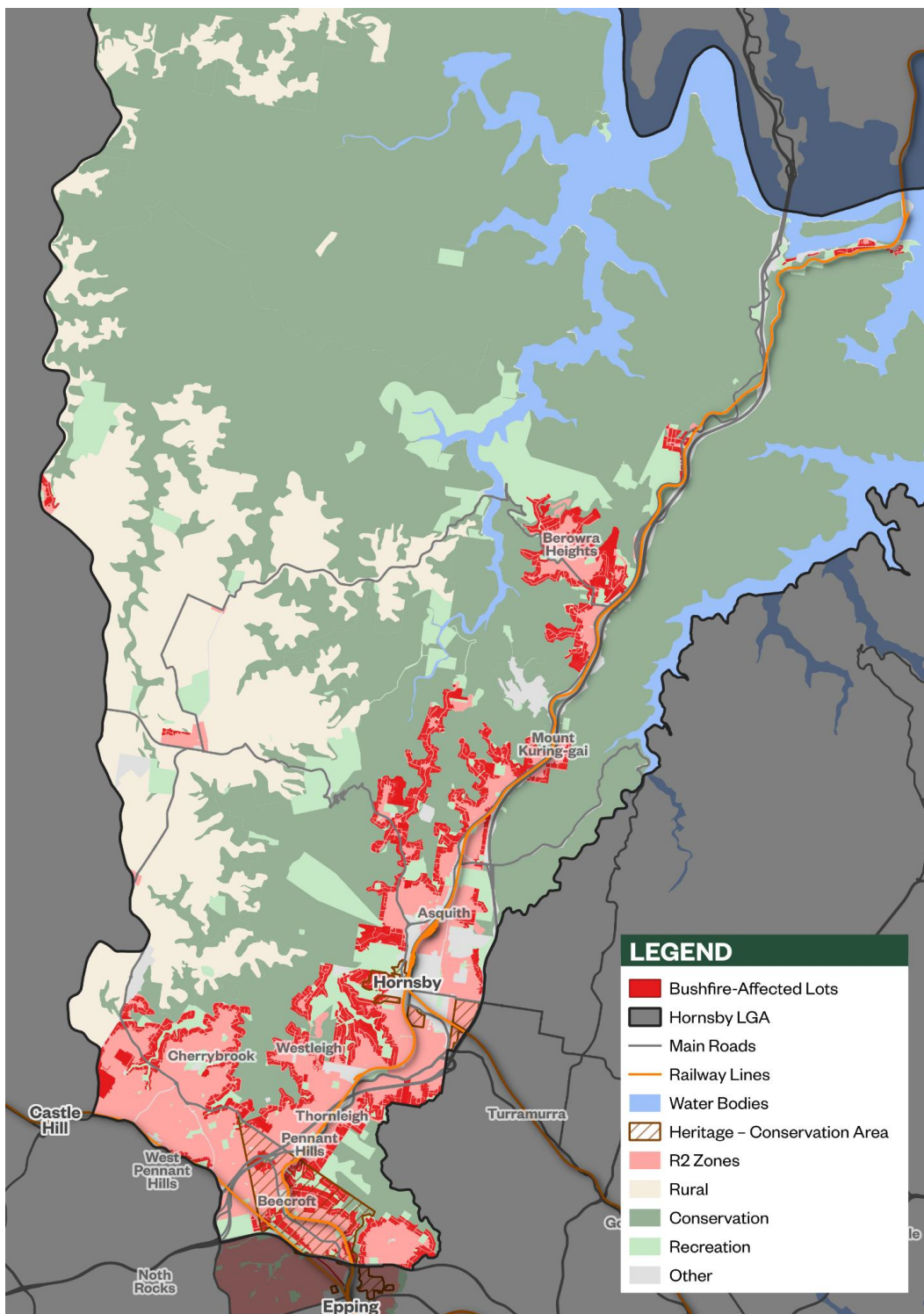


Figure 9 Lots excluded due to bushfire risk
Source: Mecone



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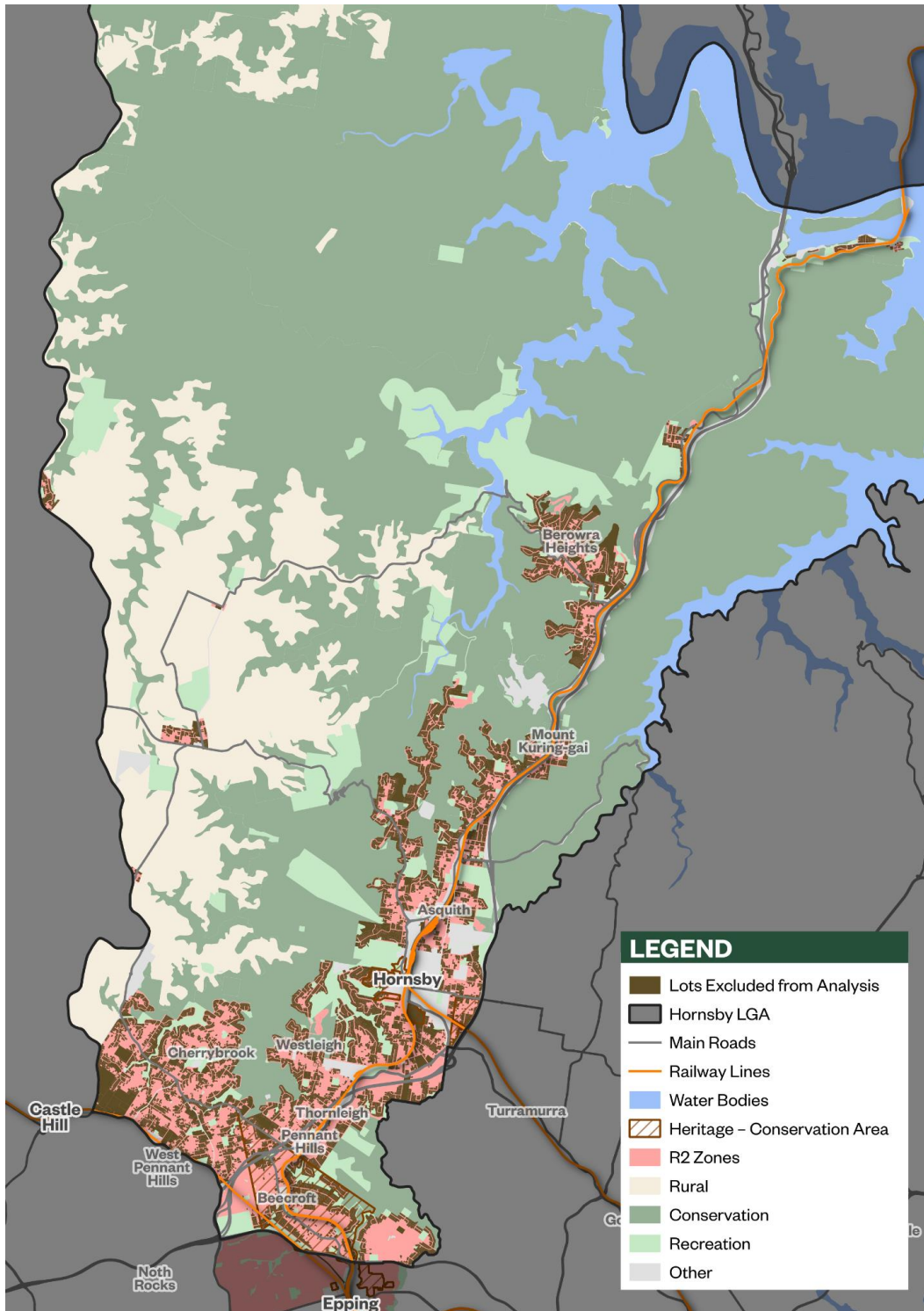


Figure 10: All excluded lots
Source: Mecone



5.2 Characteristics of R2 land where dual occupancy and semi-detached dwellings permitted

The GIS analysis of the application of the low and mid-rise housing reform introduction of dual occupancy and semi-detached housing in the R2 zone identifies that dual occupancy and semi-detached housing will be permissible on 14,123 R2 zoned lots in Hornsby Shire (see Table 5). These lots are mapped in Figure 11. The lots included in the analysis are referred to in this report as 'eligible lots'.



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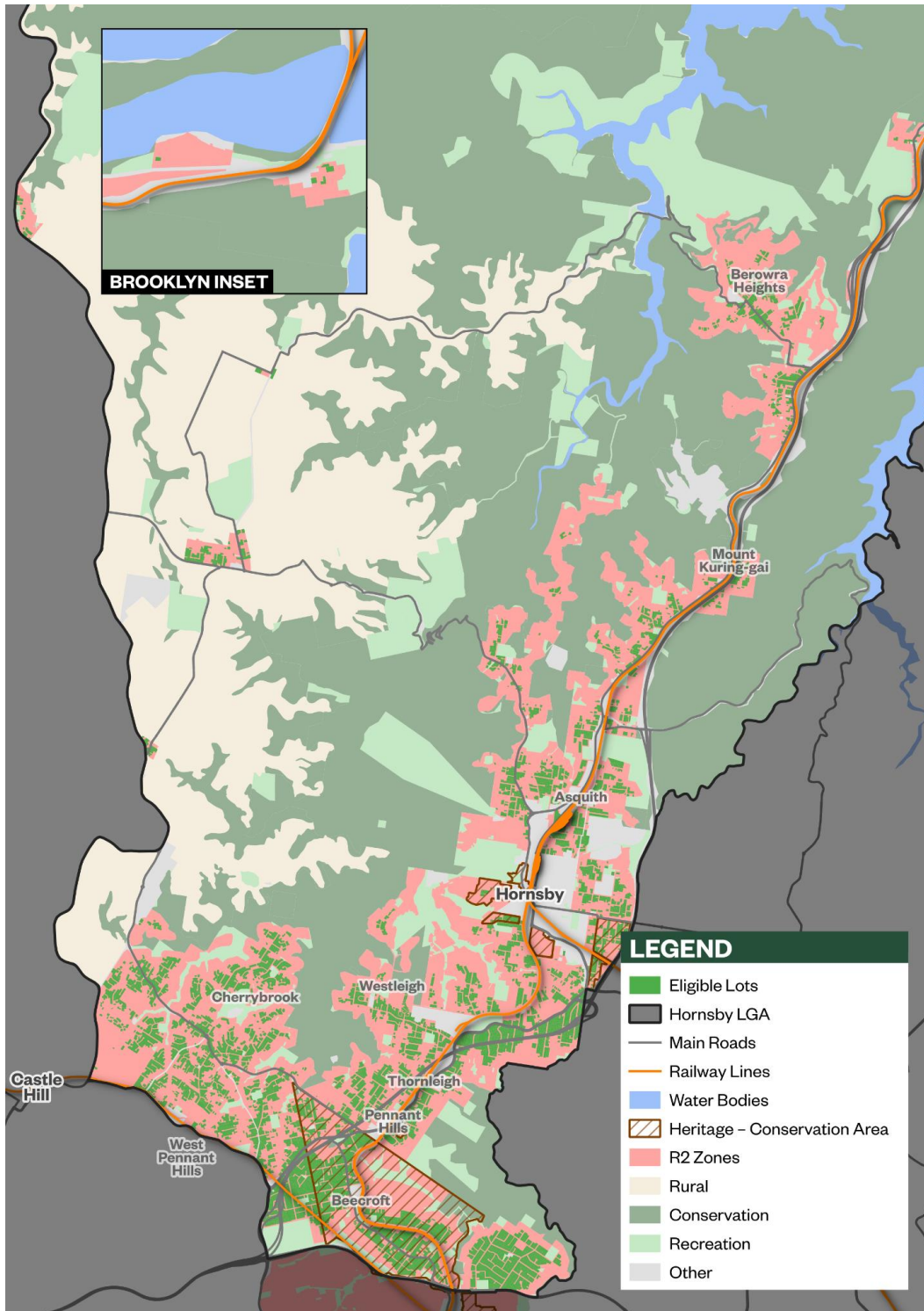


Figure 11: Spatial extent of R2 land where dual occupancy and semi-detached dwellings permitted (eligible lots)

Source: Mecone



5.2.1 Lot size

The distribution of 'eligible lots' is similar to the distribution across all lots in the R2 zone. Almost 30% of 'eligible lots' are between 700m² and 800m² in size, with a total of almost 70% between 500m² and 1,000m². The median lot size is 754m². The larger lots are concentrated in the Beecroft-Cheltenham HCA and in Normanhurst as illustrated in Figure 13.

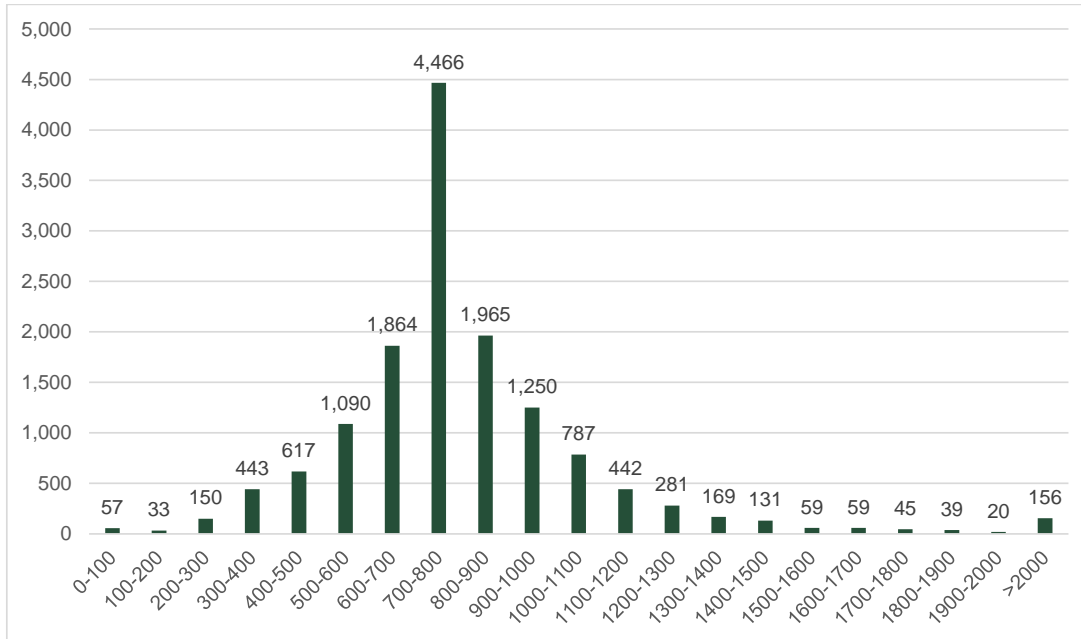


Figure 12: Distribution of lot sizes (m²) of 'eligible lots'
 Source: Mecone



ATTACHMENT 3 - ITEM 4

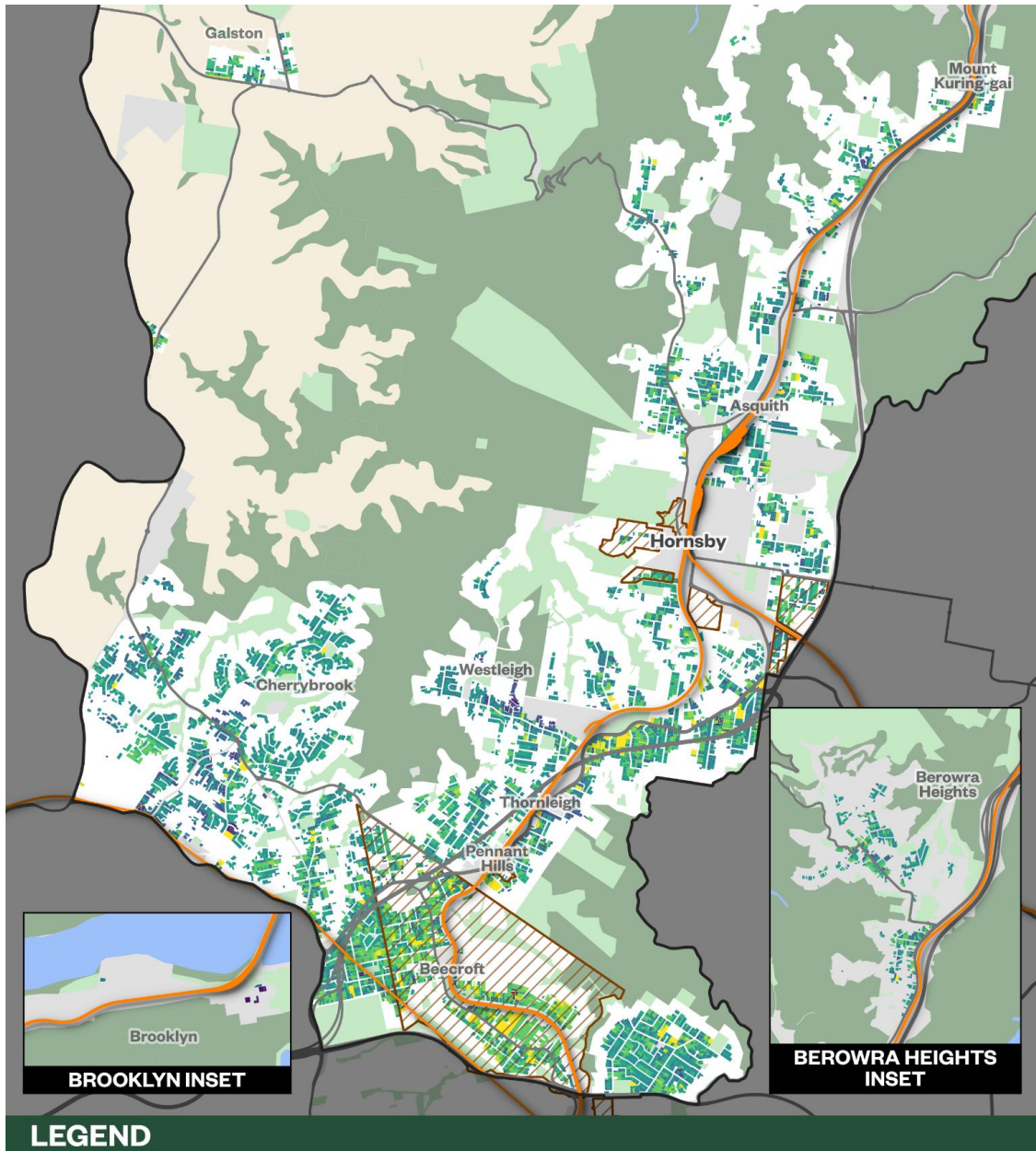


Figure 13: Lot size distribution of 'eligible lots'
 Source: Mecone

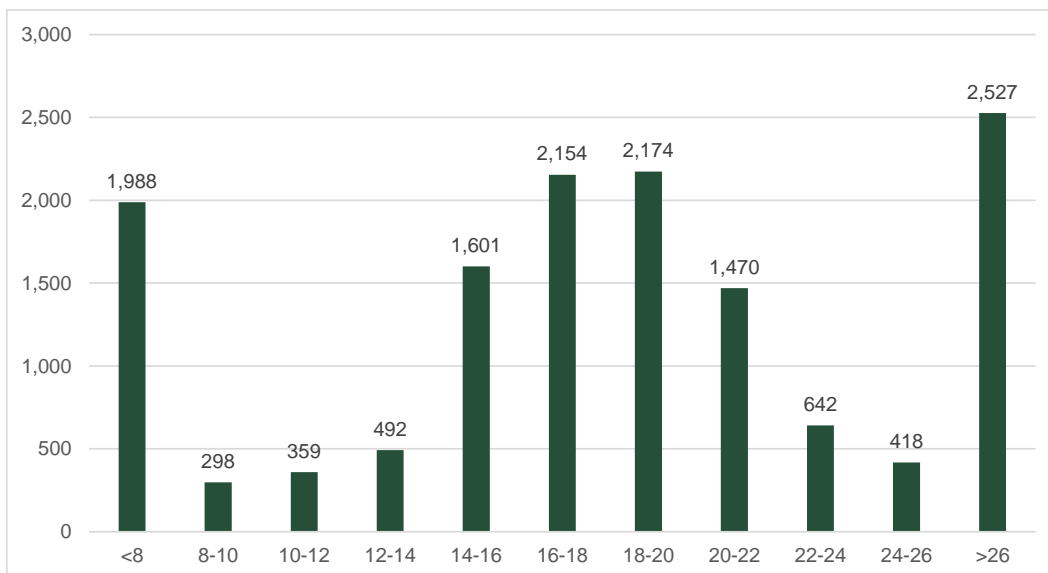


5.2.2 Lot width

Almost 14% of the eligible lots have a lot frontage of less than 8m, generally representing battle-axe lots. The lots are most commonly between 16-18m wide and 18-20m wide, which is similar to the distribution of lot frontage width across all the R2 zone. Lots with the widest frontages are in the Beecroft-Cheltenham HCA and in Normanhurst as illustrated in Figure 15.

The graph in Figure 14 suggests a large number of lots with a frontage of 26m or more. Many of these are corner lots with more than one street frontage.

Battle-axe lots have a lot frontage less than 8m. Although battle-axe lots are distributed throughout the R2 zone, there are clusters of battle-axe subdivision in the Beecroft-Cheltenham HCA, Normanhurst and West Pennant Hills. These correlate with the underlying subdivision pattern of larger lots.



- Notes:
1. Frontages <8m include battle-axe lot access handles
 2. Frontages 26m+ include corner lots where the sum of the two street frontages totals more than 26m.

Figure 14: Distribution of lot frontages of 'eligible lots'

Source: Mecone

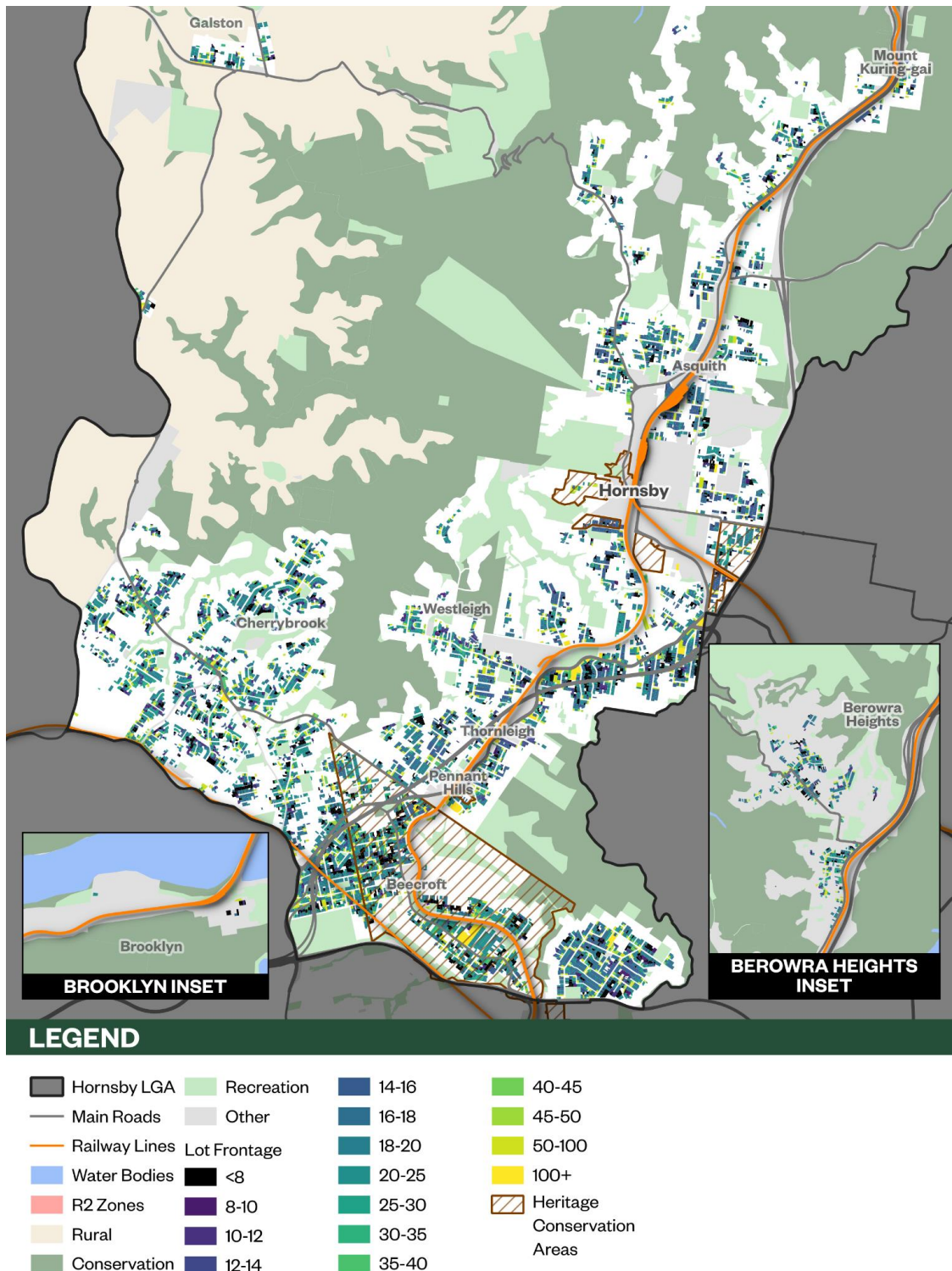
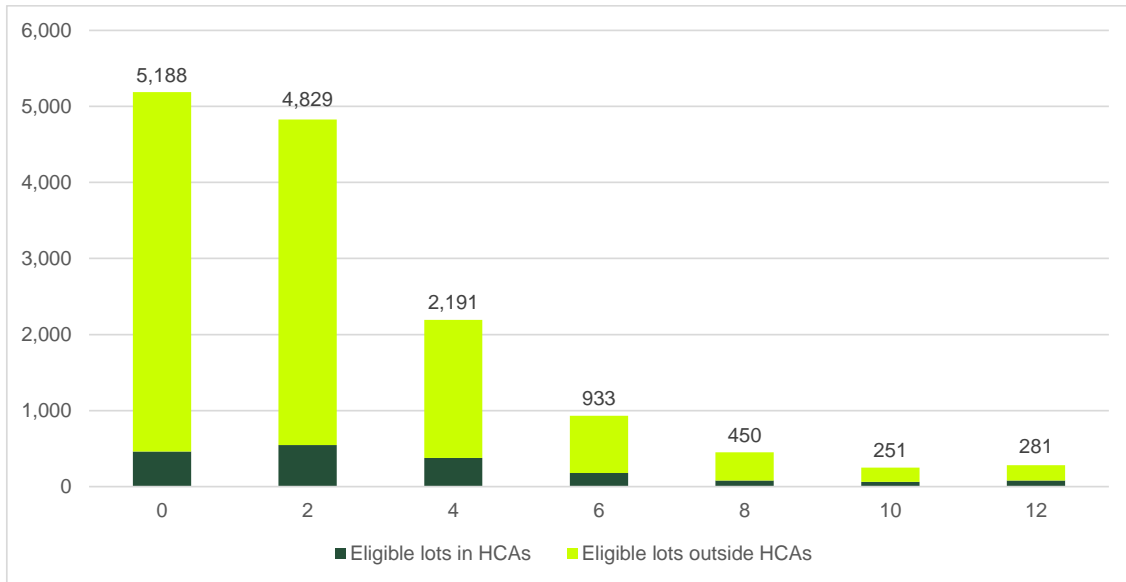


Figure 15: Spatial distribution of lot frontages (eligible lots)
Source: Mecone



5.2.3 Topography

Analysis of the topography of all 'eligible lots' in Hornsby Shire has identified that most of lots are relatively flat as indicated in Figure 16.



