



# ATTACHMENTS

## LOCAL PLANNING PANEL MEETING

**Wednesday 3 December 2025  
at 4:00 PM**



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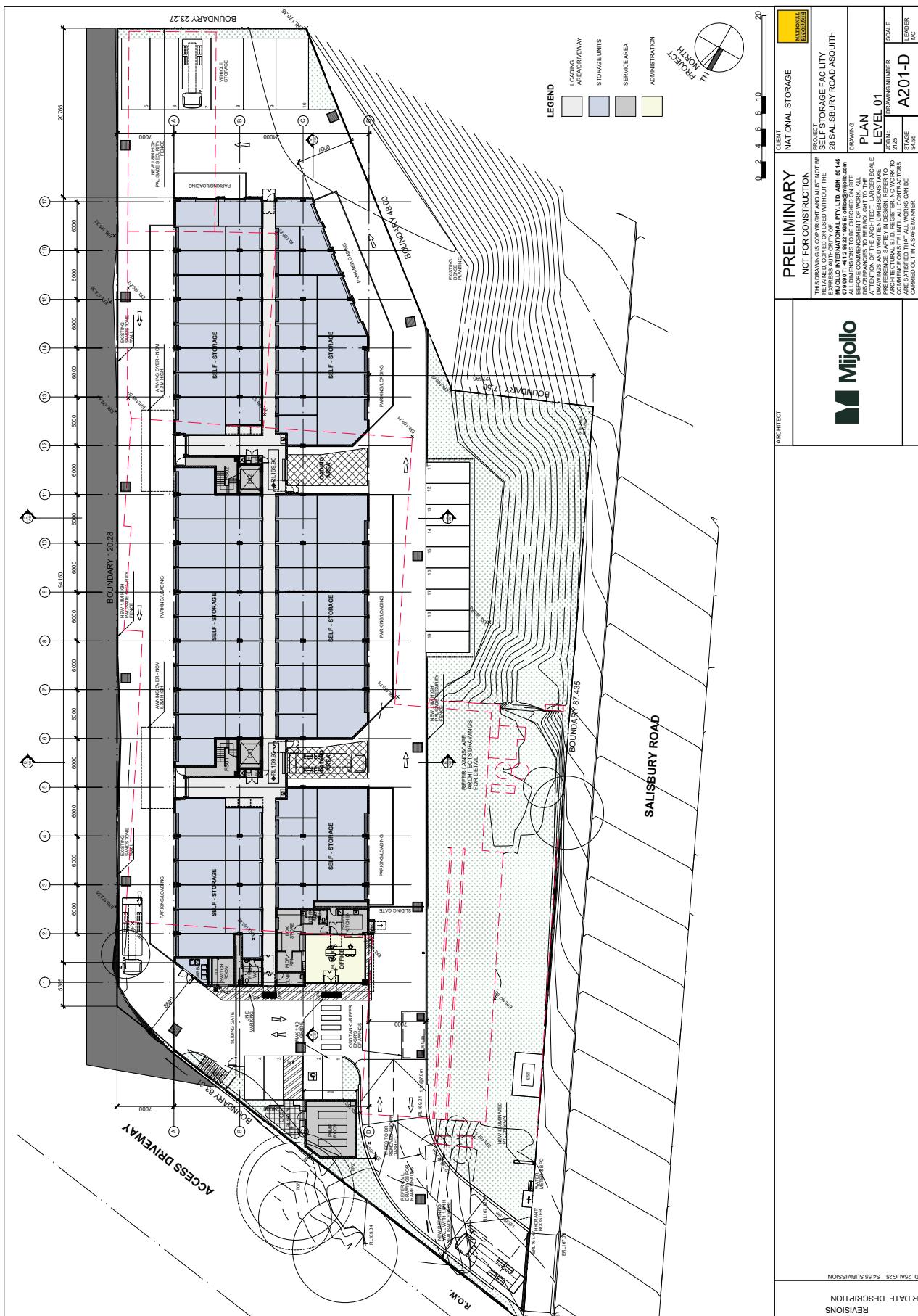
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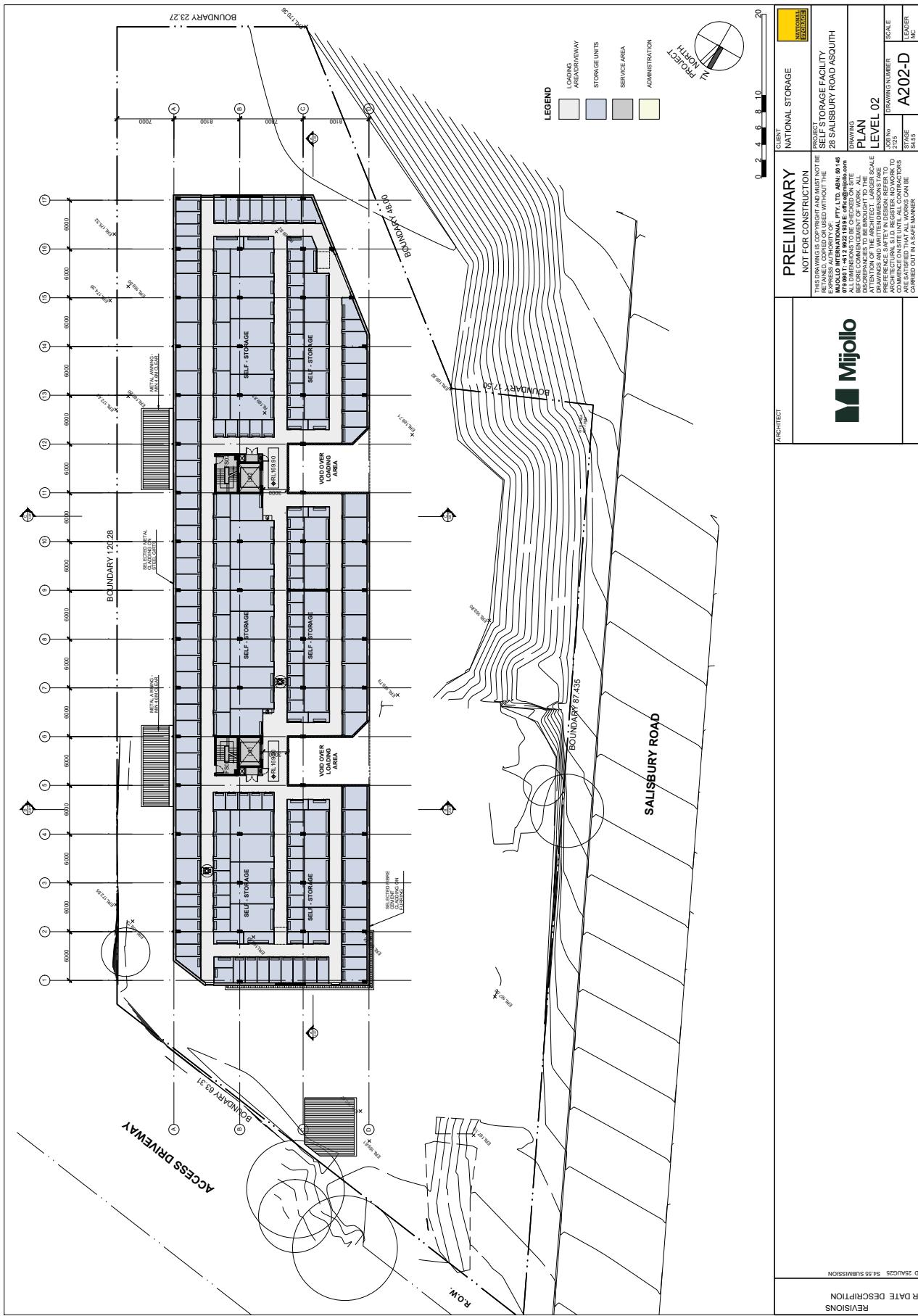
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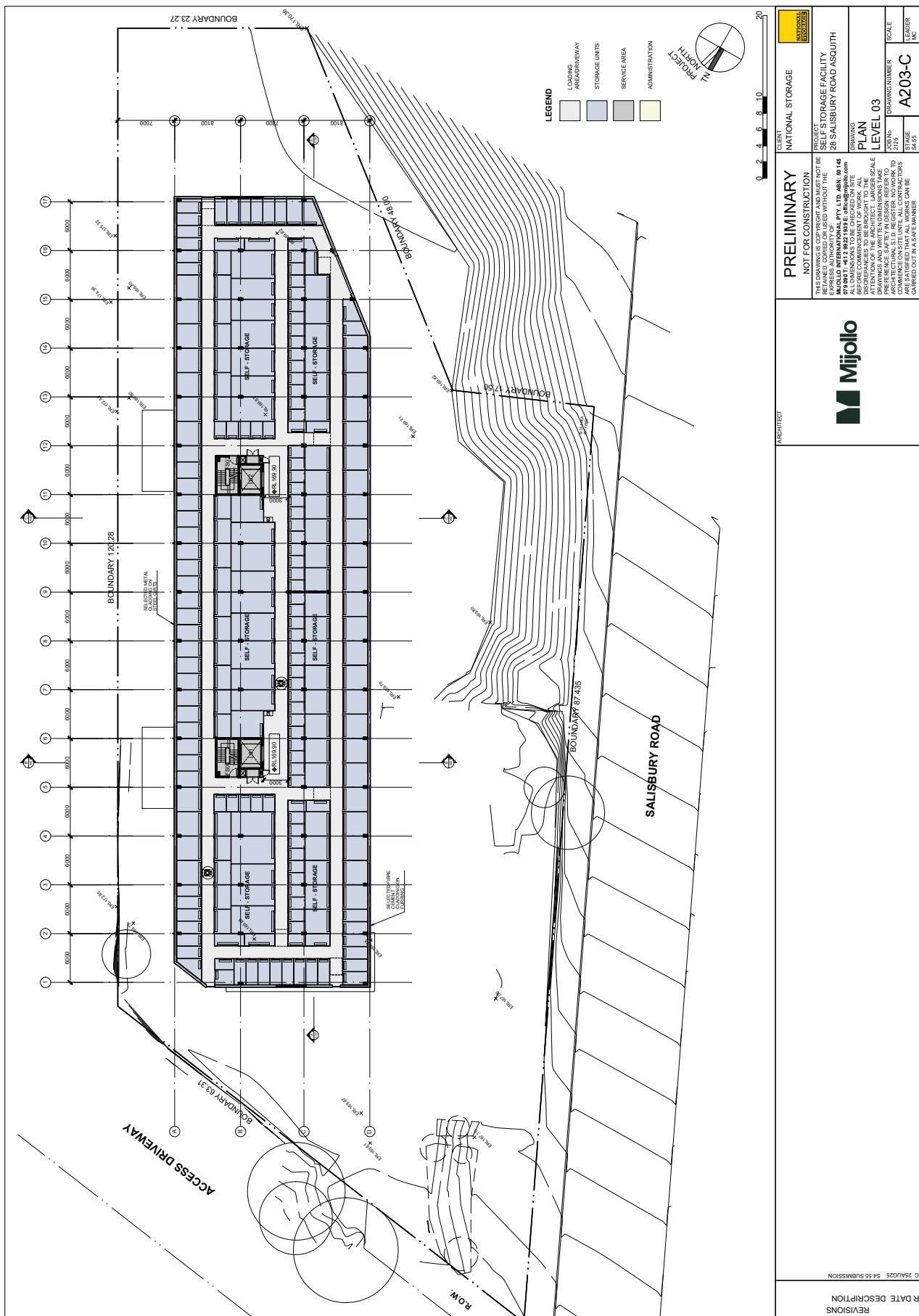