Note: Difference in elevation (m) = maximum elevation – minimum elevation

Figure 16: Difference in elevation (m) on eligible lots
Source: Mecone



6 LEP planning controls testing

Based on the findings of the comparative case study in Chapter 4 and the understanding of the lot characteristics of the R2 lots developed in Chapter 5, a series of LEP planning control scenarios have been developed and tested to understand the impact of different lots size and width/frontage on the ability to realise dual occupancies in Hornsby Shire and the extent of change this could introduce to neighbourhoods. The scenarios were developed incrementally, guided by the findings of the previous scenario.

The scenario testing also considers the possible planning approval pathways for dual occupancies and the ability of LEP controls to influence these. The complying development pathway is available for dual occupancies that meet minimum requirements relating to lot size and lot width. These are discussed in more detail in Section 6.1 Housing SEPP base scenario; however, it is important to note that *Low Rise Housing Diversity Code* in the *Codes SEPP* sets the minimum lot width for complying development while the minimum lot size is set by reference to the LEP control. The complying development pathway is not available for dual occupancies in the heritage conservation areas.

The base scenario and tested scenarios are summarised in Table 6.

Table 6: Minimum lot size and width scenarios

	Minimum lot size	Minimum lot width
Complying Development base scenario	400m ²	15m
Scenario 1	600m ²	15m
Scenario 2	600m ²	16m
Scenario 3	700m ²	16m
Scenario 4	850m ²	None
Scenario 5	Outside HCA: 700m ² HCA: 800m ²	16m
Scenario 6	Outside HCA: Attached dual occupancy 700m ² Detached dual occupancy 800 m ² HCA: Attached dual occupancy 800m ² Detached dual occupancy 900m ²	16m

These scenarios are each described in more detail. The outcomes for 'eligible lots' (lots where dual occupancy is permissible under the Housing SEPP) and all R2 zoned lots are summarised in the sections that follow.



6.1 Complying development base scenario

Chapter 3 Diverse Housing Part 12 of *State Environmental Planning Policy (Housing) 2021* (the Housing SEPP) makes dual occupancies and semi-detached housing permissible in the R2 zone.

Dual occupancy development can be undertaken as complying development under the *Part 3B Low Rise Housing Diversity Code* of the *Exempt and Complying SEPP*, provided a specified requirements and standards are met. Complying development cannot be undertaken in heritage conservation areas. The following lot requirements must be met:

3B.8 Lot requirements

(1) *The area of the parent lot must not be less than whichever is the greater of the following—*

(a) *400m²,*

(b) *the minimum lot area specified for dual occupancies in the environmental planning instrument that applies to the land concerned.*

(1A) *Despite subclause (1), the area of the parent lot in development carried out by or on behalf of the Aboriginal Housing Office, the Land and Housing Corporation or a registered community housing provider, within the meaning of State Environmental Planning Policy (Housing) 2021, must not be less than 400m².*

(2) *The width of the parent lot must not be less than the following when measured at the building line—*

(a) *if the car parking space for the parent lot is accessed only from a secondary road, parallel road or lane—12m,*

(b) *otherwise—15m.*

As Hornsby Shire LEP does not specify a minimum lot size for dual occupancies (parent lot size), complying development dual occupancies would be permissible on lots larger than 400m². Subdivision resulting in lots of 200m² would be permissible under the provisions of *Part 6 Subdivisions Code* of the *Exempt and Complying SEPP*.

Table 7 summarises the number of 'eligible lots' which meet the lot requirements; therefore, dual occupancies would be permissible on these lots. Although the analysis does not consider the likely take-up of dual occupancies, Table 7 and Figure 18 highlight that dual occupancies would be widely permissible on 'eligible lots' within the LGA. Not adopting a specific minimum lot size for dual occupancies in Hornsby Shire may result in significant change and impacts across the R2 zone.

Table 7: Scenario – Housing SEPP base scenario

Scenario – Housing SEPP base scenario				
Minimum parent lot size (m ²)	400m ²			
Minimum parent lot width	15m			
	Eligible lots		All R2 zoned lots	
Lots meeting the scenario criteria	9,100	64%	24,250	67%

Notes: All results rounded to nearest 50 dwellings

Eligible lots are the lots where the Housing SEPP permits dual occupancy and semi-detached dwellings



This scenario, whilst yielding the greatest number of new dual occupancy developments would also result in the greatest change in character to low density neighbourhoods and make retention of tree canopy cover and heritage conservation very difficult. Given the strategic planning priorities in Hornsby, adoption of the above minimum controls would result in a poor outcome for the LGA. The removal of trees would make achieving the State policy targets for tree canopy in Greater Sydney difficult.

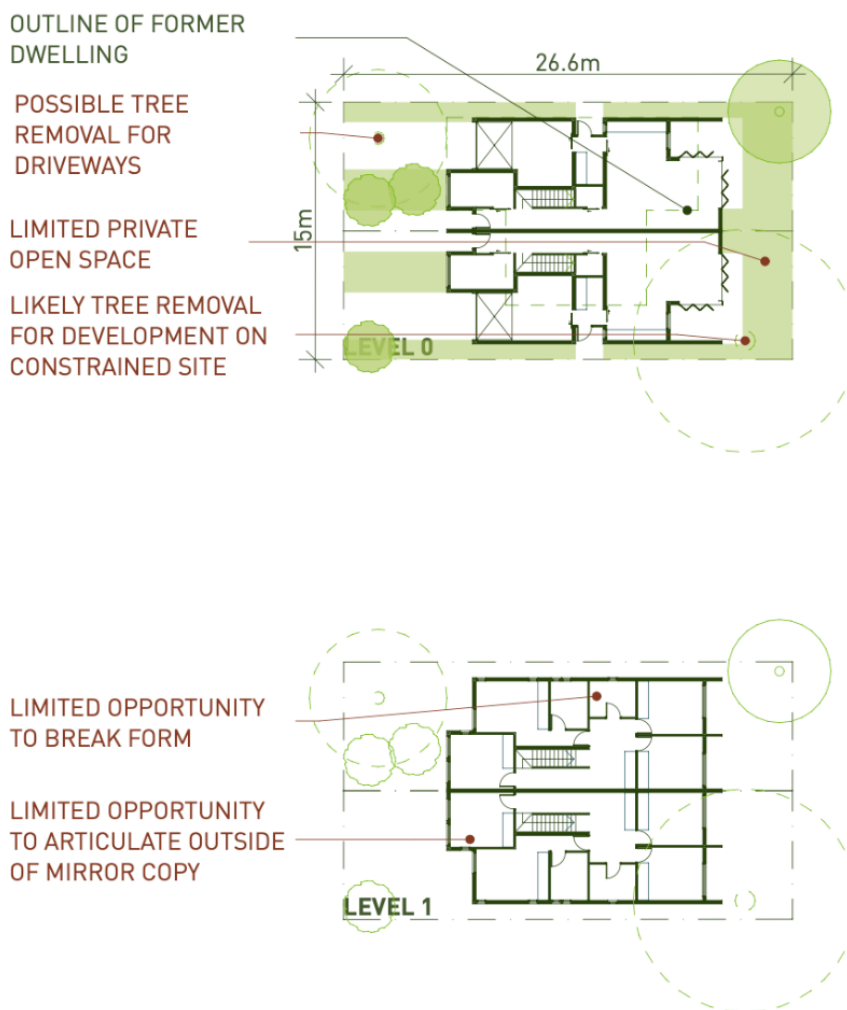


Figure 17: Typical Complying Development Dual Occupancy design

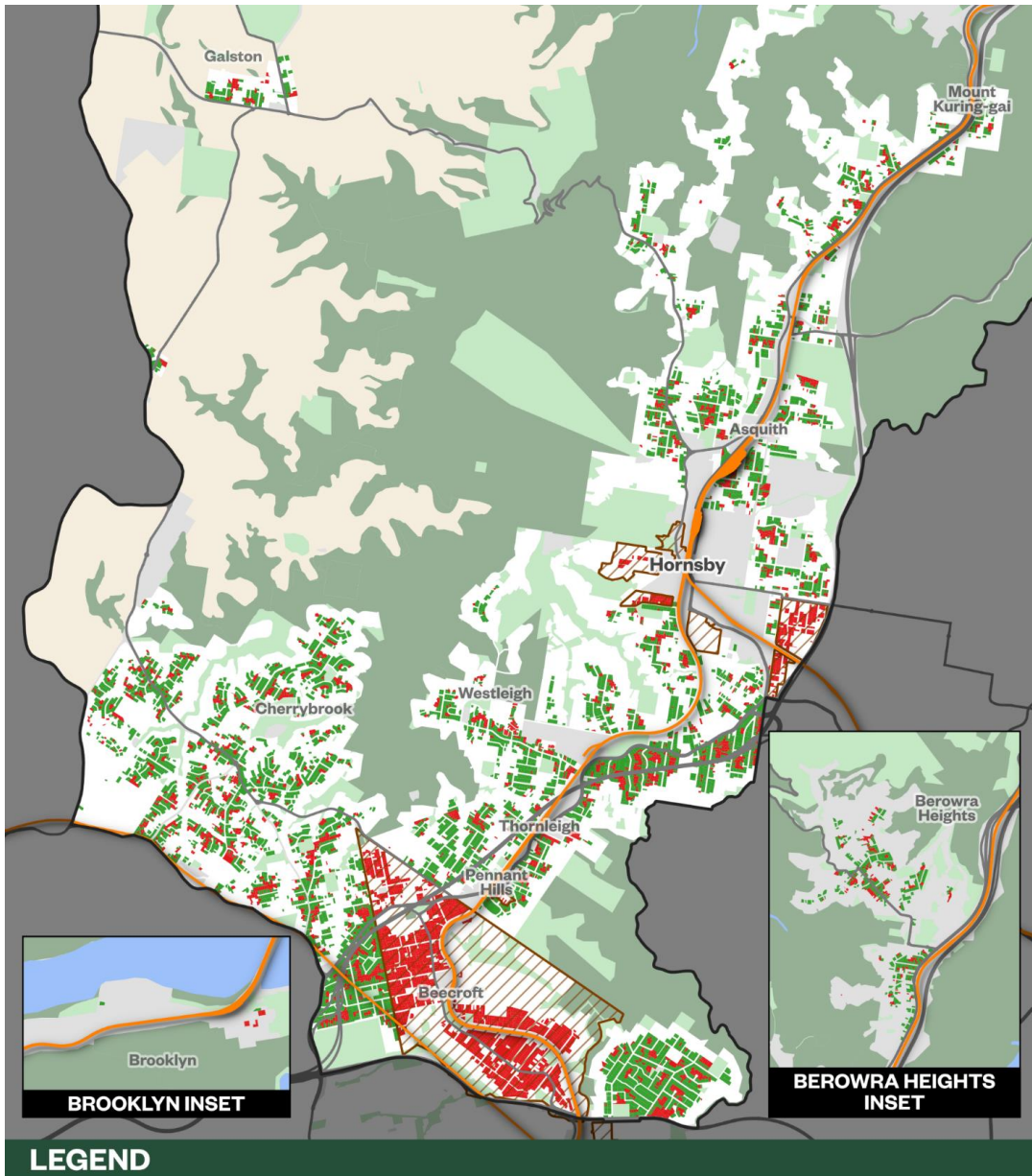


Figure 18: Complying development base scenario – distribution of ‘eligible lots’



6.2 Scenario 1

Scenario 1 adopts a minimum parent lot size of 600m², which is reflective of market expectations to deliver an attached side-by-side dual occupancy product with smaller dwellings. This lot size offers scope to resolve site constraints in accommodating dwellings, private open space and parking. However, tree canopy retention and landscaping opportunities are limited. The scenario adopts the same minimum lot width as required for complying development. This lot width is considered the minimum that could be adopted in the Hornsby Shire context, given the prevailing lot width and streetscape character across the R2 zone.

Table 8 summarises the number of 'eligible lots' which meet these criteria, meaning dual occupancies would be permissible on these lots. The significant number of 'eligible lots' which meet the criteria, and the widespread distribution as illustrated in Figure 20 could result in significant change in neighbourhoods and streetscapes if the tested parent lot size and parent lot width was adopted. Impacts in the Beecroft-Cheltenham HCA could be significant with almost three-quarters of 'eligible lots' meeting the lot criteria for dual occupancy development.

Approximately two-thirds of lots meeting the criteria would be eligible for change under this scenario. Larger and wider lots might result in varied dual occupancy types, while smaller lots would likely yield side-by-side Torrens title models, creating two driveways per original lot. In some neighbourhoods, this could negatively impact the character of low-density areas due to the potential extent of change.

It could reasonably be expected that many potential dual occupancy proposals on lots meeting these controls would be undertaken through the complying development pathway.

Table 8: Scenario 1

Scenario 1				
Minimum parent lot size (m ²)	600m ²			
Minimum parent lot width	15m			
	Eligible lots		All R2 zoned lots	
Lots meeting the scenario criteria	9,600	68%	25,000	69%
Lots within an HCA meeting the scenario criteria	1,300	73%	2,650	74%
Lots outside an HCA meeting the scenario criteria	8,300	67%	22,350	68%

Note: All results rounded to nearest 50 dwellings



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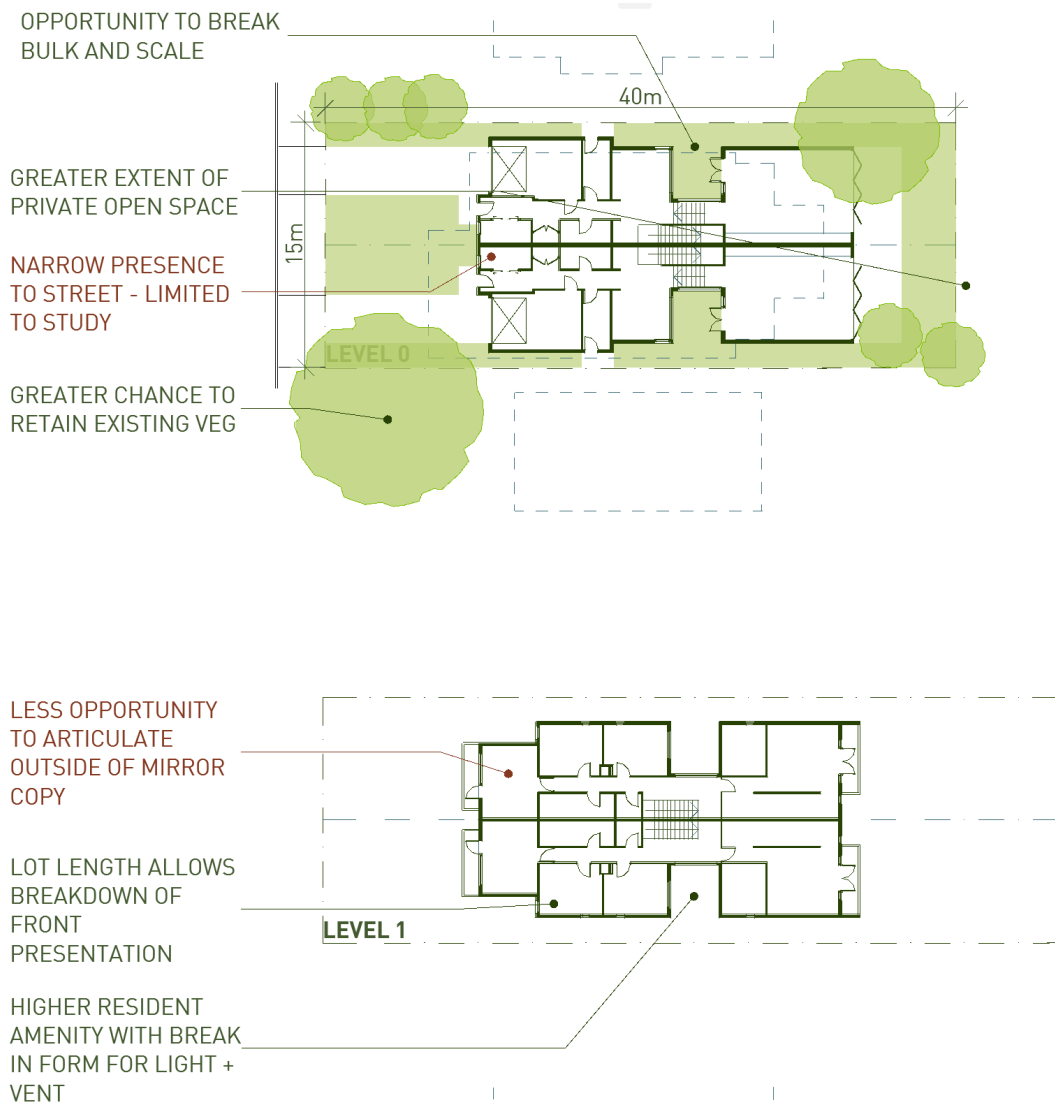


Figure 19: Example of possible scenario 1 outcomes

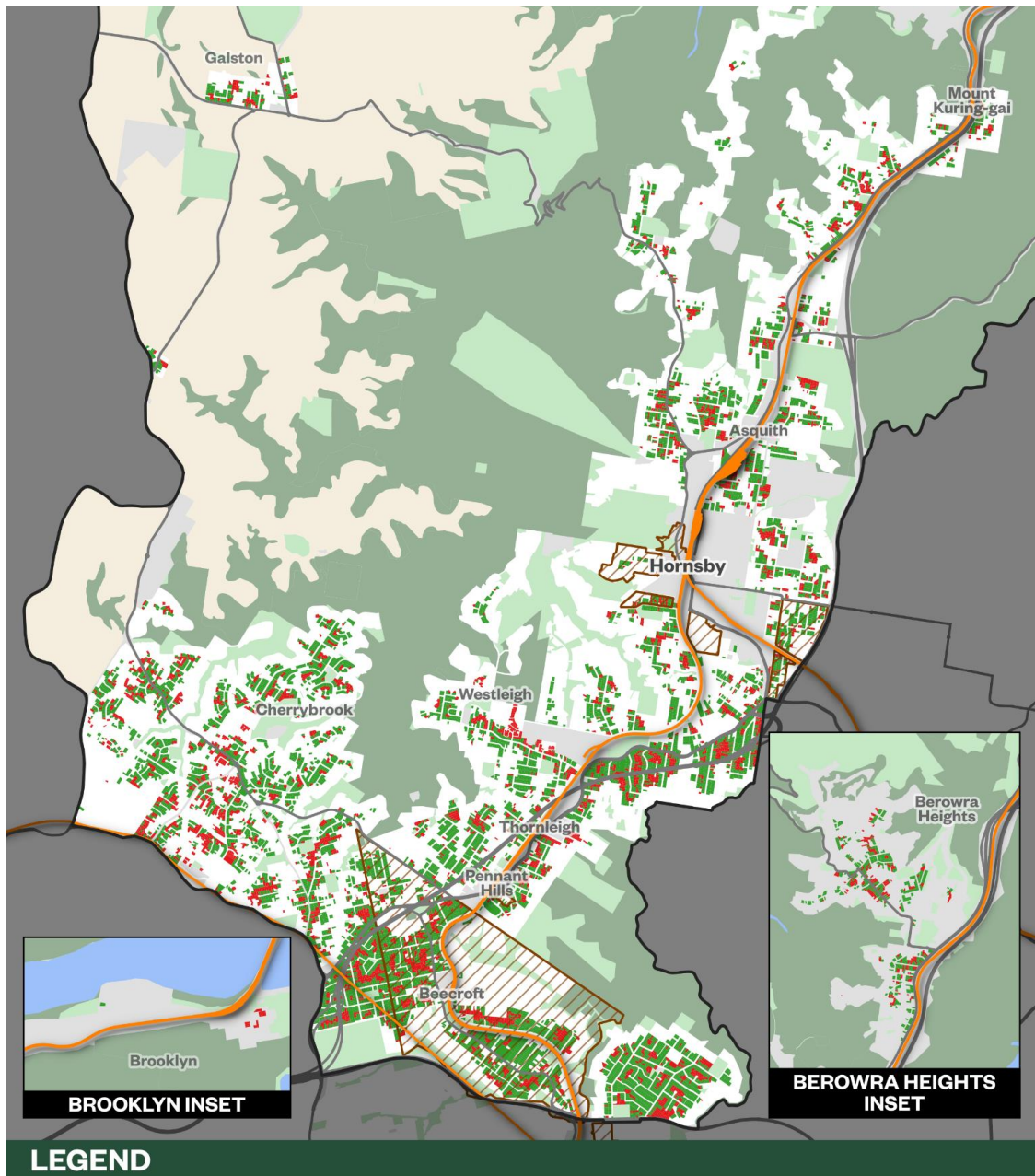


Figure 20: Spatial distribution of 'eligible lots' meeting Scenario 1 criteria
 Source: Mecone



6.3 Scenario 2

Scenario 2 tests the same parent lot size of 600m² and a parent lot width of 16m. The parent lot size offers scope to resolve site constraints in accommodating dwellings, private open space and parking. The wider parent lot width provides greater opportunity for tree retention and greater landscaping on lots accommodating dual occupancy development. This combination of parent lot size and parent lot width will most likely encourage an attached side-by-side form of development.

Table 9 summarises the number of 'eligible lots' which meet these criteria, meaning dual occupancies would be permissible on these lots. The significant number of 'eligible lots' which meet the criteria, and the widespread distribution as illustrated in Figure 22 introduces the possibility of widespread change in neighbourhoods and streetscapes if the tested parent lot size and parent lot width was adopted.

This combination of controls would only apply to development applications.

Proposals choosing the complying development pathway would be required to meet the 600m² lot size and 15m lot width requirement – see Scenario 1. Wider frontage controls would allow development that can't follow a CDC pathway to have a better chance of ground level interaction with the street (see Figure 21) yielding a positive outcome for architectural character. However, in some areas a 600m² parent lot control may have poor outcomes in terms of existing vegetation and cultural heritage.

Table 9: Scenario 2

Scenario 2				
Minimum Parent Lot Size (m ²)	600m ²			
Minimum Parent Lot Width	16m			
	Eligible lots		All R2 zoned lots	
Lots meeting scenario criteria	8,450	60%	22,700	63%
HCA lots meeting scenario criteria	1,150	65%	2,400	68%
Lots outside HCA meeting the scenario criteria	7,300	59%	20,300	62%

Note: All results rounded to nearest 50 dwellings

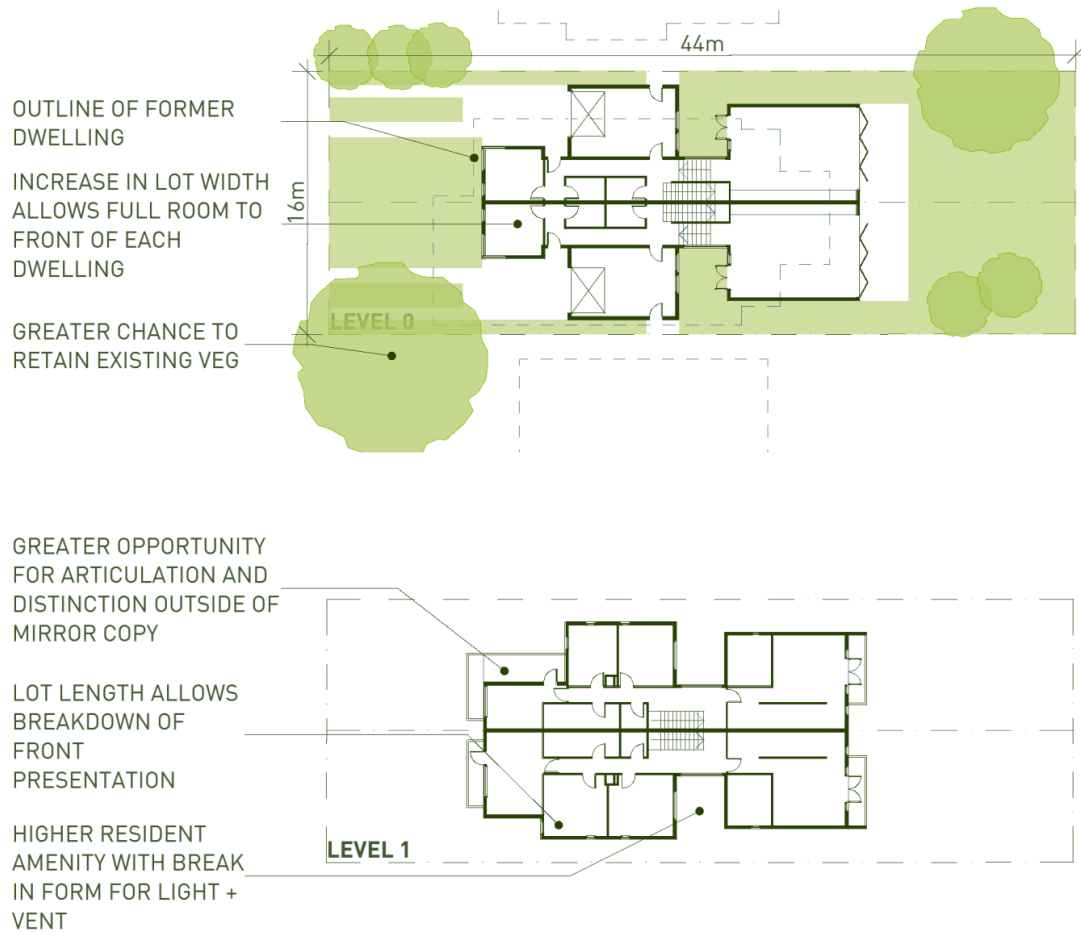


Figure 21: Example of possible scenario 2 outcomes



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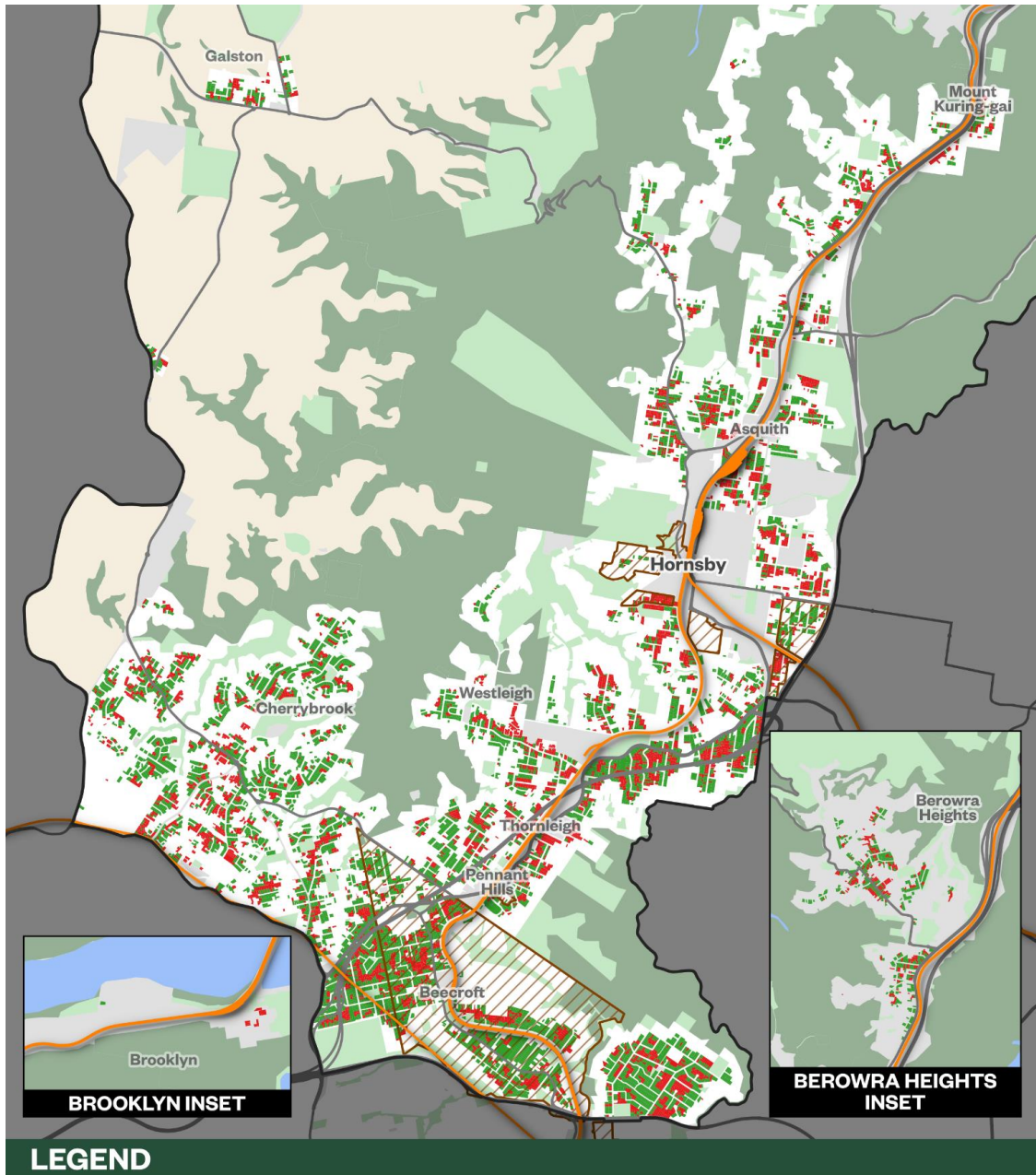


Figure 22: Spatial distribution of 'eligible' lots – Scenario 2
 Source: Mecone



6.4 Scenario 3

Scenario 3 tests a larger parent lot size of 700m² and a parent lot width of 16m. This lot size is more responsive to lot sizes prevalent in Hornsby Shire. It provides greater design flexibility to respond to site characteristics and more opportunity for tree canopy retention and landscaping. This combination of parent lot size and lot width will most likely encourage a side-by-side form of development, but detached forms, especially one-behind the other forms could be achieved.

Table 10 summarises the number of 'eligible lots' which meet these criteria, meaning dual occupancy development would be permissible on these lots. This indicates that just over half of all 'eligible lots' meet the criteria. The impact would be greater in the heritage conservation areas, where 60% of 'eligible lots' meet the criteria.

The frontage width would yield similar positive architectural character outcomes noted in Scenario 2. The larger parent lot size would likely have a better chance of retaining existing vegetation particularly in rear yards while still increasing density compared to current subdivision controls for detached dwellings in the LGA.

Table 10: Scenario 3

Scenario 3				
Minimum Parent Lot Size (m ²)	700m ²			
Minimum Parent Lot Width	16m			
	Eligible lots		All R2 zoned lots	
Lots meeting the scenario criteria	7,300	52%	19,800	55%
HCA lots meeting the scenario criteria	1,100	60%	2,250	64%
Lots outside HCA meeting the scenario criteria	6,200	50%	17,550	54%

Note: All results rounded to nearest 50 dwellings

This combination of controls would only apply to development applications. Proposals choosing the complying development pathway would be required to meet 700m² minimum lot size and 15m minimum lot width.



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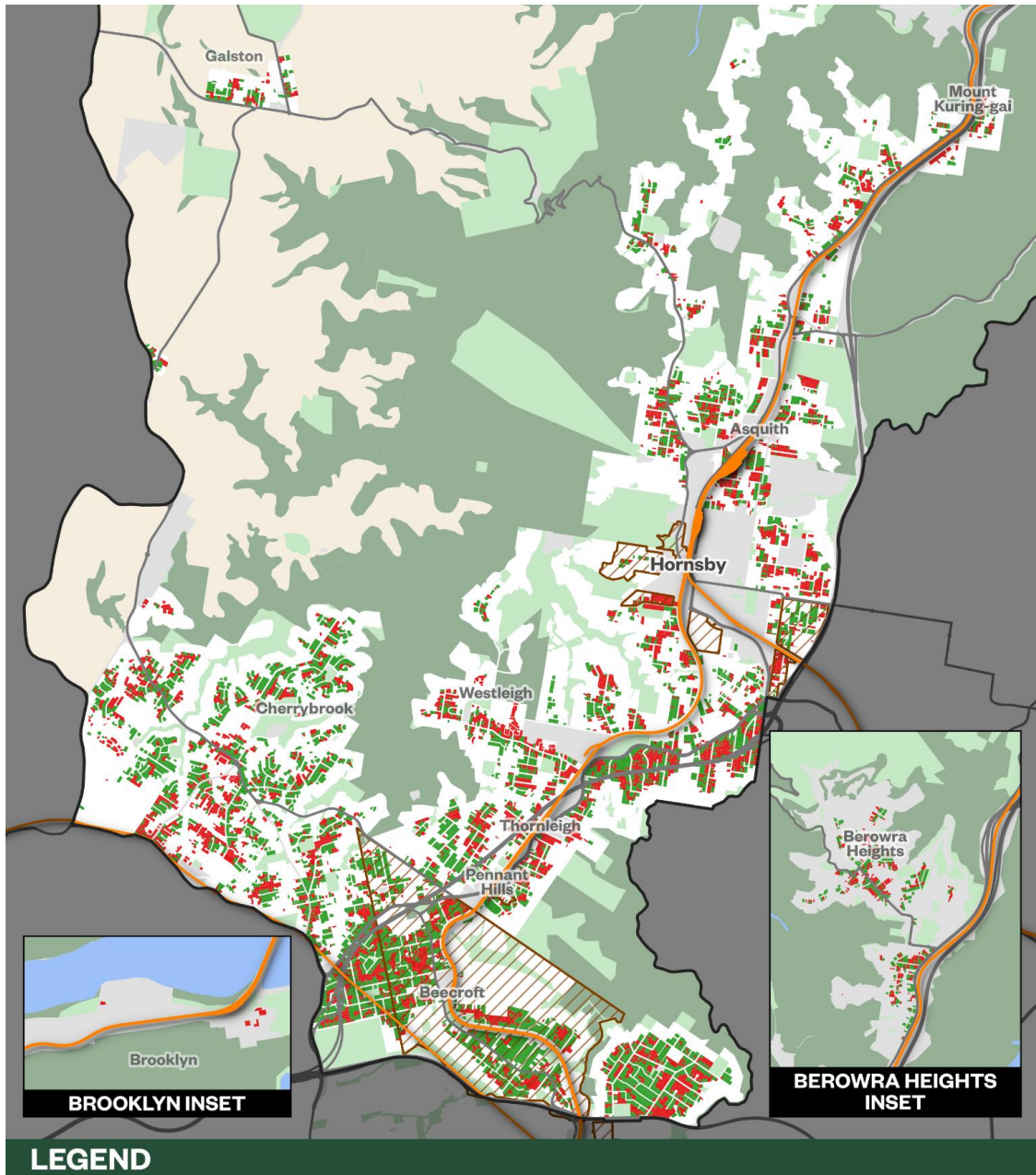


Figure 23: Spatial distribution of eligible lots – Scenario 3
 Source: Mecone



6.5 Scenario 4

Scenario 4 tests a parent lot size of 850m², a size that may comfortably accommodate detached side-by-side and one-behind-the other (depending on the site geometry) dual occupancies. It is considered likely that the one-behind-the other form of dual occupancy may be preferred in Hornsby Shire due to the lower cost of development when compared with demolition and redevelopment of two attached dwellings. Torrens title subdivision can also be achieved, which is attractive to the market.

Table 11 summarises the number of 'eligible lots' which meets these criteria, meaning dual occupancy development would be permissible on these lots. Analysis indicates that this lot size would result in 30% of 'eligible lots' meeting the criteria. In comparison, 54% of 'eligible lots' in the heritage conservation areas would meet the criteria. The impact of this lot size would be disproportionately borne by the heritage conservation areas as shown in Figure 24.

This scenario would result in the lowest number of new dual occupancies explored so far. While it would protect existing neighbourhood character it would also yield a lesser uptick in density and unlikely to be supported by the State government, given the stated desire for the minimum lot size to permit dual occupancy on 50% of R2 lots. There would also be a greater proportion of dual occupancy development within heritage conservation areas than general residential areas resulting in a disproportionate impact on existing character and poor outcomes in terms of heritage conservation.

Table 11: Scenario 4

Scenario 4				
Minimum parent lot size (m ²)	850m ²			
Minimum Parent Lot Width	N/A			
	Eligible lots		All R2 zoned lots	
Lots meeting the scenario criteria	4,250	30%	12,900	36%
HCA lots meeting the scenario criteria	1,000	54%	2,200	61%
Lots outside HCA meeting the scenario criteria	3,250	26%	10,700	33%

Note: All results rounded to nearest 50 dwellings

This combination of controls would only apply to development applications. Proposals choosing the complying development pathway would be required to meet 850m² minimum lot size and 15m minimum lot width.



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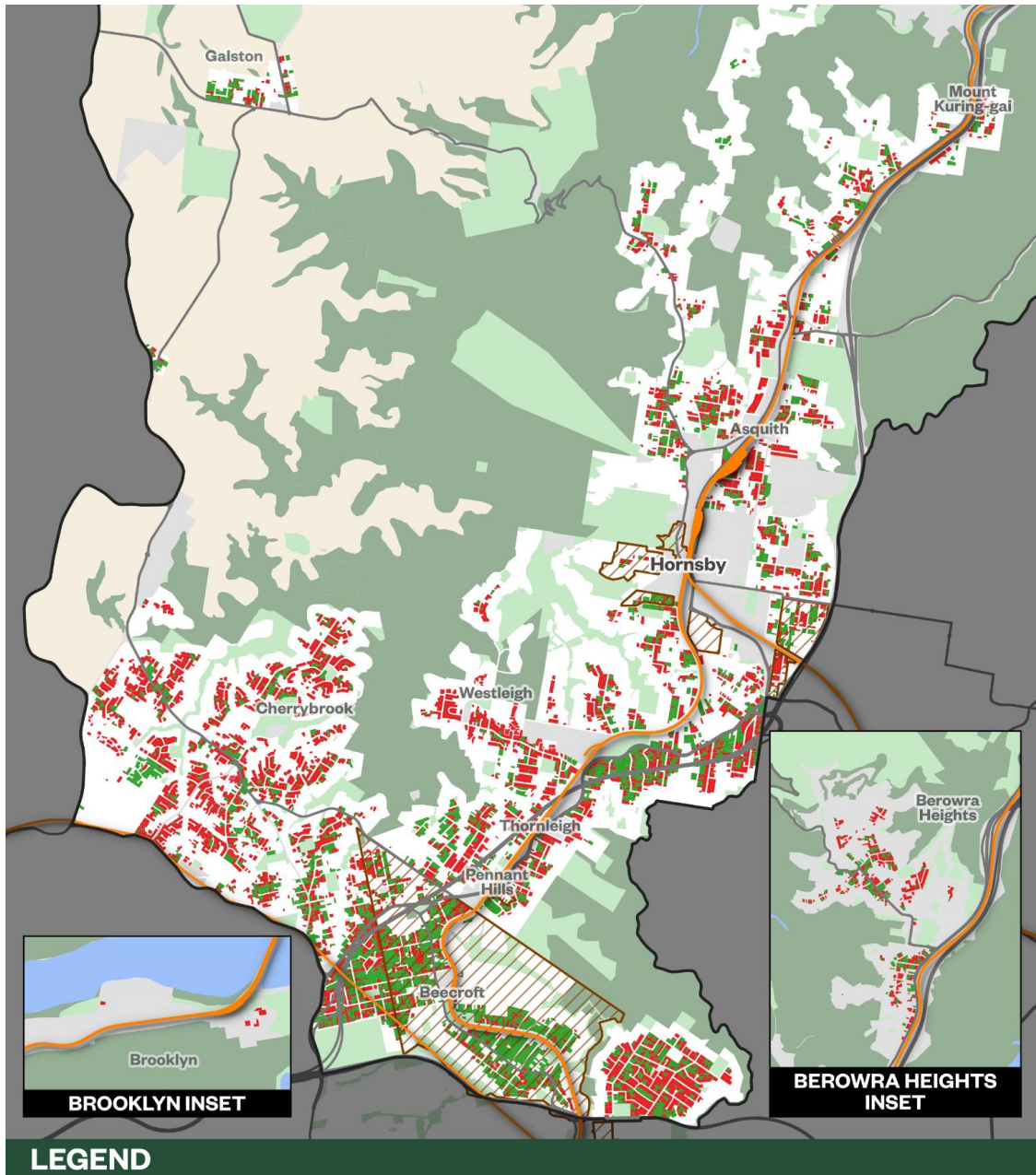


Figure 24: Spatial distribution of 'eligible' lots – Scenario 4
 Source: Mecone



6.6 Scenario 5

Scenario 5 is a refinement of Scenario 3 to respond to the identified potential greater impacts on the heritage conservation areas of setting larger minimum parent lot sizes identified in Scenarios 3 and 4. This scenario tests the impact of adopting a larger minimum parent lot size in the heritage conservation areas than elsewhere.

A larger minimum lot size in heritage conservation areas ensures that dual occupancy development in these areas can respect and retain the character of these areas. It provides opportunity to retain the existing mature tree canopy and landscaping on lots, and provide proportionate space around buildings, in keeping with the character of these areas. This lot size may encourage one-behind-the-other forms of dual occupancy, so limiting the impact on the streetscape.

The 16m lot width can accommodate a one-behind the other dual occupancy with a side driveway/ access. This allows for a 3m driveway plus planting on either side and 12-13m for the street facing dwelling. Most lots in the heritage conservation areas are greater than 18m wide, with the result that the street-facing lot in such a dual occupancy would be more than 15m wide. Associated battle-axe subdivisions can allow ongoing interpretation of the original subdivision layout. For this arrangement of the dwellings the 15m lot width is too narrow.

Different controls for heritage conservation areas and general residential neighbourhoods would likely result in better outcomes in terms of architectural character in conservation areas while allowing a fair increase in density to general residential neighbourhoods. Given average lot sizing in heritage conservation areas, a proportional burden still exists with a greater rate of change likely in HCAs compared to the general residential area. Further thought needs to be given to suitable DCP controls for these character neighbourhoods.

Table 12 summarises the number of 'eligible lots' which meet these criteria, meaning dual occupancies would be permissible on these lots. Analysis indicates that 50% of 'eligible lots' and 47% of eligible lots within the HCAs meet the scenario combination of parent lot sizes and parent lot width. The spatial distribution of 'eligible lots' which meet these criteria is shown in Figure 29.

Table 12: Scenario 5

Scenario 5				
Minimum Parent Lot Size (m ²)				
• Within HCAs			800m ²	
• Outside HCAs			700m ²	
Minimum Parent Lot Width			16m	
			Eligible lots	All R2 zoned lots
Total lots meeting the scenario criteria	7,100	50%	19,400	53%
HCA lots meeting the scenario criteria	850	47%	1,850	51%
Lots outside HCAs meeting the scenario requirement	6,250	51%	17,550	54%

Note: All results rounded to nearest 50 dwellings



The controls tested in Scenario 5 would apply to development applications. These would primarily be dual occupancy forms for which the complying development pathway is not available (detached one-behind the other), development in heritage conservation areas and development on sites with specific constraints.

Where the complying development pathway is selected, (e.g. proposals outside the heritage conservation areas) they would be required to meet 700m² minimum lot size (LEP) and 15m minimum lot width (Codes SEPP). Analysis indicates that 56% of 'eligible lots' would meet the minimum parent lot and minimum width criteria for the complying development pathway.

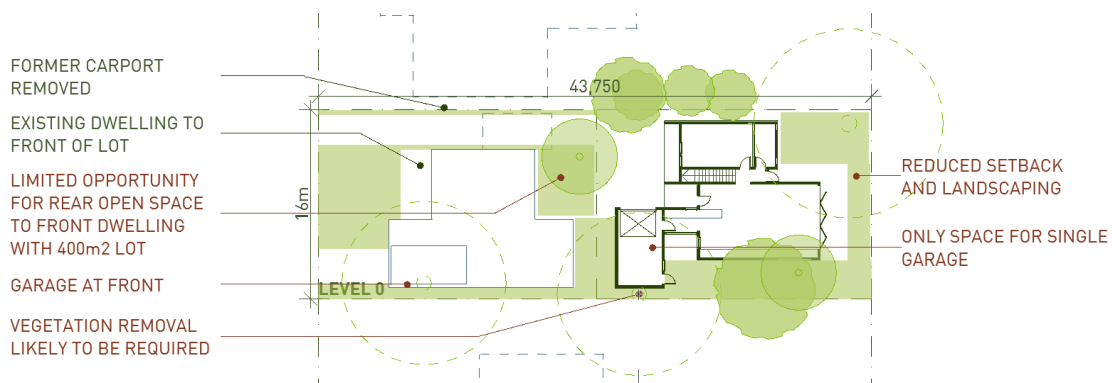


Figure 25: Example of detached dual occupancy on lot size of 700m²

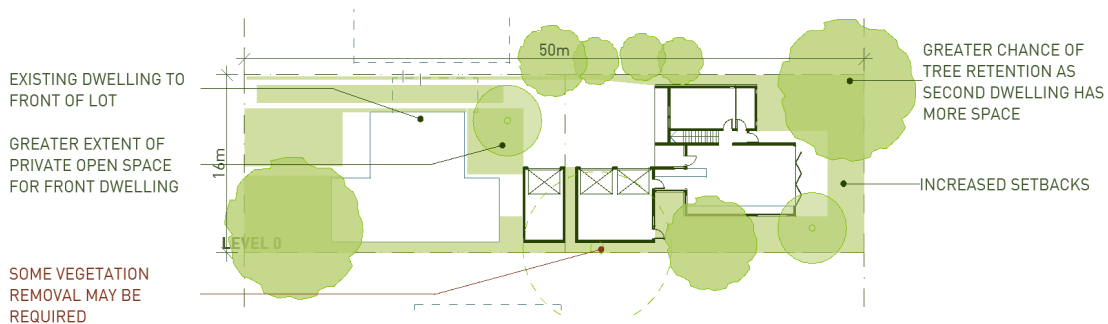


Figure 26: Example of detached dual occupancy on lot size of 800m²



6.7 Scenario 6

Scenario 6 is a further refinement of the controls proposed in Scenario 5 in response to design testing. The scenario tests the impact of increasing the minimum lot size for detached dual occupancies in heritage conservation areas to 900m² to provide greater space to provide residential amenity and provide parking on-site while retaining the tree canopy and streetscape characteristics. The increased space recognises the additional site area utilised by setbacks compared to development where the dwellings are attached. This additional area is needed where detached dual occupancies are provided in the one behind the other configuration and on corner lots.

The total number of ‘eligible lots’ and the distribution of ‘eligible lots’ which meet these criteria is the same as in Scenario 5.

Similarly to Scenario 5, differentiated controls for HCAs to the rest of the R2 zone result in more targeted outcomes for preserving and enhancing architectural character. The larger lots in the heritage conservation areas are likely to encourage the one behind the other dual occupancies preserving existing dwellings and providing cost effective development options. Given the variety of lot sizes and shapes in the heritage conservation areas tailored controls based on typology will likely lead to a greater preservation of tree canopy as seen in Figure 28 when applied to detached one behind the other dual occupancy on larger lots. Tailored controls will allow alternate typologies on smaller appropriately sized blocks.

Specific DCP controls can guide outcomes in terms of character and the scale of new development adjoining contributory items.

Table 13: Scenario 6

Scenario 6					
Minimum Parent Lot Size (m ²)					
• Within HCAs	Attached dual occupancy	800m ²			
	Detached dual occupancy	900m ²			
• Outside HCAs	Attached dual occupancy	700m ²			
	Detached dual occupancy	800m ²			
Minimum Parent Lot Width		16m			
		Eligible lots		All R2 zoned lots	
Lots meeting the scenario criteria	7,100	50%	19,400	53%	
Lots within an HCA meeting the scenario criteria	850	47%	1,850	51%	
<i>Lots 800m² – 899m²</i>	200		350		
<i>Lots > 900m²</i>	650		1,500		
Lots elsewhere meeting the scenario criteria	6,250	51%	17,550	54%	
<i>Lots 700m² – 799m²</i>	3,250		8,550		
<i>Lots > 800m²</i>	3,000		9,000		

Note: All results rounded to nearest 50 dwellings



Similarly to Scenario 5, the controls tested in Scenario 6 would apply to development applications. Where the complying development pathway is selected, (e.g. proposals outside the heritage conservation areas), they would be required to meet 700m² minimum lot size (LEP) and 15m minimum lot width as required by the Codes SEPP. Analysis indicates that 56% of 'eligible lots' would meet the minimum parent lot and minimum width criteria for the complying development pathway.

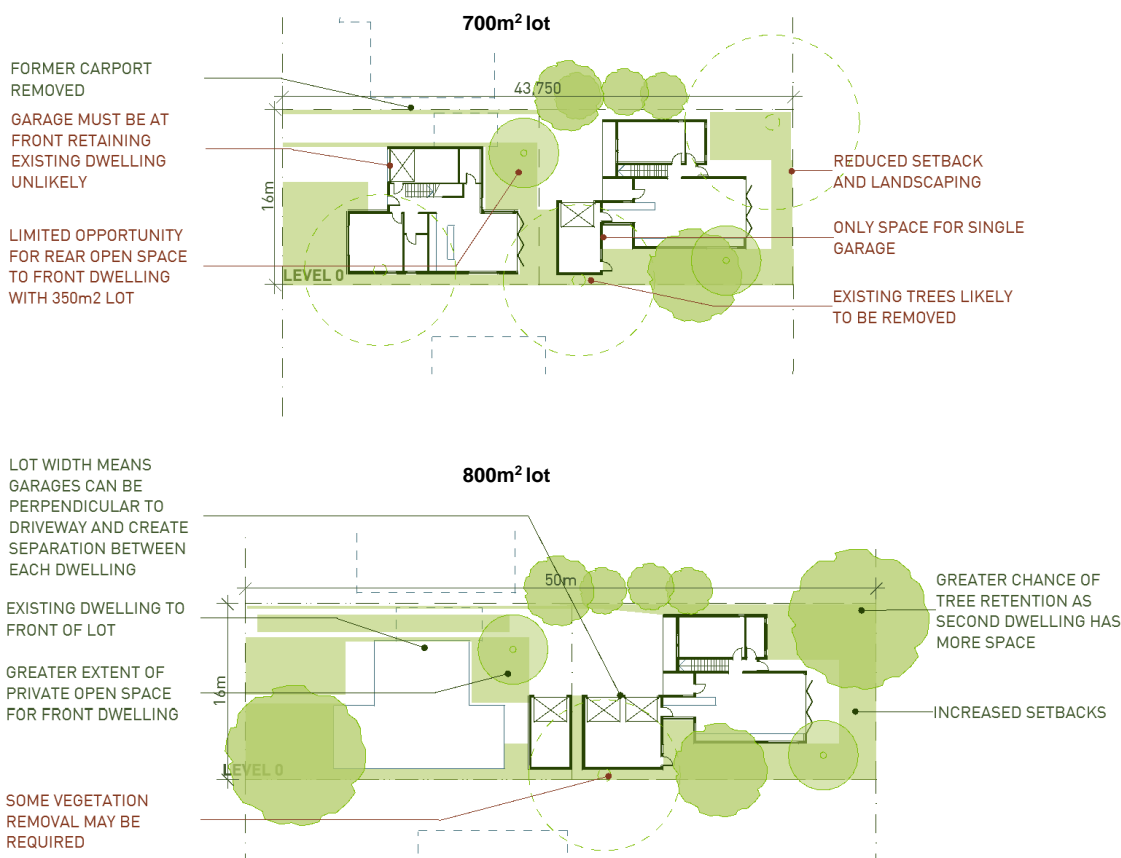


Figure 27: Example of Scenario 6 one-behind-the-other typology outcome on lot size of 700 vs 800m²

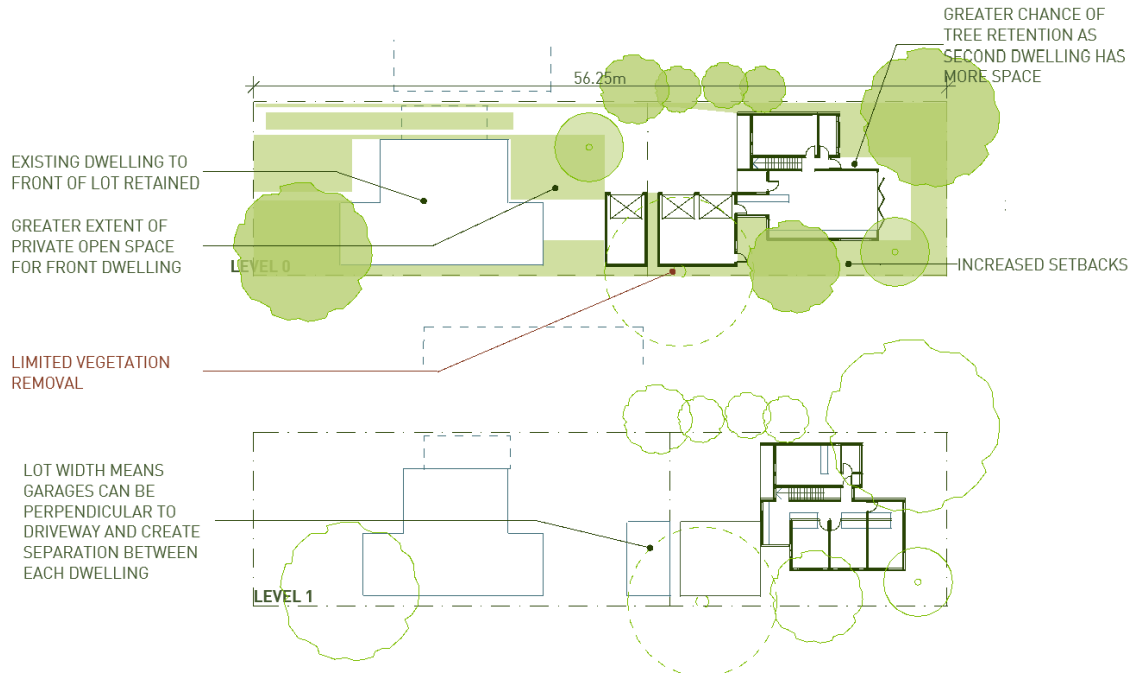


Figure 28: Example of Scenario 6 one-behind the other typology outcome on lot size of 900m²

ATTACHMENT 3 - ITEM 4

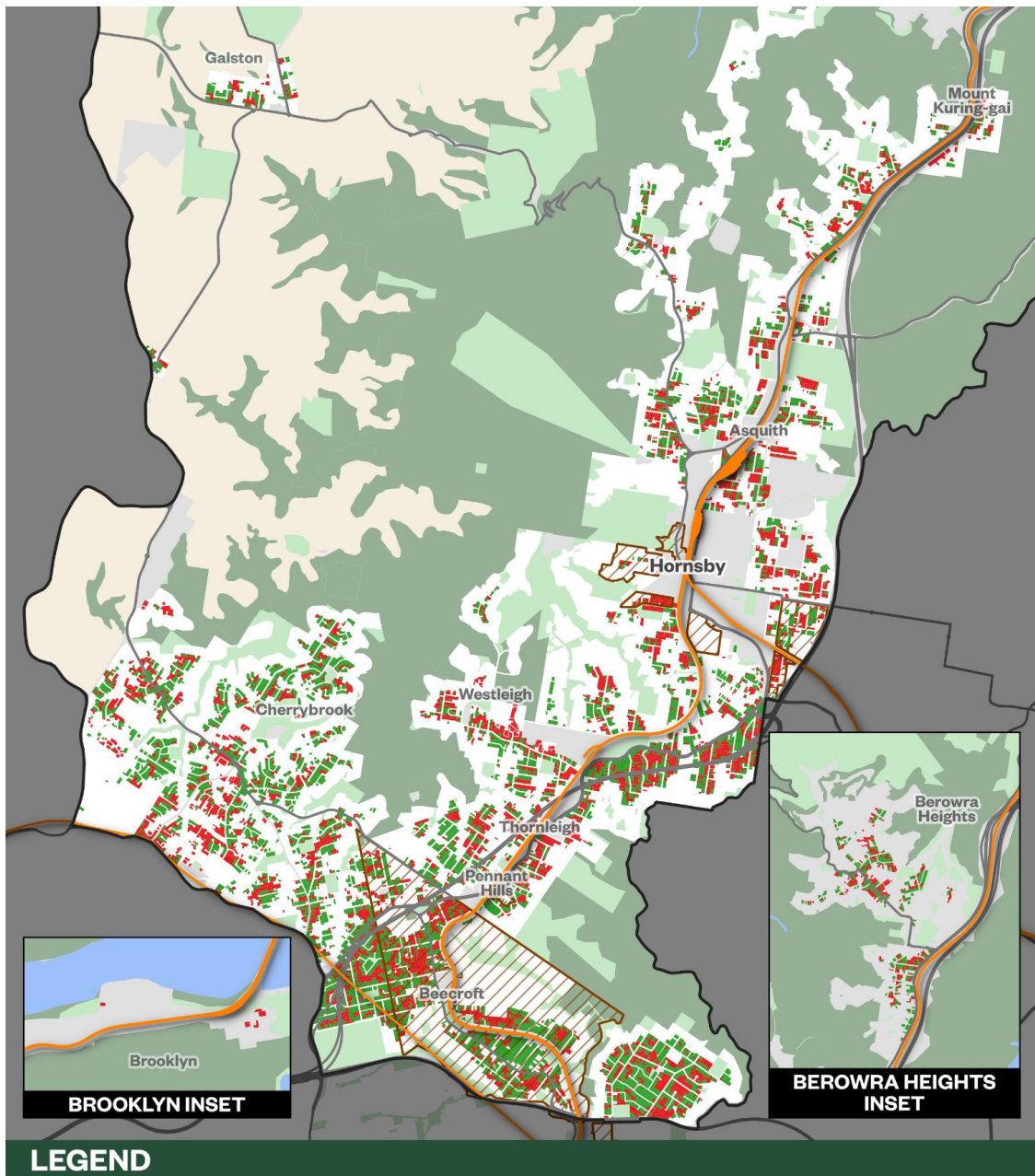


Figure 29: Spatial distribution of lots – Scenarios 5 and 6
 Note: The minimum lot size for scenario 5 and 6 is the same for both scenarios, which results in the same distribution of lots. The difference between Scenario 5 and Scenario 6 is that Scenario 6 requires a larger lot size for detached dual occupancy. This changes the potential form of dual occupancy on the lots, not the distribution of eligible lots.
 Source: Mecone



ATTACHMENT 3 - ITEM 4

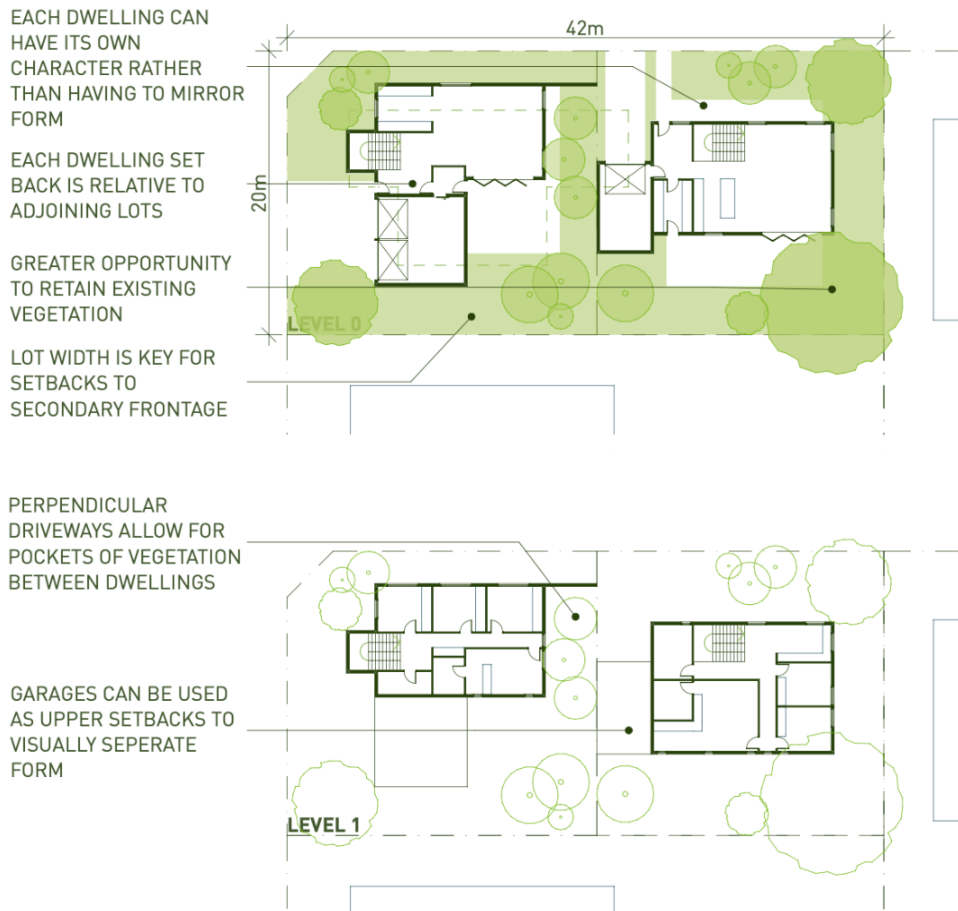


Figure 30: Example of Scenario 6 detached dual occupancy on a corner lot

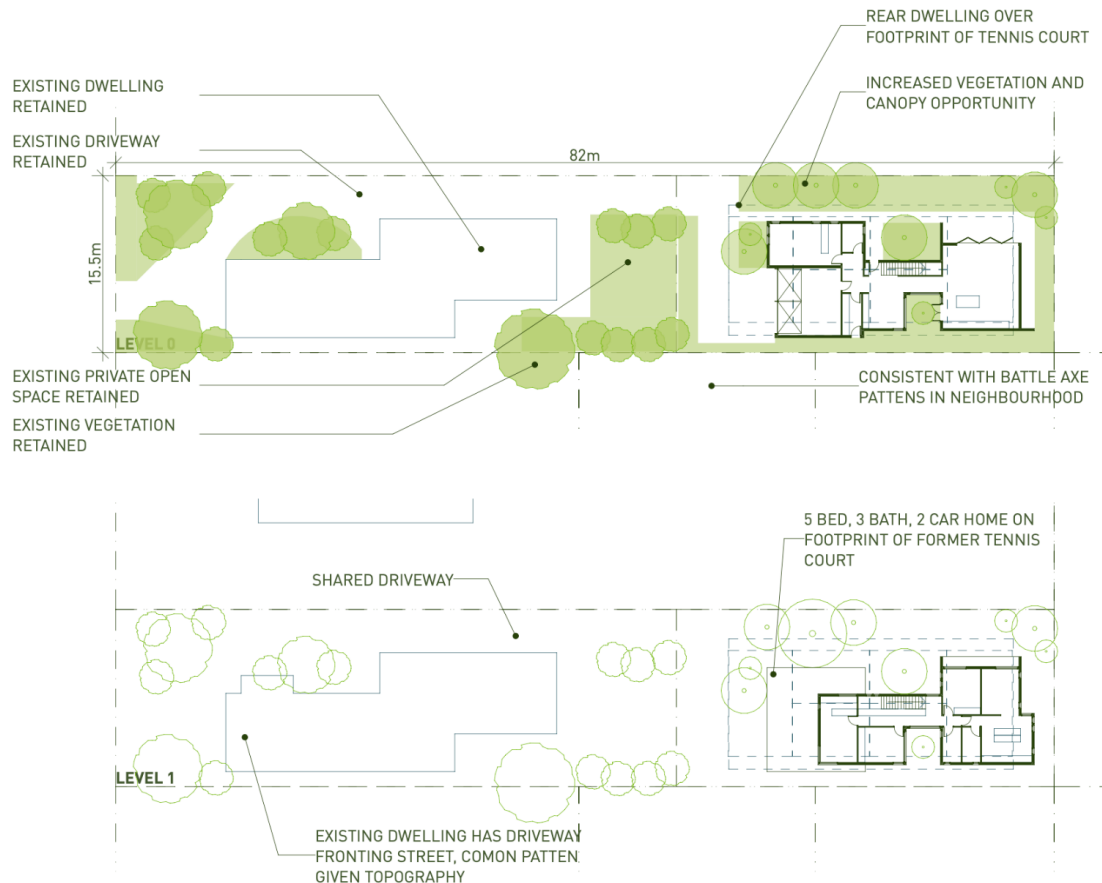


Figure 31: Example of dual occupancy development on tennis court in rear of lot

Testing of the possible outcomes has shown that lots sizes greater than 900m² provide greater opportunity to resolve site constraints and provide residential amenity for forms of detached dual occupancy. A minimum parent lot size of 900m² for detached dual occupancy allows gradual increase in residential density within residential areas, by essentially allowing two dwellings on 900m² compared with standard subdivision which generally requires 1,000m² for two dwellings in the R2 zone and 1,200m² for two dwellings in the Heritage Conservation Areas. This larger parent lot size is most appropriate in heritage conservation areas where lots are larger and one behind the other forms of dual occupancy can locate the second dwelling at the rear of the lot, so reducing the impact of increasing density on the streetscape and character of these areas.

As a result of site constraints being resolved at design stage and good design outcomes achieved before subdivision, the minimum resulting lot size can be less than the minimum lot size for standard subdivision. The case studies and market trends indicate that attached dual occupancy is generally designed with subdivision in mind, resulting in equal resulting lot sizes. Each minimum resulting lot is therefore generally 50% of the parent lot size.



For detached dual occupancy, it is important that each resulting lot can accommodate the required parking, vehicular access and private open space for each dwelling. Requiring that each lot is at least half the size of the minimum parent lot size means that outside of the HCAs, the smallest resulting lot size would be 400m² and within HCAs this would be 450m². In comparison, the standard minimum subdivision lot size outside of HCAs is 500m² and 600m² within HCAs.

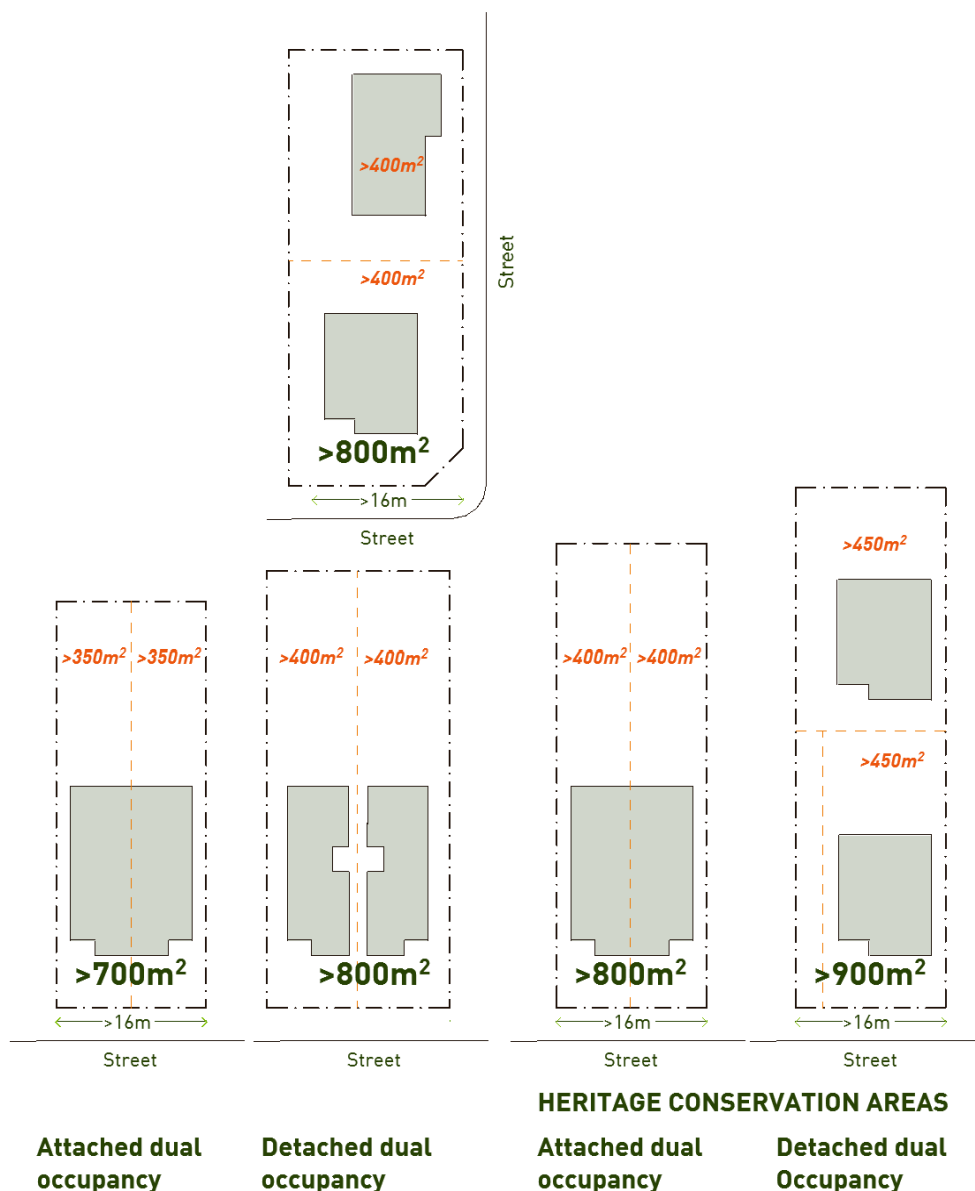


Figure 32: Minimum lot size for subdivision of dual occupancy



7 Implications for Housing Targets

The housing target for Hornsby Shire assumes that 'projected dwellings' would contribute approximately 3,100 dwellings. These dwellings include dual occupancies and semi-detached dwellings in locations where these were previously prohibited, or additional dwellings encouraged by the introduction of Stage 2 of the Low and Mid-Rise Housing Policy, currently anticipated in late 2024.

The analysis below only illustrates the theoretical capacity. No market analysis of uptake has been conducted.

Dual occupancies are likely to occur first where the market identifies and prices a high value in a new completed dwelling, and the existing unrenovated dwelling has relatively low value. Dual occupancies are most likely to occur on regular shaped sites and those that are free from site constraints (unless there are substantial views or value to be extracted from the final sale).

7.1 LEP Planning Controls

Each of the scenarios considered in Section 6 would provide opportunity for new dwellings which, if taken up, would contribute to the Hornsby Shire housing target. The ability of each scenario to deliver dual occupancy through the DA pathway is summarised in Table 14 below. This illustrates that 100% take-up of dual occupancies on lots which meet the specified criteria would make a substantial contribution to meeting the housing target.

Table 14: Net dwelling capacity increase associated with each tested dual occupancy lot size/width scenario

Scenario	No of lots where dual occupancy would be possible (DA pathway)
Complying development base scenario	9,100
Scenario 1	9,600
Scenario 2	8,450
Scenario 3	7,300
Scenario 4	4,250
Scenario 5	7,100
Scenario 6 (recommended)	7,100

Note: All results rounded to nearest 50 dwellings



7.2 Stage 2 of the Low and Mid-Rise Housing Policy

Stage 2 of the Low and Mid-Rise Housing Policy will encourage more housing in residential areas within 800m walking distance from nominated town centres and nominated stations (to be known as 'local housing areas'). There are a range of different dwelling types proposed including dual occupancies, manor houses, multi dwelling housing (terraces) and multi dwelling housing.

This includes introducing the following non-discretionary development standards for dual occupancies in the R2 zone within the 800m walking distance:

- Minimum parent lot size: 450m²
- Minimum lot width: 12m
- FSR: 0.65:1
- Minimum car parking space: 1 per dwelling.

The introduction of Stage 2 of the low and mid-rise housing policy would mean that development applications that meet the above criteria cannot be refused on the basis of lot size or lot width. This will increase the number of lots where dual occupancy development is can be built.

Discussions between the Department of Planning, Housing and Infrastructure and Hornsby Shire Council have identified the station and centres likely to be identified as 'local housing areas' in Hornsby Shire.

A high-level assessment of the impact of the introduction of the exhibited non-refusal standards for dual occupancies in Hornsby Shire suggests that approximately 9,600 R2 zone lots are within the potential 'local housing areas' (i.e. within 800m walking catchment). Approximately 5,100 of these lots are 'eligible lots' under the Housing SEPP – these are the lots where dual occupancy development is permissible.

The introduction of the non-refusal standards will mean that dual occupancy development in the local housing areas will not be required to meet the minimum lot size and width requirements proposed for inclusion in the LEP.

For example, under Scenario 6 outside of the heritage conservation areas, dual occupancy could be developed on an 'eligible lot' with a lot size greater than 450m², but less than 700m² and with a lot width of 12m. Similarly, inside of the heritage conservation areas, dual occupancy could be developed on a lot with a lot width of 12m and a lot size of 450m², but less than 800m². This will increase the potential for dual occupancy in the local housing areas from that identified in the scenario testing.

The scenarios in Section 6 have identified the number of 'eligible lots' which would meet the tested minimum lot size and lot width. Table 15 quantifies the number of lots for each scenario which do not meet the tested controls in the local housing areas, but which meet the non-refusal standards for lot size and width for dual occupancy development.



Table 15: Potential impact of policy change by scenario

Scenario	No of 'eligible' lots meeting scenario controls	No of additional lots eligible through Stage 2 of the Low and Mid-rise Housing Policy	Total no of 'eligible' lots where dual occupancy possible (Housing SEPP plus additional lots in 'local housing areas')
Complying development base scenario	9,100	1,750	10,850
Scenario 1	9,600	1,100	10,700
Scenario 2	8,450	1,650	10,100
Scenario 3	7,300	2,100	9,400
Scenario 4	4,250	3,000	7,250
Scenario 5	7,100	2,200	9,300
Scenario 6 (recommended)	7,100	2,200	9,300

*Additional lots in the local housing areas are the lots larger than 450m² and wider than 12m but which do not meet the criteria for each scenario.

Note: Number of dwellings rounded to nearest 50

The table above outlines that with the recommended scenario 6 and the introduction of the low- and mid-rise housing policy (as exhibited) there would be potential for 9,300 additional dwellings in the R2 zone.



8 Strategic merit and recommendations

The comparative review of the dual occupancy controls and outcomes in seven local government areas in metropolitan Sydney found a market preference for side-by-side (attached) dual occupancies. This may be encouraged by the ability for Torrens Title subdivision, the complying development pathway and a market preference for a frontage directly to the street.

Key findings of the review include that larger lots provide greater opportunity to retain trees and provide space for landscaping. In the context of Hornsby Shire, this is important for responding to and maintaining landscape character. The architectural form and quality of the dwellings is not necessarily determined by lot size or width.

The impact on the streetscape is dependent on several factors. A streetscape characterised by variation in dwelling design, age and materials can accommodate dual occupancy development more readily than one where the street is relatively homogenous in building form and typology. Side-by-side dual occupancies that present as a single dwelling can more easily blend into a streetscape is characterised by the large dwellings. The amount of landscaping provided, and the adequacy of setbacks are also important

The impact of driveways and garages can be significant. Shared driveways and basement car parking can provide opportunities to limit the number of driveways. The design of garage doors and integrating basement entrances into the landscape and built form is not always done well. Although one behind the other form dual occupancies generally tends to have less impact, as one dwelling is not visible from the street, the impact of the additional driveway can be disruptive to the rhythm of the streetscape.

Scenario testing of a combinations of minimum parent lot sizes and parent lot widths found that if no minimum parent lot size is set, the Codes SEPP minimum lot size and lot width requirements of 400m² and 15 wide may allow dual occupancy development to follow the complying development pathway on approximately two-thirds of 'eligible lots' – lots where dual occupancy development is permissible in the R2 zone in the LGA.

The scenario testing identified that the lot size is the key factor which can be varied to manage the extent, typology and distribution of dual occupancy development across Hornsby Shire. Increasing the minimum lot size was demonstrated to reduce the number of lots where dual occupancies could be developed. With a minimum lot size of 600m² and 15m width resulted in 68% of eligible lots meeting the criteria, while 700m² and 16m width meant that 52% of eligible lots met the criteria. An increase in lot size, however, resulted in greater impact on the heritage conservation areas due to the larger prevailing lot size in the Beecroft-Cheltenham HCA. For example, an increase in lot size to 850m² resulting in 54% of HCA eligible lots meeting the criteria, but only 26% of eligible lots outside the HCAs being eligible for dual occupancies.

The scenario testing found that to meet the DPHI expectation that dual occupancy development can be achieved on 50% of eligible R2 lots, the minimum lot size is required to be set below the median lot size of 554 m² for 'eligible lots'.

Design testing illustrated that wider lot width controls allow side-by-side dual occupancy development improve the connection to the street as they allow a front room to the street and can accommodate one behind the other dual occupancy with a minimum 3.5m side driveway/ access.

Design testing also demonstrated that as the design of dual occupancy dwellings is often before, or simultaneously with planning for subdivision, the minimum resulting lot can be less than the minimum lot



size required for standard subdivision as good design outcomes are encouraged in the initial design stage.

Dual occupancy development is often referred to as 'hidden density', as the resulting development often occurs over a long period of time and is carried out with managed change to existing streetscapes where policy settings are appropriately applied. In the context of Hornsby Shire, the policy settings should seek to:

- Set a minimum parent lot size that can accommodate the market preference for side-by-side dwellings, while accommodating retention of trees in the front and rear garden and allow adequate space for car parking.
- Respond to the specific landscape and streetscape characteristics of the heritage conservation areas
- Accommodate the additional spatial requirements of corner lots and one behind the other dual occupancy to deliver good design outcomes
- Provide for a minimum lot width that retains the rhythm of the streetscape
- Set a minimum 'resulting lot size' for subdivision that allows the underlying subdivision pattern of Hornsby to be interpreted and retains the rhythm of the streetscape.

The controls contained in Table 16 are recommended for dual occupancy development in the R2 zone.

Table 16: Recommended controls for dual occupancy in the R2 zone

RECOMMENDATION	RATIONALE
1. Minimum parent lot size: In Heritage Conservation Areas: Attached dual occupancy – 800m ² Detached dual occupancy – 900m ²	A minimum parent lot size for dual occupancy development standard ensures that dual occupancies are located on lots that are appropriate to retain the character and natural features of the Hornsby LGA. The Heritage Conservation Areas are generally characterised by larger lots. A larger parent lot size allows for retention of the landscape character of these areas, retention of existing landscaping and provision of proportionate space around dwellings. A larger parent lot size for detached dual occupancy accommodate the requirement associated with this form for more land for vehicle circulation, car parking, setbacks for protection of privacy and retention of existing trees.
Elsewhere: Attached dual occupancy – 700m ² Detached dual occupancy – 800m ²	Outside of the heritage conservation areas, this ensures dual occupancies are generally located on the larger lots. This approach minimises the visual impact of dual occupancies in the suburban areas of Hornsby. It also provides a reflection of the existing pattern of development in the area.



RECOMMENDATION	RATIONALE
<p>2. Minimum parent lot width: 16m</p>	<p>Wider lot width controls allow side-by-side dual occupancy development to accommodate a front room so improving ground level interaction with the street yielding a positive outcome for architectural character</p> <p>The 16m lot width can accommodate one behind the other dual occupancy with a minimum 3m side driveway/ access. In heritage conservation areas, where lot widths are generally greater than 18m wide, a resulting street fronting lot would be more than 15m allowing ongoing interpretation of the original subdivision layout.</p>
<p>3. Minimum resulting lot size for the subdivision of dual occupancy development in the R2 zone:</p> <p style="padding-left: 40px;">Each resulting lot should be at least 50% of the minimum parent lot size</p>	<p>A resulting lot size ensures that the lot for each dwelling in the dual occupancy will have sufficient area to accommodate vehicle circulation, car parking, setbacks and the retention of existing trees and landscaping. It will also reflect the existing pattern of development and subdivision in the area.</p>
<p>4. If subdivision results in a battle axe lot with an access handle, the area of the access handle should not be included in the minimum resulting lot size of the battle-axe lot.</p>	<p>Access handles provide access to the rear lot. Including the area of the access handle in the area of the rear lot in a subdivision will reduce the 'useable' area of the battle axe lot, so compromising design outcomes and increasing the impact of development on the battle-axe lot on neighbouring development.</p>
<p>5. Dual occupancies should not be made permissible on bushfire prone land, flood prone land or land containing a heritage item or archaeological heritage item consistent with Chapter 3 Part 12 of the Housing SEPP.</p>	<p>The Housing SEPP provisions provide a very sensible policy outcome in that dual occupancies are not permitted on bushfire or flood prone land. Large parts of the Hornsby LGA are surrounded by bushland and national park, presenting significant bushfire risk, while others are subject to flood risk.</p> <p>It is currently unclear how the proposed LEP amendments will relate to the dual occupancy Housing SEPP provisions. To avoid doubt, a LEP local provision should be drafted to prohibit dual occupancies on such land.</p> <p>An alternative to the prohibition is to apply a minimum parent lot size of at least 2 x the minimum subdivision lot size to land subject to environmental hazards. This will have the effect of preventing dual occupancies on this land, except where development could take place by ordinary subdivision of land.</p>

The recommended controls have been shown to provide opportunity for an additional 7,100 dwellings in the R2 zone. The capacity associated with the recommended dual occupancy controls is more than double the 'projected dwellings' required to meet the Hornsby Shire housing target. Together with the



2,440 dwellings are already accounted for as 'planned dwellings', this provides significant capacity to facilitate the housing target of 5,500 completed dwellings. The recommended controls will allow for diverse housing delivery within the R2 zone, while maintaining the landscape character of these low density residential lands.

ATTACHMENT 3 - ITEM 4



Appendix A: Comparative review case studies

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Appendix A

Case Study – Northern Beaches

The Northern Beaches local government area is surrounded by coastal foreshores and beaches, national parks, bushland and reserves. Residential development has occurred since the 1950s, initially focused along the coast and later associated with inland subdivisions. Residential development is a mix of topologies, including single dwellings, dual occupancy, semi-detached dwellings, medium density housing and apartments.

Two local environmental plans apply in the Northern Beaches LGA - Warringah Local Environmental Plan 2011 and Manly Local Environmental Plan 2013. Neither LEP contains provisions specific to dual occupancy development. Dual occupancy development is required to meet the requirements for dwelling houses in the relevant LEP as summarised in Table 17

Table 17: Key LEP standards

	Manly LEP 2013	Warringah LEP 2011
FSR	R1: 0.6:1 R2: N/A	N/A
Torrens Title subdivision permissible	Yes	Yes
Strata Title subdivision permissible	Yes	Yes
Minimum subdivision lot size	Torrens Title: Each resulting lot must meet the minimum subdivision lot size specified in LEP for the land. This varies between 250m ² and 600m ² . No minimum lot size for strata subdivision.	Torrens Title: Each resulting lot must meet the minimum subdivision lot size specified in LEP for the land (450 m ² or 600m ²). No minimum lot size for strata subdivision.

The Manly Development Control Plan 2013 and the Warringah Development Control Plan also do not contain dual occupancy specific controls. Dual occupancy development is required to meet the same requirements as all other forms of residential development to create and maintain a high level of environmental, increased level of local amenity and environmental sustainability. A key element of this approach is that development responds to the characteristics of the site and the qualities of the surrounding neighbourhood.



Queenscliff Road, Queenscliff



Figure 33: Context – Queenscliff Road, Queenscliff
 Source: Mecone Mosaic

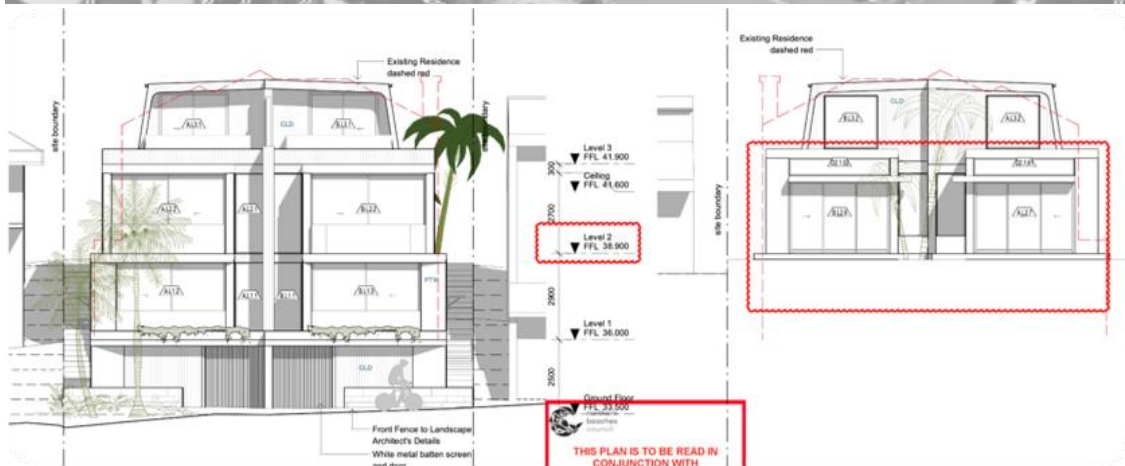
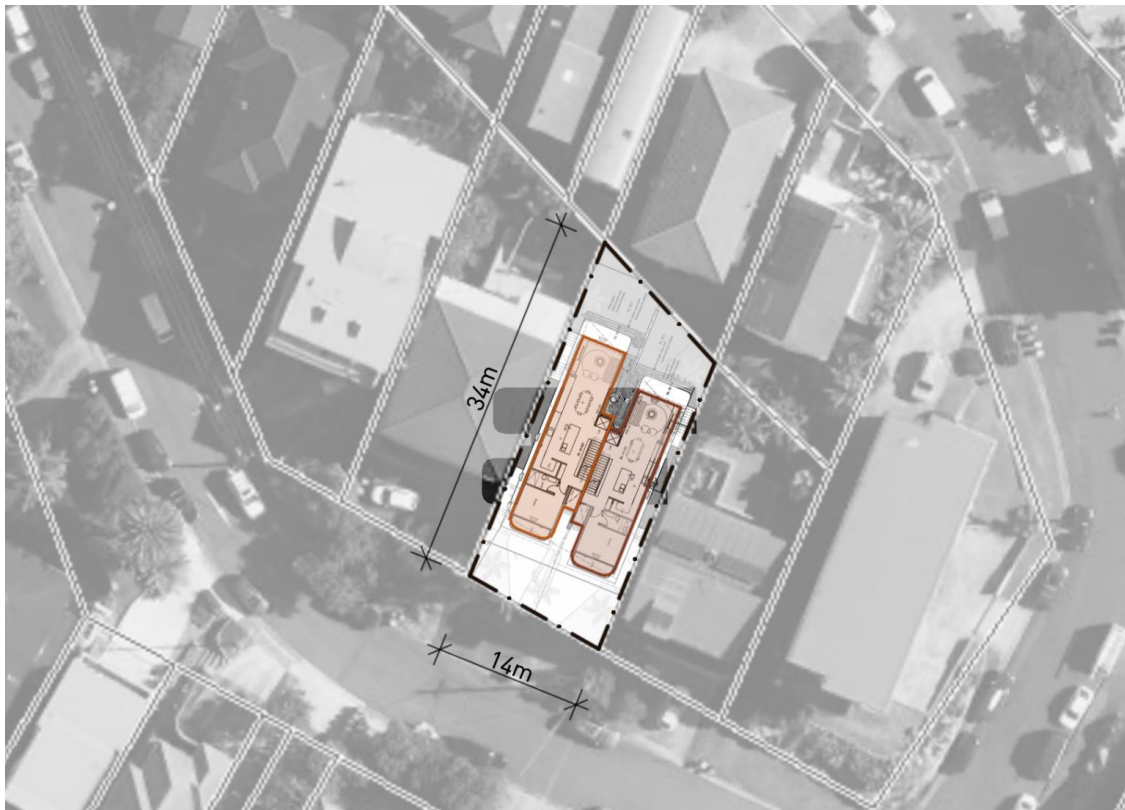
The Queenscliff case study illustrates effective planning on a sloping site, where the incline is utilized to position the garage below and incorporate upper-level setbacks. The development’s scale is consistent with that of surrounding detached dwellings, and the retention of vegetation and canopy is comparable to adjacent properties.

Table 18: Case study summary

Lot type	Standard (Sloping)
Dwelling typology	Side By Side
Parent lot size	~430m ²
Resulting lot size	~215m ²
Parent lot width	~14m
Resulting lot width	~7m



ATTACHMENT 3 - ITEM 4



Key learning

Good example using sites topography by positioning garage under while still gaining street presence with level above on compact site.



Woodland Street, Balgowlah

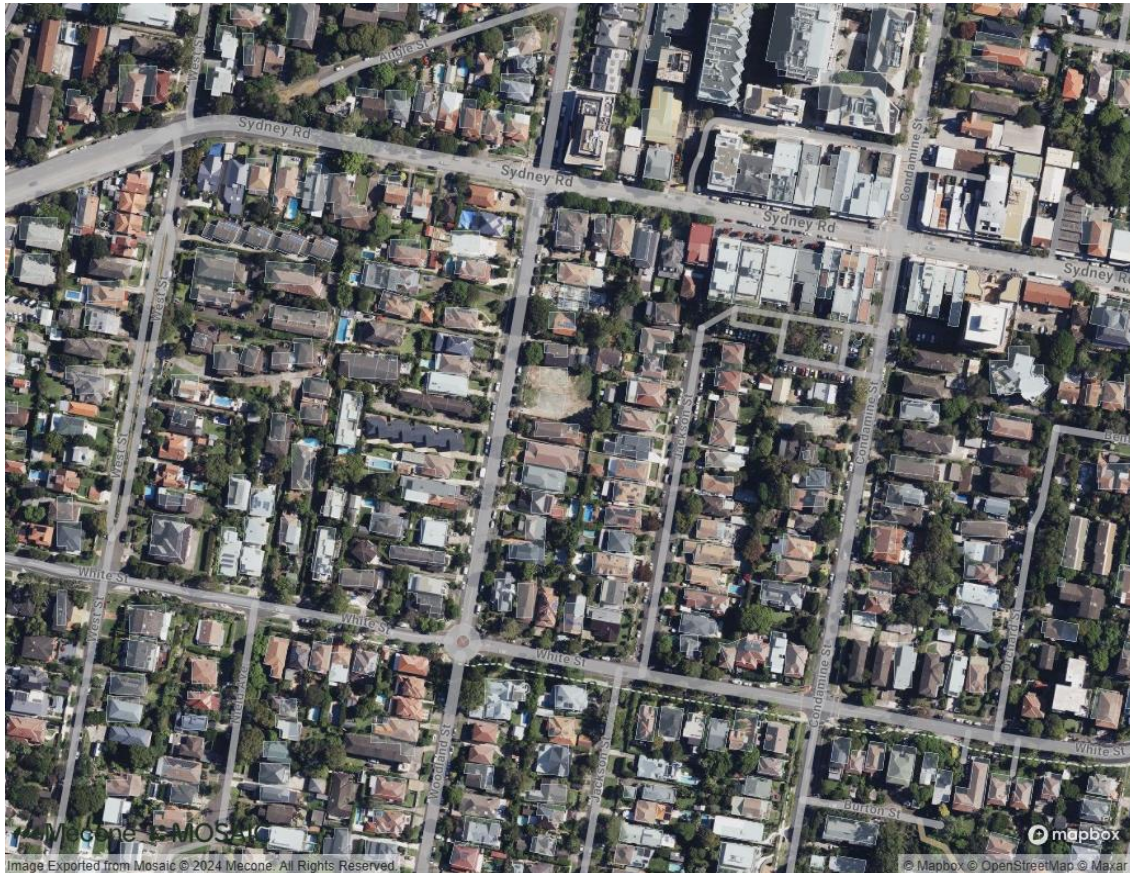


Figure 34: Context – Woodland Street, Balgowlah
 Source: Mecone Mosaic

This project is an example of high-quality architectural design under the CDC pathway, aligning well with the neighbourhood's prevailing character. Designed as a side-by-side development, each dwelling includes features that distinguish it from the adjoining, avoiding a mirrored appearance. Existing vegetation in the rear garden is preserved, while thoughtfully designed landscaping in the front setback enhances continuity with neighbouring properties and contributes positively to the streetscape.

Table 19: Case study summary

Lot type	Standard
Dwelling typology	Side By Side
Parent lot size	~630m ²
Resulting lot size	~315m ²
Parent lot width	~15m
Resulting lot width	~7.5m



ATTACHMENT 3 - ITEM 4



Key learning

Positive example of what is possible under CDC controls with minimum frontage (~15m) on reasonably sized block.



Griffiths Street, Fairlight

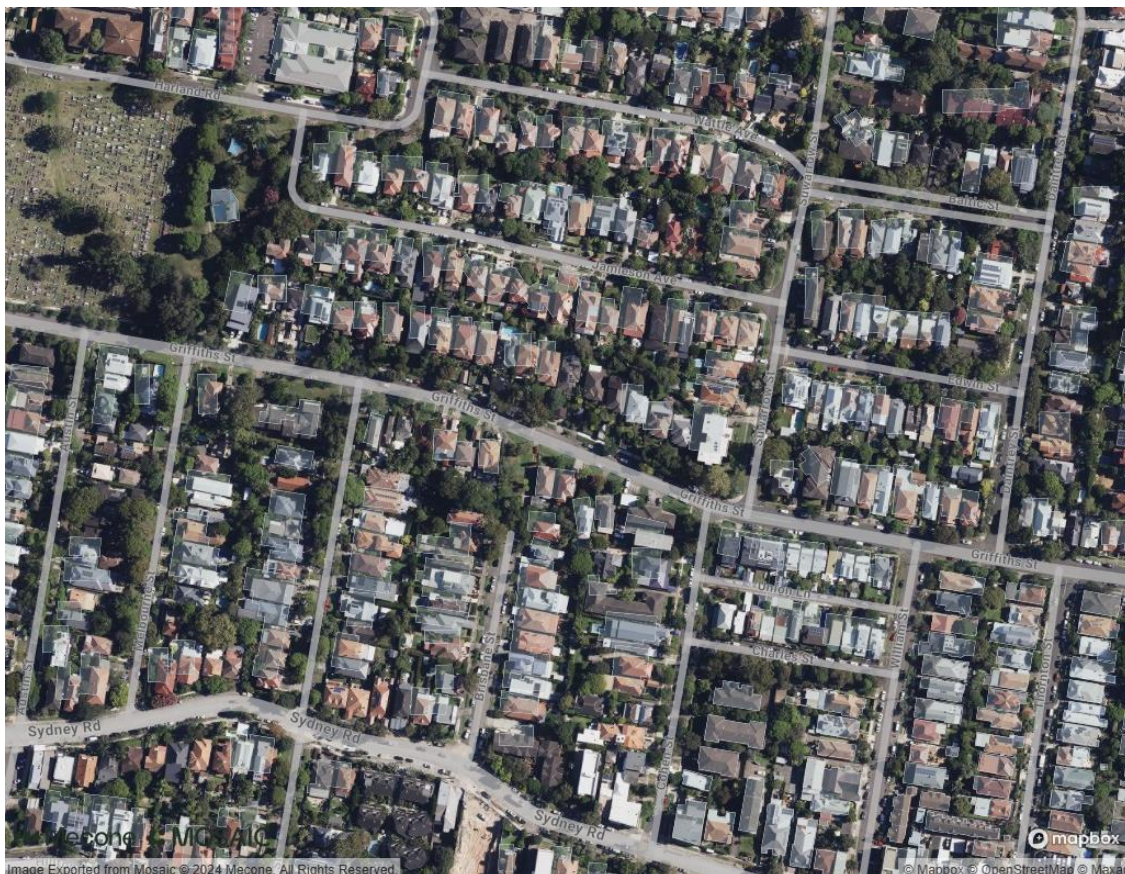


Figure 35: Context – Griffiths Street, Fairlight
 Source: Mecone Mosaic

This project presents a unique opportunity for an upper-level dwelling despite the constraints of limited frontage. The upper level dwelling can capture district views, providing added value. The design complements the neighbourhood's diverse architectural character, although it may be less feasible due to the Building Code of Australia (BCA) fire control regulations, which could affect its overall viability in areas where property prices are lower.

Table 20: Case study summary

Lot type	Standard
Dwelling typology	One above the other
Parent lot size	~520m ²
Resulting lot size	NA – Strata subdivided
Parent lot width	~14m
Resulting lot width	NA – Strata subdivided



ATTACHMENT 3 - ITEM 4



Key learning

Sustainable one above the other example given existing dwelling is retained, chance of replication possibly low given BCA constraint. Shows possible typology for lots that don't meet CDC width threshold if LEP with control isn't implemented.



Case Study – Ryde

The local character of Ryde is defined by its varying topography, natural and ecological heritage and historic buildings. The character of the R2 zone in Ryde is defined by the one story homes on regular shaped lots. This is changing with the new larger two-storey detached with reduced landscape areas replacing existing homes. Some dual occupancy and multi-dwelling redevelopment is occurring in the zone.

Table 21 provides a summary of the key provisions for dual occupancy in the Ryde LEP 2014.

Table 21: Key LEP dual occupancy development standards

	Development Standards
Minimum lot size (parent lot)	580 m ²
Minimum lot width (parent lot)	15m
FSR	0.5:1
Torrens Title subdivision permissible	Yes
Strata Title subdivision permissible	Yes
Minimum lot size (resulting lot)	290 m ² If resulting lot is a battle-axe lot, minimum lot size for a battle-axe lot is 740 m ² (excluding the area of the access handle).
Minimum lot width (resulting lot)	7.5m
Other relevant specific controls	N/A

The minimum parent lot size for a dual occupancy is the same as the minimum lot size for subdivision. This retains the underlying subdivision pattern and streetscape rhythm within the LGA.

Dual occupancy specific controls are also contained within Ryde Development Control Plan 2014. A summary of the relevant key controls for this study are provided in Table 22.



Table 22: Relevant DCP dual occupancy controls

Ryde Development Control Plan 2014	Control
Part 3.3 Dwelling Houses and Dual Occupancy	
2.4 Subdivision	
<p>Objectives:</p> <ol style="list-style-type: none"> 1. To retain streetscape, amenity, landscaped areas and private open space in residential zones. 2. To maintain a consistent density of development in low density residential areas. 3. To ensure that lot sizes enable sufficient areas of open space to be provided within each lot so as to enabling the retention and embellishment of green linkage corridors within residential zones. 	<p>Controls:</p> <ol style="list-style-type: none"> a. Where subdivision of land is proposed, each lot (other than a hatchet shaped lot) must have: <ol style="list-style-type: none"> i. an area of not less than 580 m²; ii. frontage to a road of not less than 10 m; and iii. a width of not less than 15 m at a distance of 7.5 m from the frontage of the lot.



Case Study – Regent Street, Putney

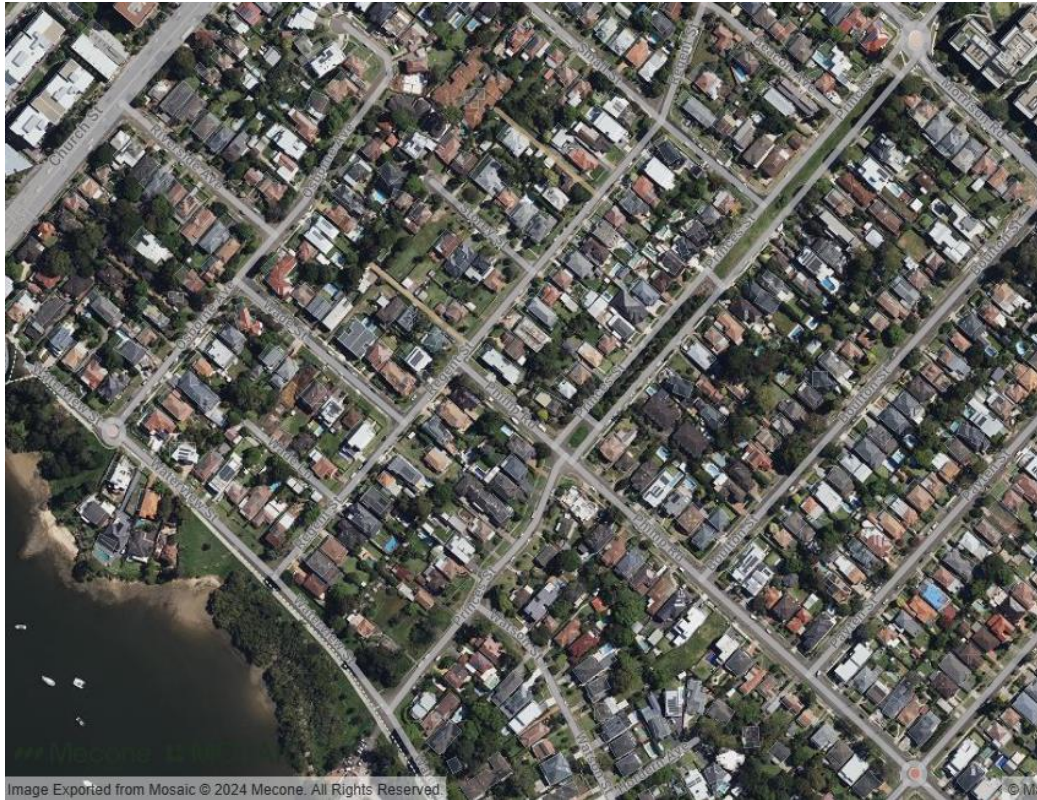


Figure 36: Context – Regent Street, Putney
Source: Mecone Mosaic

The case study dual occupancy development is delivered under the CDC framework as semi-detached Torrens title dwellings. The site and surrounding neighbourhood feature minimal vegetation, with tree canopies primarily located in backyards. During construction, the neighbourhood was transitioning, with several similar developments underway. The four-bedroom, three-bathroom design adheres to standard construction techniques and aligns with current market expectations for the area.

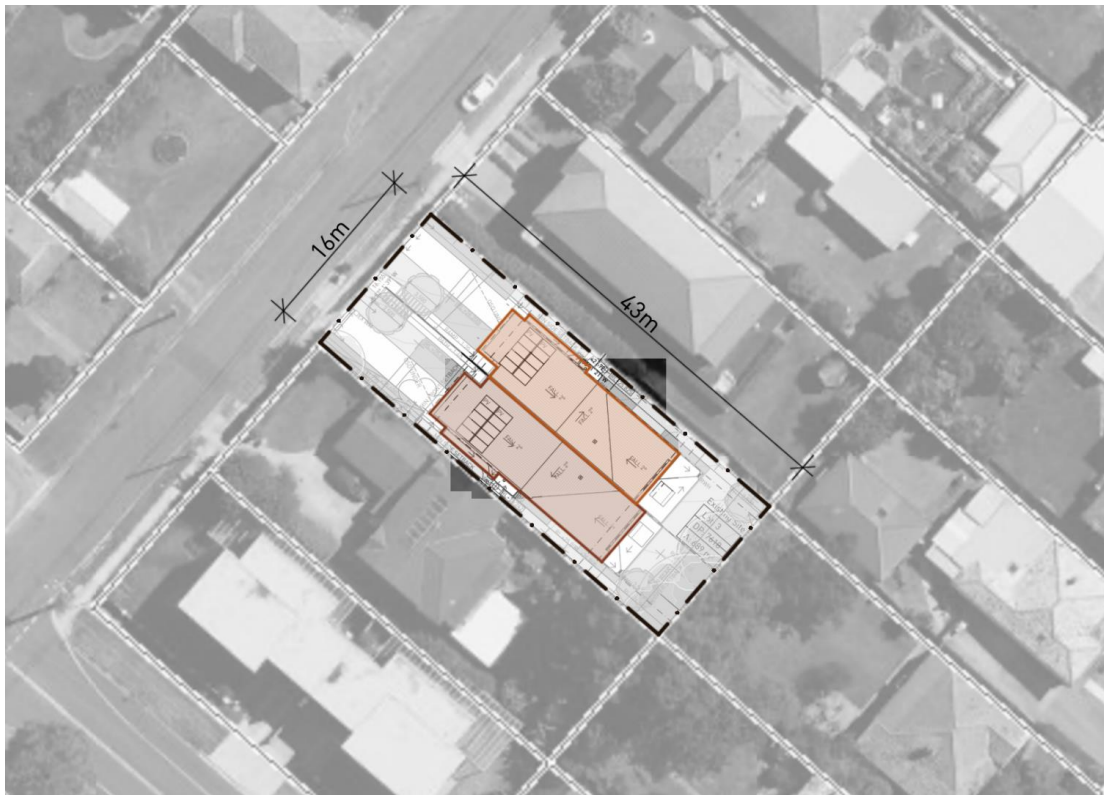


Figure 37: Regent Street Case study – Plan in context

Source:



Figure 38: Regent Street Case study – Front elevation

Source:



Table 23: Case study summary – Regent Street

Lot type	Standard
Dwelling typology	Side-by-side
Parent lot size	~670m ²
Resulting lot size	~335m ²
Parent lot width	~16m
Resulting lot width	~8m

Key learning

Example of dual occupancy with frontage greater than required under CDC (min 15m) but relatively constrained lot depth given ground level programme. Slightly larger lot could have allowed garage to set back further giving more significance to front room, refer section 6.3.



Case Study – Canada Bay

The City of Canada Bay is a predominantly residential area, reflecting residential subdivision patterns and growth in the late 1800s and early 1900s, further development in the post-war years and more recent redevelopment, particularly high density housing. Most suburbs are low-density residential areas with a strong landscape character and several heritage conservation areas.

Table 24 provides a summary of the key provisions for dual occupancy in the Canada Bay Local Environmental Plan 2013.

Table 24: Key LEP dual occupancy provisions

	Development Standard
Minimum lot size (parent lot)	450 m ² (attached dual occupancy) 800 m ² (detached dual occupancy)
Minimum lot width (parent lot)	14m (attached dual occupancy) 17m (detached dual occupancy) 14m (detached dual occupancy, if the lot is a corner lot or a parallel road lot and each dwelling fronts and can be accessed from a different road.
FSR	0.5:1
Torrens Title subdivision permissible	Yes
Strata Title subdivision permissible	Yes
Minimum lot size (resulting lot)	No specific control; therefore for Torrens Title subdivision each lot must meet the minimum subdivision lot size specified in LEP (450 m ²) No minimum lot size for strata subdivision.
Minimum lot width (resulting lot)	No specific control
Other relevant specific controls	
Height of buildings	4.3C Exception to height of buildings for secondary dwellings and dual occupancies Despite clause 4.3, development consent must not be granted for development for the purposes of secondary dwellings or dual occupancies if— (c) for a dual occupancy (detached)—the building containing the dwelling— (i) is more than 5.4m in height, and (ii) does not have a street frontage, and



	<p>(d) for a dual occupancy (attached)—the part of the building containing the dwelling—</p> <p>(i) is more than 5.4m in height, and</p> <p>(ii) does not have a street frontage.</p>
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Dual occupancy specific controls are also contained within Canada Bay Development Control Plan. A summary of the key controls of relevance to this study are provided in Table 25.

Table 25: Key DCP dual occupancy controls

Objectives	Control				
Part E: Single Dwellings, Semi-detached Dwellings, Dual Occupancies and Secondary Dwellings					
E4.1 Frontage					
O1. To ensure lot dimensions are able to accommodate residential development and provide adequate open space and car parking consistent with the relevant requirements of this DCP.	<p>C1. The minimum frontage requirements specified in the Canada Bay Local Environmental Plan shall be achieved.</p> <p>C2. Any dwelling within a dual occupancy or semi-detached dwelling development is to have a minimum width of 7m if the dwellings have parking accessed from the primary street and do not have consolidated basement parking with a single entry or parking accessed from a rear lane or secondary frontage.</p> <p>The minimum width may be reduced to 5m if the dwellings have consolidated basement parking with a single entry, or parking accessed from a rear lane or secondary frontage.</p>				
E4.4 Height of buildings					
<p>O1. To ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality.</p> <p>O2. To minimise visual impact, disruption of views, loss of privacy and loss of sunshine to existing residential development.</p> <p>O3. To minimise the adverse impact on Conservation Areas, Heritage Items and contributory buildings.</p> <p>O4. To reduce the visual impact of development when viewed from the Parramatta River as well as other public</p>	<p>C1. Single dwellings, dual occupancies and secondary dwellings are not to exceed the building height plane projected at an angle of 45 degrees over the site from a vertical distance of 5.0 metres above ground level at any boundary of the site.</p> <p>C2. The following maximum building storey limits must not be exceeded:</p> <p>Single street frontage:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Dwelling Type</th> <th style="width: 50%;">Maximum storeys</th> </tr> </thead> <tbody> <tr> <td>Attached dual occupancy</td> <td>Two (2) storeys (dwellings side by side)</td> </tr> </tbody> </table>	Dwelling Type	Maximum storeys	Attached dual occupancy	Two (2) storeys (dwellings side by side)
Dwelling Type	Maximum storeys				
Attached dual occupancy	Two (2) storeys (dwellings side by side)				



Objectives	Control	
places such as parks, roads and community facilities.	Detached dual occupancy	Two (2) storeys (dwellings side by side)
	Semi-detached dwelling	Two (2) storeys (dwellings side by side)
	Two or more street frontages	
	Dwelling Type	Maximum storeys
	Attached dual occupancy	Two (2) storeys (dwellings side by side) Two (2) storeys front dwelling, two (2) storey rear dwelling, if rear dwelling is facing secondary frontage
	Detached dual occupancy	Two (2) storeys (dwellings side by side) Two (2) storeys front dwelling, one (1) storey rear dwelling, if both dwellings face primary frontage Two (2) storeys front dwelling, two (2) storey rear dwelling, if rear dwelling is facing secondary frontage
	Semi-detached dwelling	Two (2) storeys (dwellings side by side)
	Internal lot	
	Dwelling Type	Maximum storeys
	Any dwelling	One (1) storey
C3. The rear dwelling of a detached dual occupancy, or a secondary dwelling located to the rear of a site, with only one street frontage must have a ground floor ceiling no higher than 3.6 metres when measured vertically at any point above existing ground level.		
E4.6 Landscaped Area		
O1. To enhance the existing streetscape.	C4. Landscaped area is to be provided in accordance with the following 35%	



The maximum building heights for dual occupancy development and semi-detached dwellings contained in the LEP and DCP may act as a disincentive for these forms of development on internal lots and one-behind the other forms of dual occupancy (except where the rear dwelling faces a secondary frontage).

ATTACHMENT 3 - ITEM 4



Case Study – Curtin Avenue, Abbotsford



Figure 39: Context – Curtin Ave, Abbotsford
 Source: Mecone Mosaic

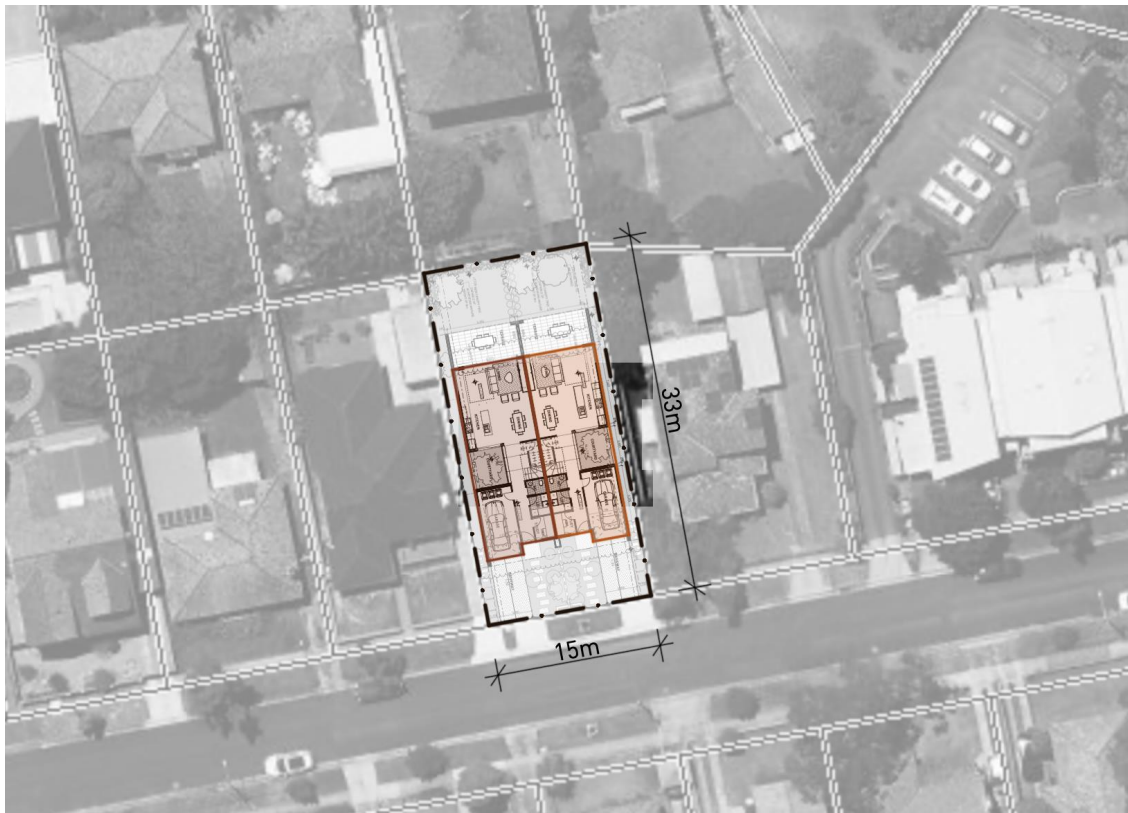
The Abbotsford example serves as a high-quality architectural case study of a dual occupancy, sited on a modest-sized parent lot and designed in a side-by-side typology. The area is undergoing transition where older houses are being rebuilt in a contemporary style. The planning controls allow for a mix of dwelling houses, town houses and dual occupancies. Its scale is consistent with adjoining dwellings and reflective of the character in the area for new developments. While distinct in form, the project employs materials similar to existing structures, ensuring a cohesive integration with the surrounding neighbourhood.

Table 26: Case study summary

Lot type	Standard
Dwelling typology	Side By Side
Parent lot size	~500m ²
Resulting lot size	~250m ²
Parent lot width	~15m
Resulting lot width	~7.5m



ATTACHMENT 3 - ITEM 4



Key learning

Positive example of what is possible under CDC controls with minimum frontage (~15m) on limited site area with similar market expectations compared to Hornsby. Slightly wider lot may have allowed functional rooms at the front entrance – rather than the ground floor being dominated by garage doors.



Case Study – Sutherland Shire

The area is characterised by its bushland surroundings and the landscape character of many of the residential suburbs. The subdivision pattern across much of the local government area has resulted in regular shaped lots, which are generally large by metropolitan Sydney standards. While the area is characterised by low density housing, information from the Department of Planning, Housing and Infrastructure, indicates Sutherland Shire has recorded the highest number of new dual occupancies across New South Wales over the past five years.

Table 27 provides a summary of the key provisions for dual occupancy in the Sutherland Shire Local Environmental Plan 2015.

Table 27: Key LEP dual occupancy provisions

	Development Standard
Minimum lot size (parent lot)	600m ²
Minimum lot width (parent lot)	N/A
FSR	0.5:1
Torrens Title subdivision permissible	Yes
Strata Title subdivision permissible	Yes
Minimum lot size (resulting lot)	No minimum lot size
Minimum lot width (parent lot)	N/A
Other relevant specific controls	
Height of buildings	Maximum height for a dual occupancy on an internal lot is 5.4m Maximum height for a rear dwelling that is part of a dual occupancy is 5.4m if the lot has only one road frontage
Minimum landscape area requirement	35%
If subdivision proposed	Each resulting lot must meet the FSR and landscape area requirements

The minimum lot size for dual occupancy development in the R2 zone is 20% larger than the minimum lot size of 550m² for subdivision to create a street facing lot in the zone. This recognises the additional area required on a lot to resolve some of the externalities associated with dual occupancy such as the parking and driveway space for two dwellings to be accommodated on the site.

Dual occupancy specific controls are also contained within Sutherland Shire Development Control Plan 2015. A summary of the key controls of relevance to this study are provided in Table 28.



Table 28: Key DCP dual occupancy controls

Objectives	Control														
Chapter 3: Dual Occupancy															
C. Dual Occupancies in the R2 Low Density Residential Zone															
1. Streetscape and Building Form															
<p>1. Ensure that all elements of development visible from the street and public domain make a positive contribution to the streetscape and natural features of the area.</p> <p>2. Ensure development is compatible with the scale, character and landscape setting of the adjoining streetscape, natural setting and scenic quality.</p>	<p>10. Two or three storey development is only permitted on the front of an allotment and may extend to a maximum of 60% of the depth of the site measured from the property boundary.</p> <p>11. Despite 10, where the topography, orientation or context of the site would allow for a better outcome to be achieved through accommodating two storey developments in the rear portion of the allotment, a variation may be considered if this solution will not result in a significant loss in the privacy or amenity of adjoining properties.</p>														
2. Building setbacks															
<p>1. Establish the street proportions.</p> <p>....</p> <p>3. Enhance the setting for the building by providing opportunities for landscaping and infiltration of stormwater and protecting the landscape qualities and character of the locality.</p> <p>4. Promote residential amenity for residents and neighbours including access to natural light and ventilation and both visual and acoustic privacy.</p> <p>5. Alleviate the visual intrusion of building bulk on neighbouring properties.</p> <p>....</p>	<p>2. The minimum setbacks required are set out in the table below:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="background-color: #e0e0e0;">Setbacks</th> <th style="background-color: #e0e0e0;">Minimum distance</th> </tr> </thead> <tbody> <tr> <td colspan="2" style="background-color: #e0e0e0;">Front</td> </tr> <tr> <td>Primary street frontage</td> <td>7.5m – except where the adjoining dwellings are setback greater than or less than 7.5m, in which case it is the established street setback</td> </tr> <tr> <td>Secondary street frontage</td> <td>3.0m</td> </tr> <tr> <td>Internal lot (where both dual occupancy dwellings are located on an internal lot)</td> <td>4.0m</td> </tr> <tr> <td colspan="2" style="background-color: #e0e0e0;">Rear</td> </tr> <tr> <td>Internal lot (where both dual occupancy dwellings are located on an internal lot)</td> <td>4.0m – some variations apply</td> </tr> </tbody> </table>	Setbacks	Minimum distance	Front		Primary street frontage	7.5m – except where the adjoining dwellings are setback greater than or less than 7.5m, in which case it is the established street setback	Secondary street frontage	3.0m	Internal lot (where both dual occupancy dwellings are located on an internal lot)	4.0m	Rear		Internal lot (where both dual occupancy dwellings are located on an internal lot)	4.0m – some variations apply
Setbacks	Minimum distance														
Front															
Primary street frontage	7.5m – except where the adjoining dwellings are setback greater than or less than 7.5m, in which case it is the established street setback														
Secondary street frontage	3.0m														
Internal lot (where both dual occupancy dwellings are located on an internal lot)	4.0m														
Rear															
Internal lot (where both dual occupancy dwellings are located on an internal lot)	4.0m – some variations apply														

One of the objectives of the Sutherland Shire DCP controls for dual occupancies is to limit the impact of dwellings in the rear of lots on the amenity of adjoining lots. The combination of restricted building heights and larger side and rear setbacks where both dwellings are located on an internal lot may be



contributing factors to the preference for side-by-side attached dual occupancies and the lack of dual occupancies in internal (battle-axe) lots.

Case Study – Nicholson Parade, Cronulla



Figure 40: Context – Nicholson Parade, Cronulla
Source: Mecone Mosaic

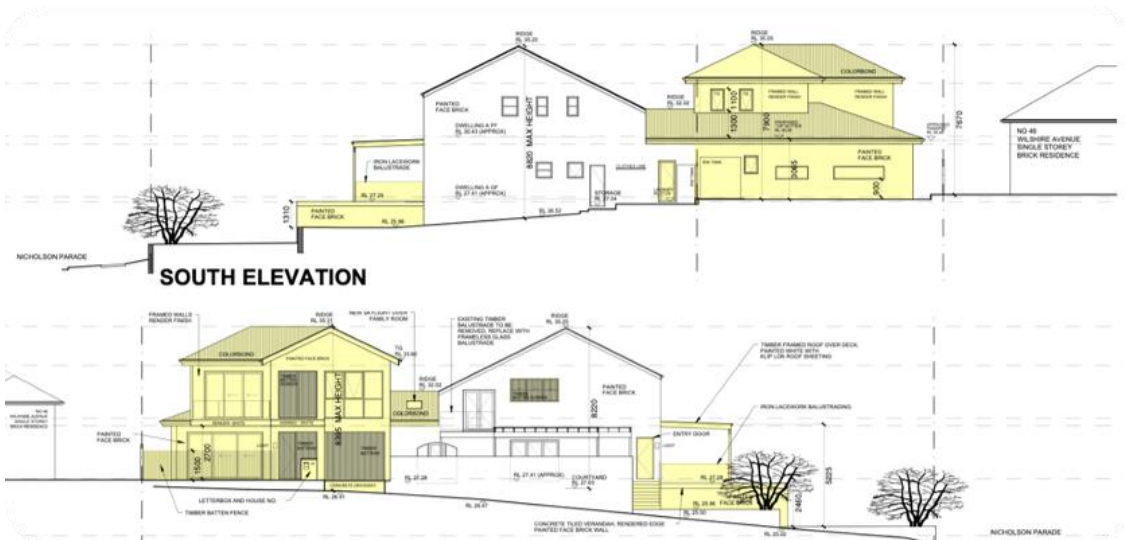
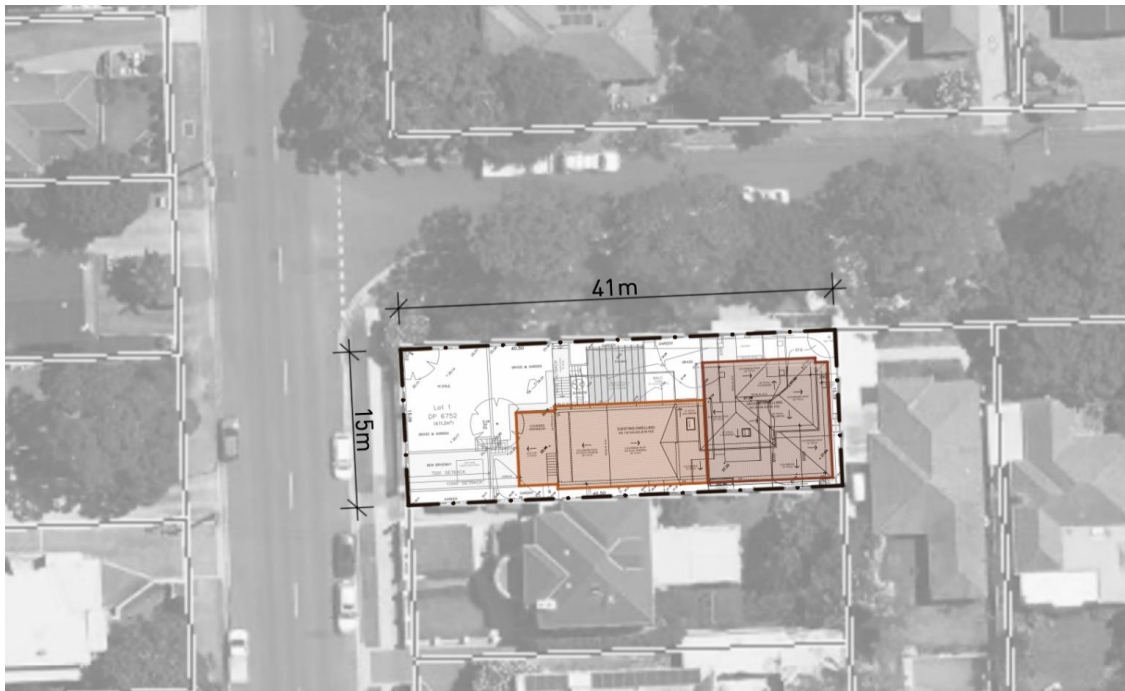
This project is a good example of corner lot configuration, creating a compact form that aligns well with the street's character. Despite the modest lot size, its scale and form are compatible with the neighbourhood's architectural context. Vegetation is primarily concentrated along the street frontage, with limited backyard canopy; however, this arrangement maintains consistency with the surrounding landscape, enhancing the streetscape's green character.

Table 29: Case study summary

Lot type	Corner
Dwelling typology	Side By Side
Parent lot size	~600m ²



Resulting lot size	~190m ²
Parent lot width	~15 x 41m
Resulting lot width	NA



Key learning

Unique example of corner lot development where setback to secondary frontage is less than primary frontage, but still in keeping with adjoining development. Slightly larger lot may have allowed more landscape to side and rear setbacks.



Case Study – Binaville Avenue, Burraneer



Figure 41: Context – Binaville Avenue, Burraneer

This project is a well-executed side-by-side dual occupancy with a shared basement garage, a design approach that, while incurring higher construction costs, results in a positive streetscape outcome by maintaining a single driveway. This strategy addresses the common challenge in dual occupancy developments, where two driveways often replace a single access point, impacting street character. Situated on a large lot with spacious dwellings, the development is consistent with the mixed character of the surrounding area, while the consistent front and rear setbacks allow for ample vegetation and canopy growth in line with the established greenery of the neighbourhood.

Table 30: Case study summary

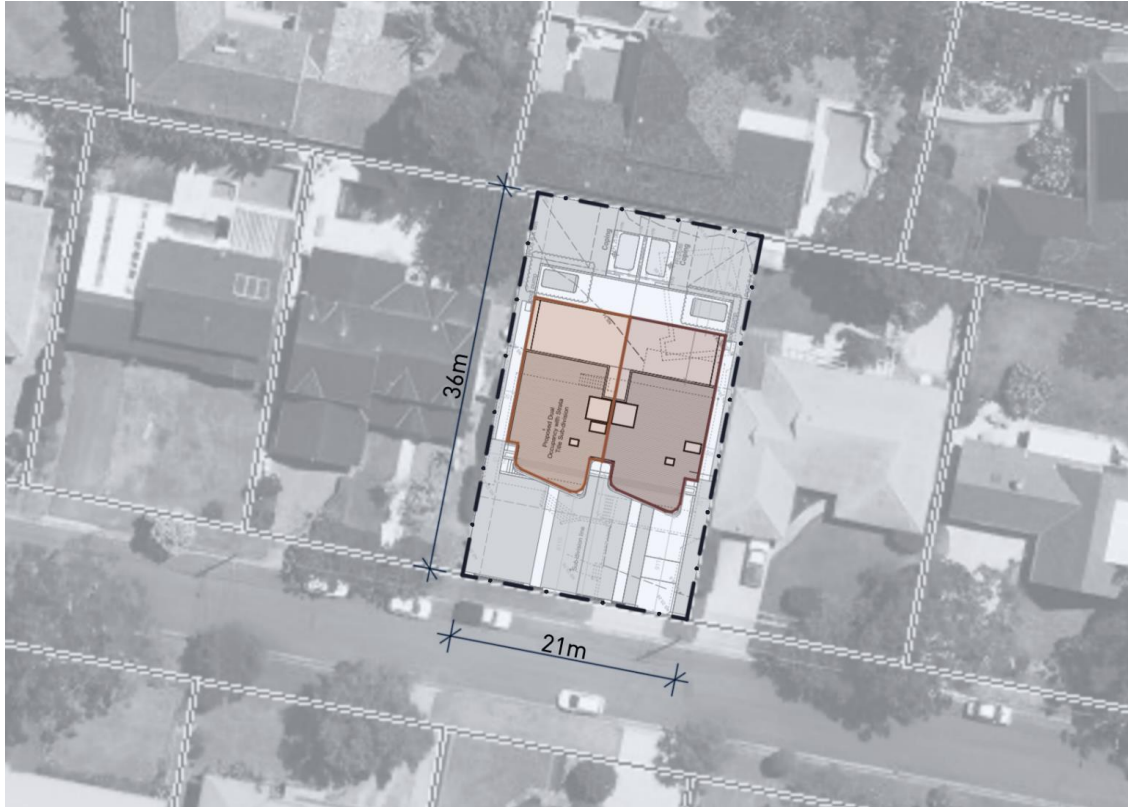
Lot type	Standard (Wide)
Dwelling typology	Side By Side + Shared Basement
Parent lot size	~770m ²
Resulting lot size	~380m ²
Parent lot width	~21m



ATTACHMENT 3 - ITEM 4

Resulting lot width

~10.5m



Key learning

Demonstrates positive outcomes to ground level street activation when parking is shared and within a basement. Could be applied to smaller lots and frontages.



Case Study – Honeysuckle Street, Jannali

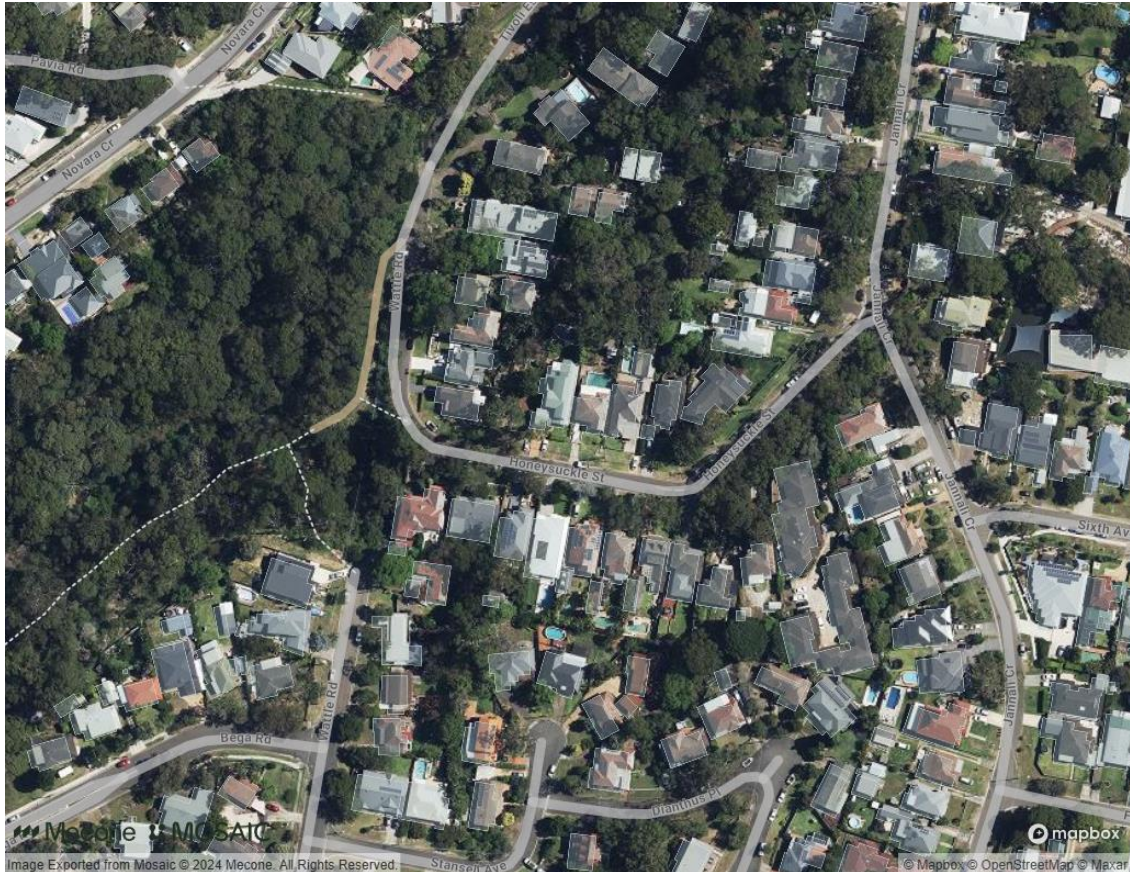


Figure 42: Context – Honeysuckle Street, Jannali

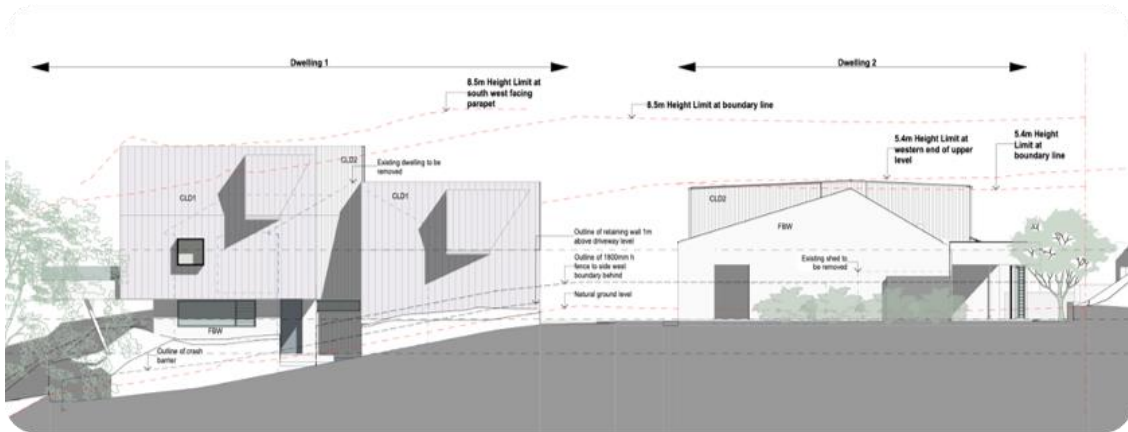
This project exemplifies a dual occupancy solution on an irregularly shaped site. Although there may be a slight reduction in canopy compared to a single dwelling, the coverage remains greater than that of the neighbouring villa development. The detached battle-axe layout ensures the scale facing the street is consistent with adjoining properties, thereby preserving the streetscape continuity and minimising visual impact.

Table 31: Case study summary

Lot type	Irregular
Dwelling typology	Detached
Parent lot size	~900m ²
Resulting lot size	~430m ²
Parent lot width	~14m
Resulting lot width	NA –Shared driveway



ATTACHMENT 3 - ITEM 4



Key learning

Positive example of detached one behind the other typology using shared driveway on constrained site. Irregular lot shape and large front setback result in larger parent lot, could be applied to smaller regular shaped lots.



Case Study – Hunters Hill

Hunters Hill is recognised as Australia's oldest garden suburb, with three quarters of the local government area declared a heritage conservation area. The area developed from the 1880s, with many of buildings made from local sandstone. The area grew significantly in the 1950's and 1960's. Recent development is mainly infill development in the form of dual occupancy and medium density housing.

Table 32 provides a summary of the key provisions for dual occupancy in the Hunters Hill Local Environmental Plan 2012.

Table 32: Key LEP dual occupancy provisions

	Development Standard
Minimum lot size (parent lot)	700 m ² (attached dual occupancy) 900 m ² (detached dual occupancy)
Minimum lot width (parent lot)	N/A
FSR	0.5:1
Torrens Title subdivision permissible	Yes
Strata Title subdivision permissible	Yes
Minimum lot size (resulting lot)	No specific control: therefore for Torrens Title subdivision each lot must meet minimum subdivision lot size specified in LEP, which varies depending on neighbourhood (700 m ² , 900m ² and 1,000m ²). No minimum lot size for strata subdivision.
Minimum lot width (parent lot)	N/A
Other relevant specific controls	
FSR	0.5:1 for dual occupancy

The Hunters Hill LEP defines a specific FSR for dual occupancy. This is the same as the FSR for all forms of development in the R2 zone but limits dual occupancy development in the R3 zone to FSR 0.5:1 compared with the FSR of 0.75:1 for other forms of development.

The relationship between the minimum lot size for dual occupancy development, the minimum lot size for subdivision and the existing subdivision pattern means that in the neighbourhoods with smaller minimum lot sizes, only attached dual occupancy forms will occur. Detached forms are only permissible in areas with larger lots which are better able to accommodate private open space, additional parking provision and the retention of landscaping character of the area.

Dual occupancy specific controls are also contained within Hunters Hill Consolidated DCP. A summary of the key controls of relevance to this study are provided in Table 33.



Table 33: Key DCP dual occupancy controls

Hunters Hill Consolidated DCP 2013	Control									
Part Three Residential Development										
3.4 Multi-unit residential (includes dual occupancy)										
3.4.2 Height										
(b) Avoid adverse impacts upon an existing residential area which result from excessive height, scale or bulk.	<p>Development standards in the Hunters Hill LEP 2012 are relevant to this section:</p> <p>(a) Height of buildings is specified by clause 4.3. Development proposals should comply with the following numeric controls which complement objectives of the Hunters Hill LEP 2012 in relation to height of buildings:</p> <p>(a) Maximum heights for new developments (including alterations and additions) should comply with the number of storeys and height of external walls which are specified by Table 3.1, and maximum heights should be measured in relation to ground level (existing) below any point of the proposed building.</p> <p>Table 3.1 Maximum height for multi-unit residential developments</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">Height of buildings <i>(see LEP Clause 4.3)</i></th> <th style="text-align: center;">Number of storeys</th> <th style="text-align: center;">External walls <i>Measured vertically from ground level (existing)</i></th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">8.5m</td> <td style="text-align: center;">2 storeys</td> <td style="text-align: center;">7.2m</td> </tr> <tr> <td style="text-align: center;">11m</td> <td style="text-align: center;">3 storeys</td> <td style="text-align: center;">9.5m</td> </tr> </tbody> </table>	Height of buildings <i>(see LEP Clause 4.3)</i>	Number of storeys	External walls <i>Measured vertically from ground level (existing)</i>	8.5m	2 storeys	7.2m	11m	3 storeys	9.5m
Height of buildings <i>(see LEP Clause 4.3)</i>		Number of storeys	External walls <i>Measured vertically from ground level (existing)</i>							
8.5m		2 storeys	7.2m							
11m		3 storeys	9.5m							
(c) Ensure that proposed buildings are compatible with height, scale and bulk of the locality's existing and desired characters.										
(d) Maintain and enhance the domestic scale, form and variety which are characteristic of the surrounding residential area.										
(e) Ensure that new developments minimise adverse visual impacts, the obstruction of views, and loss of privacy or sunlight to existing residential development.										
(f) Minimise adverse impacts upon any heritage conservation area or heritage item which is listed by the Hunters Hill LEP 2012, or any contributory item which is listed in Appendix ii to this Plan.										
.....										
	<p>(b) Notwithstanding sub-section (a) above, if a dual occupancy development proposes that one dwelling would be located in an area formerly occupied by a back garden, that dwelling should have the following maximum heights:</p> <p>(i) One storey.</p> <p>(ii) External walls should be a maximum of 3.6 metres.</p>									
3.4.4 Landscaped areas										
(a) Ensure that new developments are compatible with the Municipality's character which is defined by	(a) For development of a dual occupancy: the minimum landscaped area is 45% of the site area.									



Hunters Hill Consolidated DCP 2013	Control
buildings that are set in, and separated by, gardens. (b) Provide space between buildings to protect and augment the tree covered environment for which this Municipality is noted. 	

The Hunters Hill DCP limits the height of dual occupancy development in the rear of a lot to single storey. This may encourage side-by-side forms of dual occupancy. This may reinforce a market preference for side-by-side forms of dual occupancy.



Case Study – Avenue Road, Hunters Hill

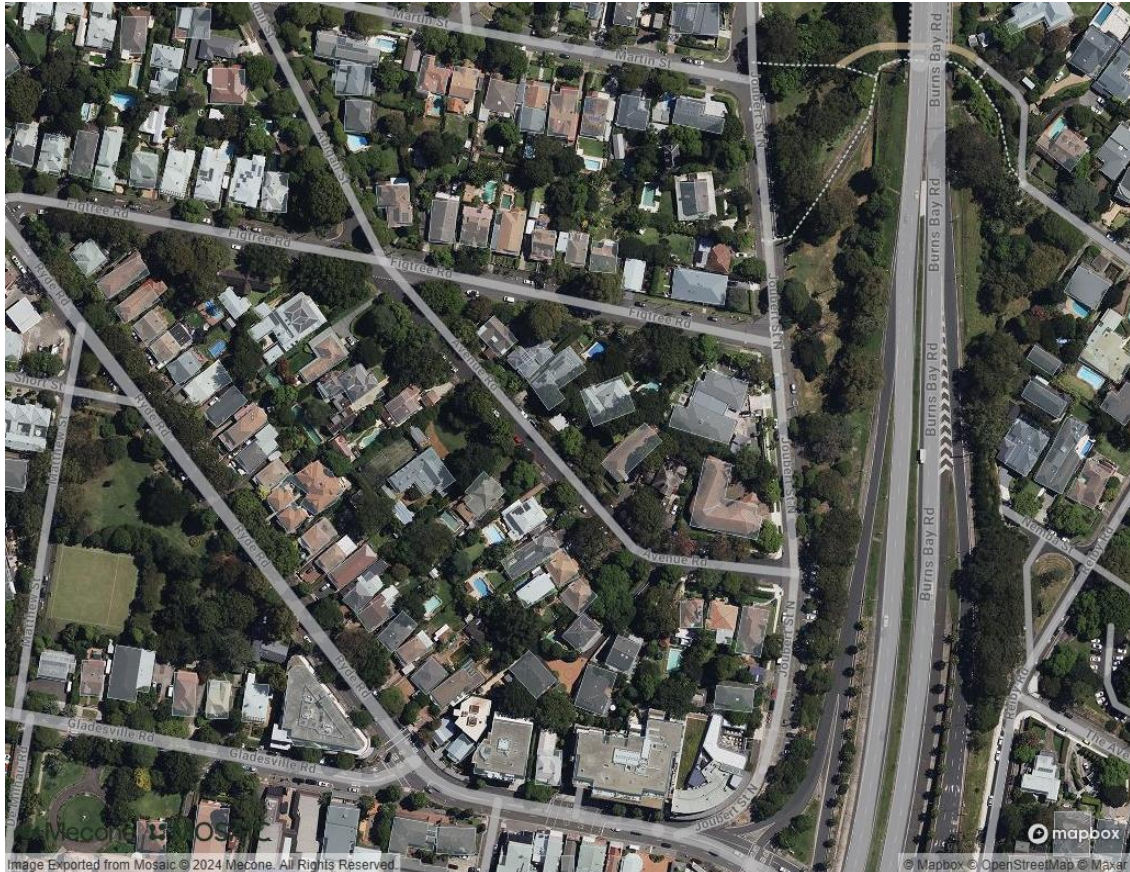


Figure 43: Context – Avenue Road, Hunters Hill

The Avenue Road project exemplifies a semi-detached battle-axe configuration that aligns with the existing pattern of adjacent battle-axe lots, albeit on a slightly smaller scale. The compact dwelling footprint allows for vegetation coverage comparable to neighbouring properties, promoting a cohesive landscape character. By featuring only a single dwelling fronting the street, this design more effectively preserves the existing streetscape than a standard side-by-side arrangement, maintaining neighbourhood character and reducing visual impact.

Table 34: Case study summary

Lot type	Irregular
Dwelling typology	Side by Side
Parent lot size	~1120m ²
Resulting lot size	~540m ²
Parent lot width	~12m
Resulting lot width	NA –Shared Driveway



ATTACHMENT 3 - ITEM 4



Key learning

Alternate outcome for large lots with limited frontage. Larger backyard less critical for typology and could require smaller lot area if was a more regular shape.



Case Study – Woolwich Road, Hunters Hill

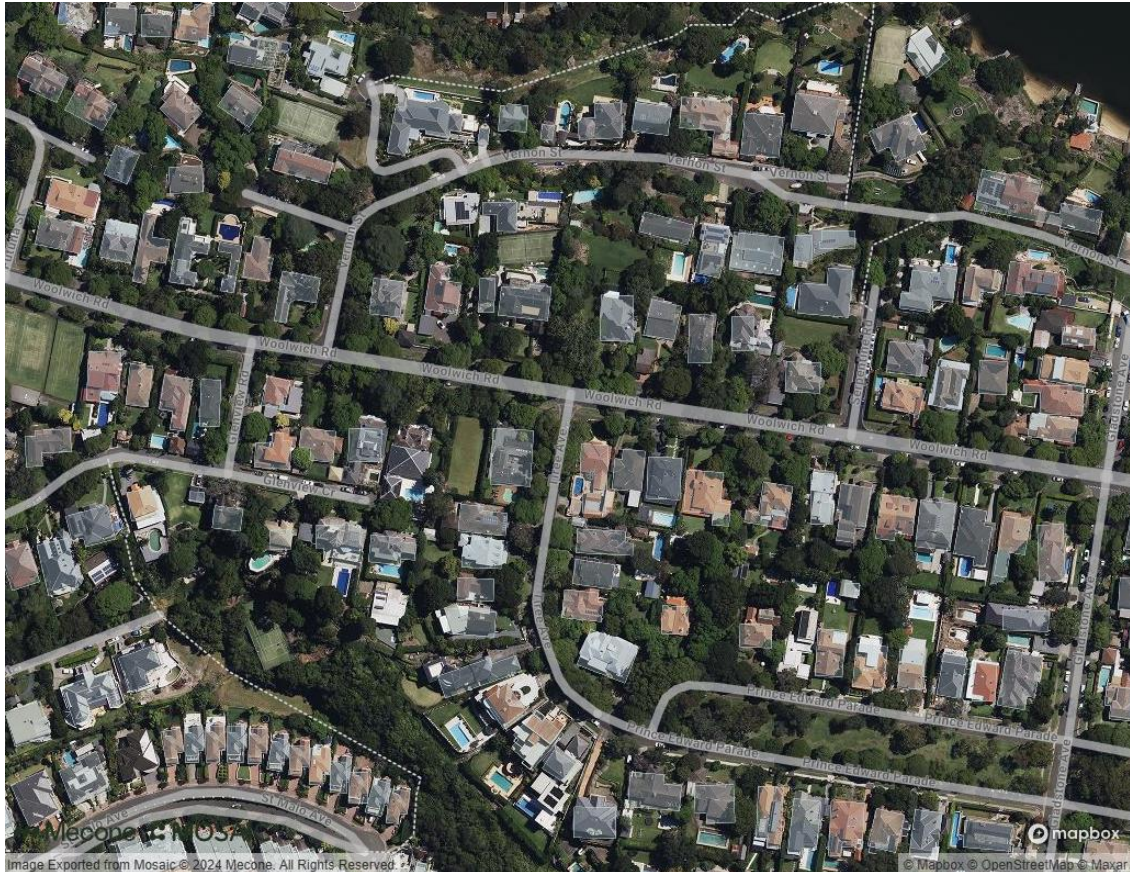


Figure 44: Context – Woolwich Road, Hunters Hill

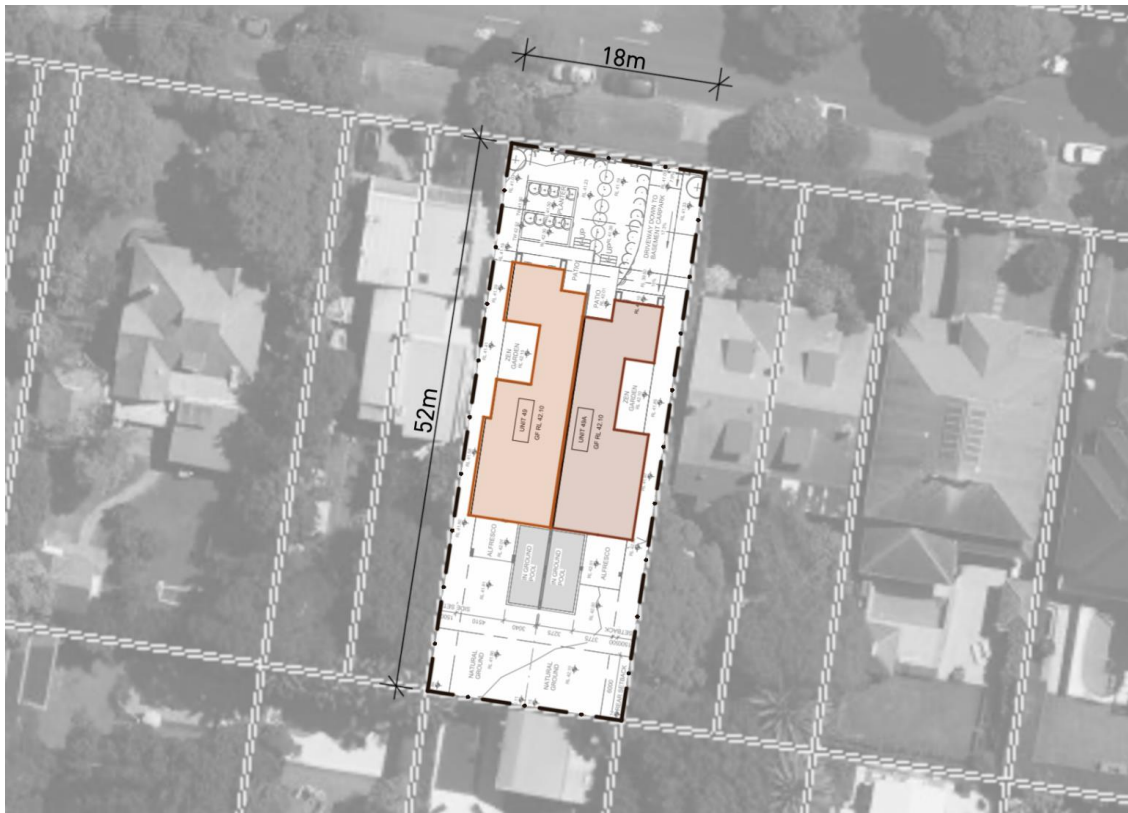
This dual occupancy development is designed to resemble a large single residence, aligning generally with the scale of adjoining properties. However, the side setbacks, while providing some separation, restrict opportunities for substantial canopy coverage. Although the front setbacks are consistent with neighbouring properties and contribute to streetscape continuity, the reduced rear setbacks significantly limit backyard space, which may impact the overall contribution of the site to neighbourhood greenery.

Table 35: Case study summary

Lot type	Standard (Large)
Dwelling typology	Side by Side (with shared basement)
Parent lot size	~940m ²
Resulting lot size	~470m ²
Parent lot width	~18m
Resulting lot width	~9m



ATTACHMENT 3 - ITEM 4



Key learning

Shared basement allows for greater ground level street facing rooms, dwelling and lot size reflects area neighbourhood and market expectations.



Case Study – North Sydney

Land in North Sydney was subdivided and developed as residential areas from the 1850's onwards. Many of these areas are now identified as heritage conservation areas containing workers cottages and more stately homes. Considerable residential development (residential flats and medium density housing) occurred in the post-war years. Over two-thirds of housing is categories as medium-density housing, including semi-detached dwellings.

Table 36 provides a summary of the key provisions for dual occupancy in the North Sydney LEP 2013.

Table 36: Key LEP dual occupancy provisions

	Development Standard
Minimum lot size (parent lot)	450 m ²
Minimum lot width (parent lot)	N/A
FSR	N/A
Torrens Title subdivision permissible	Yes, except in heritage conservation areas
Strata Title subdivision permissible	Yes
Minimum lot size (resulting lot)	No specific control: therefore for Torrens Title subdivision each lot must meet minimum subdivision lot size specified in LEP (450m ²). No minimum lot size for strata subdivision.
Minimum lot width (parent lot)	N/A
Other relevant specific controls	<p>6.6 Dual occupancies</p> <p>(1) Development consent must not be granted for the erection of a dual occupancy unless—</p> <p>(a) the form of the building will appear as a dwelling house, and</p> <p>(b) the dwellings in the dual occupancy will be attached by at least 80% of the common wall or 80% of the common floor or ceiling, and</p> <p>(c) the area of the lot on which the dual occupancy is to be situated is at least 450 square metres.</p> <p>(2) A dual occupancy must not be erected on land that is located within a heritage conservation area or on which a heritage item is located unless—</p> <p>(a) there is no existing building erected on the land, or</p> <p>(b) the dual occupancy—</p> <p>(i) will be situated substantially within the fabric of an existing building, and</p>



	Development Standard
	(ii) will conserve the appearance of the existing building, as visible from a public place, and (iii) will conserve the majority of the significant fabric of the existing building.

The LEP controls for dual occupancy mean that dual occupancy development in North Sydney presents as either a one-above-the other form, or an attached form more akin to traditional semi-detached development, where the development appears as one dwelling. This is a response to the character of many of the neighbourhoods where older dwellings form much of the built form.

Within the heritage conservation areas, opportunities for dual occupancy development are restricted to the dwellings that are integrated into existing dwellings, so limiting the impact on these neighbourhoods.

Dual occupancy development in North Sydney LGA is required to comply with the residential controls in North Sydney DCP 2013. There are few dual occupancy specific controls which will influence the dual occupancy form, as this is determined by the LEP controls.



Case Study – Echo Street, Cammeray

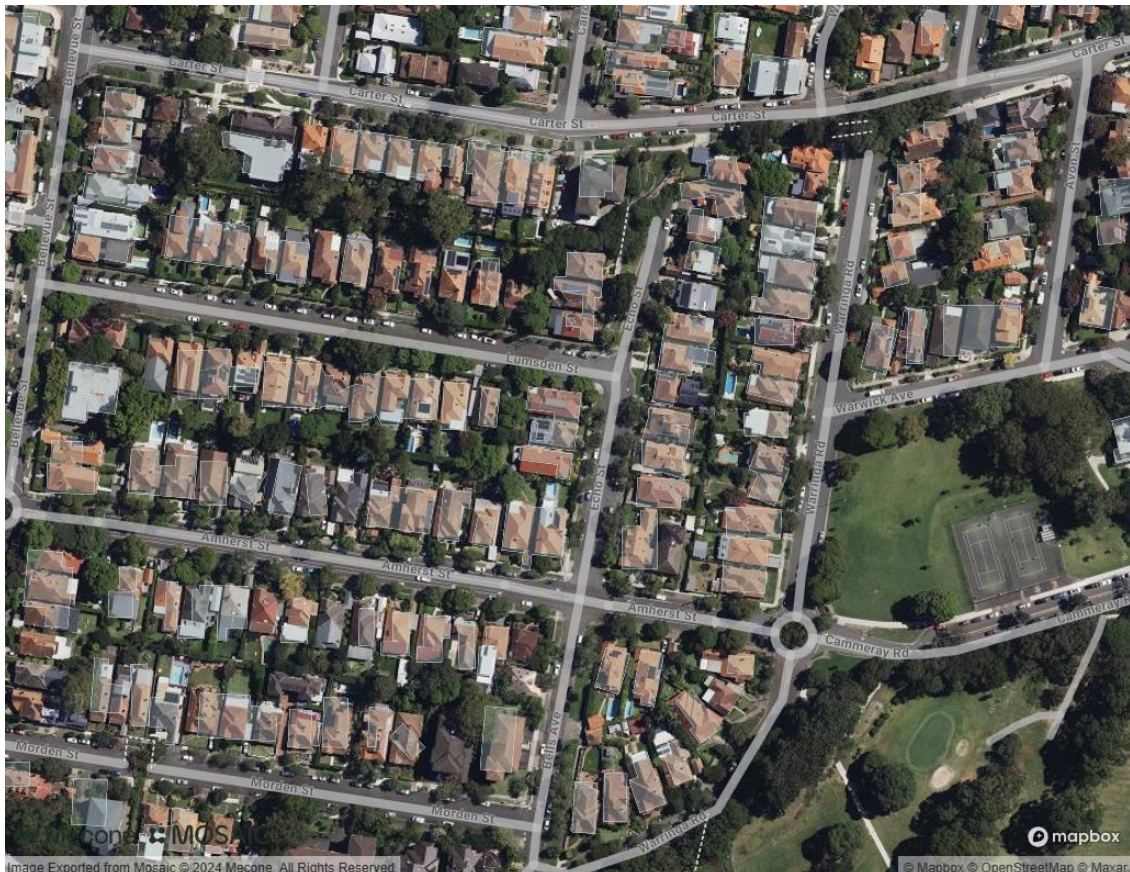


Figure 45: Context – Echo Street, Cammeray

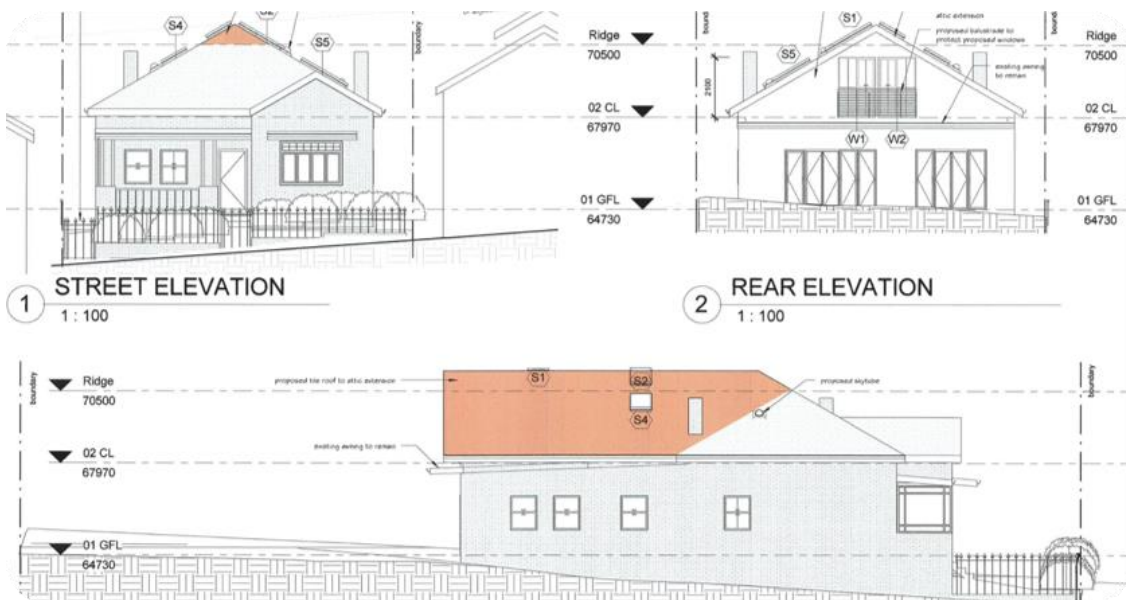
This project serves as an intriguing example of a "one-above-the-other" typology, aligning in scale and massing with neighbouring properties to maintain the surrounding character. However, the limited fenestration and access to natural light for the upper dwelling may affect overall amenity. A more refined approach that balances compatibility with the area while enhancing the liveability of both units would better support neighbourhood cohesion and resident amenity.

Table 37: Case study summary

Lot type	Standard
Dwelling typology	One above the other
Parent lot size	~480m ²
Resulting lot size	NA – Strata Subdivision
Parent lot width	13m
Resulting lot width	NA - Strata Subdivision



ATTACHMENT 3 - ITEM 4



Key learning

Shows possible typology for lots that don't meet CDC width threshold if LEP with control isn't implemented. Whilst bulk and scale is consistent for streetscape, there are poor amenity outcomes for upper level dwelling given site constraints.



Case Study – Blacktown

Blacktown is a fast-growing local government area, with much of the growth occurring as greenfield development in new housing estates in the northern parts of the LGA. Residential densities in these areas are relatively high, with the new sub-division patterns delivering lots encouraging small lot housing on lots between 225m² and 300m². Development is predominantly single dwellings and dual occupancy/semi-detached forms.

The Blacktown Local Environmental Plan 2015 and State Environmental Planning Policy (Precincts – Central River City) 2021 apply to Blacktown Local Government Area.

Table 38 1 provides a summary of the key provisions for dual occupancy set out in Appendix 9 Schofields Precinct Plan of the SEPP. These are supported by the controls in the Blacktown City Council Growth Centre Precincts Development Control Plan 2010. Together, these aim to encourage a range of residential lot types, particularly to deliver small lot housing in a greenfield location. The context and built form outcomes are markedly different to the dual occupancy outcomes for Hornsby Shire.

Table 38: Key SEPP dual occupancy provisions

	Control
Minimum lot size	<p>For dual occupancy:</p> <p>(a) 500m² if the dwelling density (per hectare) in relation to the land is 15, or</p> <p>(b) 400m² if the dwelling density (per hectare) in relation to the land is 25, or</p> <p>(c) 300m² if the dwelling density (per hectare) in relation to the land is 30, or</p> <p>(d) 250m² if the dwelling density (per hectare) in relation to the land is 40.</p> <p>For a semi-detached dwelling:</p> <p>(a) 200m² if the dwelling density (per hectare) in relation to the land is 15, or</p> <p>(b) 125m² if the dwelling density (per hectare) in relation to the land is 25, 30 or 40.</p>
Minimum lot width (parent lot)	N/A
FSR	N/A
Torrens Title subdivision permissible	Yes
Strata Title subdivision permissible	Yes
Other relevant specific controls	
Residential density	<p>4.1B Residential density</p> <p>.....</p>



	Control
	(3) The density of any development to which this section applies is not to be less than the density shown on the Residential Density Map in relation to that land.

ATTACHMENT 3 - ITEM 4



Case Study – Neptune Circuit, Schofields



Figure 46: Context – Neptune Circuit, Schofields
 Source: Metromap

This project represents a CDC development on a greenfield site, a scenario that is unlikely to be replicated within Hornsby Shire. The parent and resulting lots are compact and approach the minimum allowed by CDC regulations. This development pattern results in limited diversity in the streetscape, characterised by several identical dwellings situated next to one another. In an infill scenario, a greater variety of low-rise medium-density typologies would likely emerge, influenced by existing vegetation patterns and market conditions, contributing to a more dynamic and varied streetscape.

Table 39: Case study summary

Lot type	Standard (Compact)
Dwelling typology	Side by Side
Parent lot size	~425m ²
Resulting lot size	~210m ²
Parent lot width	17m
Resulting lot width	8.5m



Appendix B: Scenario analysis tables

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Scenario Results

	Scenario GDC		Scenario 1		Scenario 2		Scenario 3		Scenario 4		Scenario 5		Scenario 6		Total	
	No of lots meeting g criteria	% of lots meeting g criteria	No of lots meeting g criteria	% of lots meeting g criteria	No of lots meeting g criteria	% of lots meeting g criteria	No of lots meeting g criteria	% of lots meeting g criteria	No of lots meeting g criteria	% of lots meeting g criteria	No of lots meeting g criteria	% of lots meeting g criteria	No of lots meeting g criteria	% of lots meeting g criteria	No of lots meeting g criteria	% of lots meeting g criteria
All R2 lots	24,226	66.8%	24,997	68.9%	22,693	62.6%	19,814	54.6%	12,883	35.5%	19,380	53.4%	19,380	53.4%	36,276	
All R2 HCA lots			2,643	74.0%	2,411	67.5%	2,269	63.5%	2,188	61.2%	1,835	51.3%	1,835	51.3%	3,574	
<700 sqm															516	
700-799 sqm															612	
800-899 sqm															477	
900 sqm+															1,969	
All R2 Non-HCA lots	24,226	74.1%	22,354	68.4%	20,282	62.0%	17,545	53.7%	10,695	32.7%	17,545	53.7%	17,545	53.7%	32,702	
<700 sqm															8,834	
700-799 sqm															10,520	
800-899 sqm															4,365	
900 sqm+															8,983	
Eligible R2 lots	9,077	64.3%	9,585	67.9%	8,461	59.9%	7,316	51.8%	4,234	30.0%	7,081	50.1%	7,081	50.1%	14,123	
Eligible HCA lots			1,311	73.0%	1,174	65.4%	1,086	60.5%	975	54.3%	851	47.4%	851	47.4%	1,795	
<700 sqm															328	
700-799 sqm															337	
800-899 sqm															269	
900 sqm+															861	
Eligible R2 non-HCA lots	9,077	73.6%	8,274	67.1%	7,287	59.1%	6,230	50.5%	3,259	26.4%	6,230	50.5%	6,230	50.5%	12,328	
<700 sqm															3,926	
700-799 sqm															4,129	
800-899 sqm															1,696	
900 sqm+															2,577	

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Scenario Results – Heritage Conservation Areas

General Info.		Barker College	Beecroft- Cheltenham	Mount Errington Precinct, Hornsby West Side	Pretoria Parade Precinct, Hornsby West Side	The Crescent, Pennant Hills	Wahroonga	Wahroonga North	HCA Total
	No of all R2 lots	1	2,933	177	90	19	90	264	3,574
	No of eligible R2 lots	0	1,503	31	53	7	59	142	1,795
Sc. CDC	No of all R2 lots meeting criteria	0	0	0	0	0	0	0	0
	No of eligible R2 lots meeting criteria	0	0	0	0	0	0	0	0
	% of all R2 lots meeting criteria	0%	0%	0%	0%	0%	0%	0%	0%
	% of eligible lots meeting criteria		0%	0%	0%	0%	0%	0%	0%
Scenario 1	No of all R2 lots meeting criteria	1	2,152	142	53	15	72	208	2,643
	No of eligible R2 lots meeting criteria	0	1,093	22	31	5	44	116	1,311
	% of all R2 lots meeting criteria	100.0%	73.4%	80.2%	58.9%	78.9%	80.0%	78.8%	74.0%
	% of eligible lots meeting criteria		72.7%	71.0%	58.5%	71.4%	74.6%	81.7%	73.0%
Scenario 2	No of all R2 lots meeting criteria	1	2,035	131	16	14	19	195	2,411
	No of eligible R2 lots meeting criteria	0	1,028	20	5	4	7	110	1,174
	% of all R2 lots meeting criteria	100.0%	69.4%	74.0%	17.8%	73.7%	21.1%	73.9%	67.5%
	% of eligible lots meeting criteria		68.4%	64.5%	9.4%	57.1%	11.9%	77.5%	65.4%
Scenario 3	No of all R2 lots meeting criteria	1	1,934	111	15	12	17	179	2,269
	No of eligible R2 lots meeting criteria	0	959	15	5	3	5	99	1,086
	% of all R2 lots meeting criteria	100.0%	65.9%	62.7%	16.7%	63.2%	18.9%	67.8%	63.5%
	% of eligible lots meeting criteria		63.8%	48.4%	9.4%	42.9%	8.5%	69.7%	60.5%
Scenario 4	No of all R2 lots meeting criteria	1	1,898	86	52	11	12	128	2,188
	No of eligible R2 lots meeting criteria	0	860	6	34	2	4	69	975
	% of all R2 lots meeting criteria	100.0%	64.7%	48.6%	57.8%	57.9%	13.3%	48.5%	61.2%
	% of eligible lots meeting criteria		57.2%	19.4%	64.2%	28.6%	6.8%	48.6%	54.3%
Scenario 5	No of all R2 lots meeting criteria	1	1,587	80	9	12	12	134	1,835
	No of eligible R2 lots meeting criteria	0	761	8	4	3	3	72	851
	% of all R2 lots meeting criteria	100.0%	54.1%	45.2%	10.0%	63.2%	13.3%	50.8%	51.3%
	% of eligible lots meeting criteria		50.6%	25.8%	7.5%	42.9%	5.1%	50.7%	47.4%

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Scenario 6	Barker College	Beecroft- Cheltenham	Mount Errington Precinct, Hornsby West Side	Pretoria Parade Precinct, Hornsby West Side	The Crescent, Pennant Hills	Wahroonga	Wahroonga North	HCA Total
	No of all R2 lots meeting criteria (800-899 sqm)	0	305	19	1	2	1	40
No of eligible R2 lots meeting criteria (800-899 sqm)	0	180	2	1	2	0	25	210
% of all R2 lots meeting criteria (800-899 sqm)		79.8%	100.0%	4.0%	66.7%	14.3%	97.6%	77.1%
% of eligible lots meeting criteria (800-899 sqm)		82.2%	100.0%	5.3%	66.7%	0.0%	100.0%	78.1%
No of all R2 lots meeting criteria (900 sqm+)	1	1282	61	8	10	11	94	1,467
No of eligible R2 lots meeting criteria (900 sqm+)	0	581	6	3	1	3	47	641
% of all R2 lots meeting criteria (900 sqm+)	100.0%	74.1%	79.2%	25.8%	100.0%	91.7%	87.0%	74.5%
% of eligible lots meeting criteria (900 sqm+)		74.7%	100.0%	16.7%	100.0%	75.0%	87.0%	74.4%
No of all R2 lots (800-899 sqm)	0	382	19	25	3	7	41	477
No of eligible R2 lots (800-899 sqm)	0	219	2	19	3	1	25	269
No of all R2 lots (900 sqm+)	1	1730	77	31	10	12	108	1,969
No of eligible R2 lots (900 sqm+)	0	778	6	18	1	4	54	861

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Appendix C:
Stage 2 Low and Mid-Rise Housing
Reforms analysis tables

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Low and mid-rise housing: Local Housing Areas (800m walking catchment of identified stations and centres)

Scenario	Scenario 1	Scenario 2	Scenario 3	Scenario 4	Scenario 5	Scenario 6	Total
CDC							
No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	Lots
>450 sqm/12m	9,585	8,461	7,316	4,234	7,081	7,081	36,276
All R2 lots	9,077	8,461	7,316	4,234	7,081	7,081	9623
Eligible lots	2,965	3,099	2,657	1,702	2,525	2,525	5084
All R2 lots within LHAs	6112	5362	4659	2532	4556	4556	26,653
Eligible R2 lots within LHAs							
All R2 lots outside LHAs							
Eligible lots R2 lots outside LHAs							

Scenario	Scenario 1	Scenario 2	Scenario 3	Scenario 4	Scenario 5	Scenario 6	Total
CDC							
No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	No of lots meeting criteria	Lots
>450 sqm/12m	1,106	1,625	2,067	3,022	2,199	2,199	9058
Eligible R2 lots >450sqm within LHA	10,691	10,086	9,383	7,256	9,280	9,280	
Additional lots within LHA where dual occ permissible (i.e. gap between 450m2/12m and scenario criteria)	1,759	1,625	2,067	3,022	2,199	2,199	
Scenario + additional LHA lots	10,836	10,086	9,383	7,256	9,280	9,280	

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mecone.com.au
info@mecone.com.au
02 8667 8668