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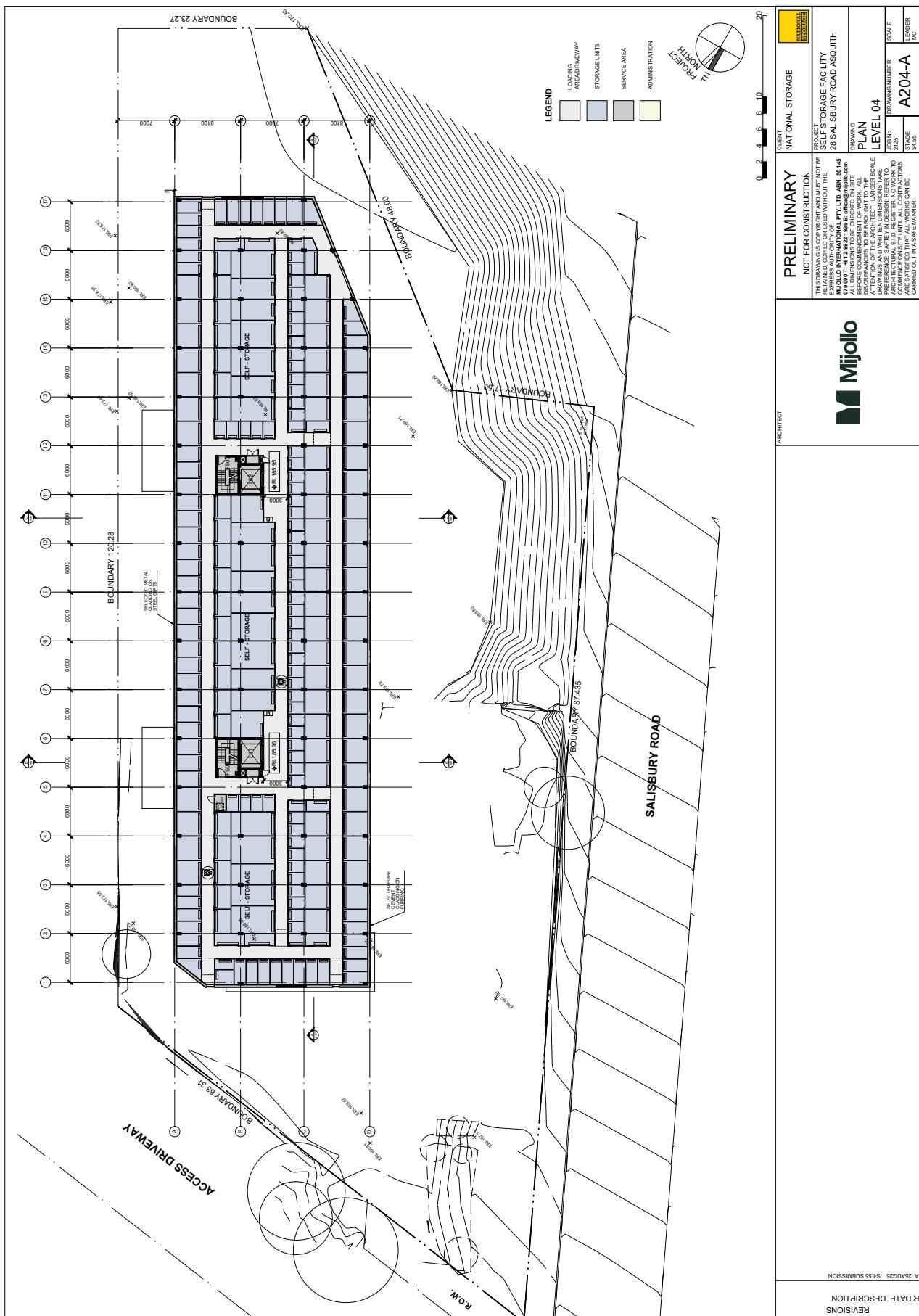
## ATTACHMENT 1 - ITEM 2



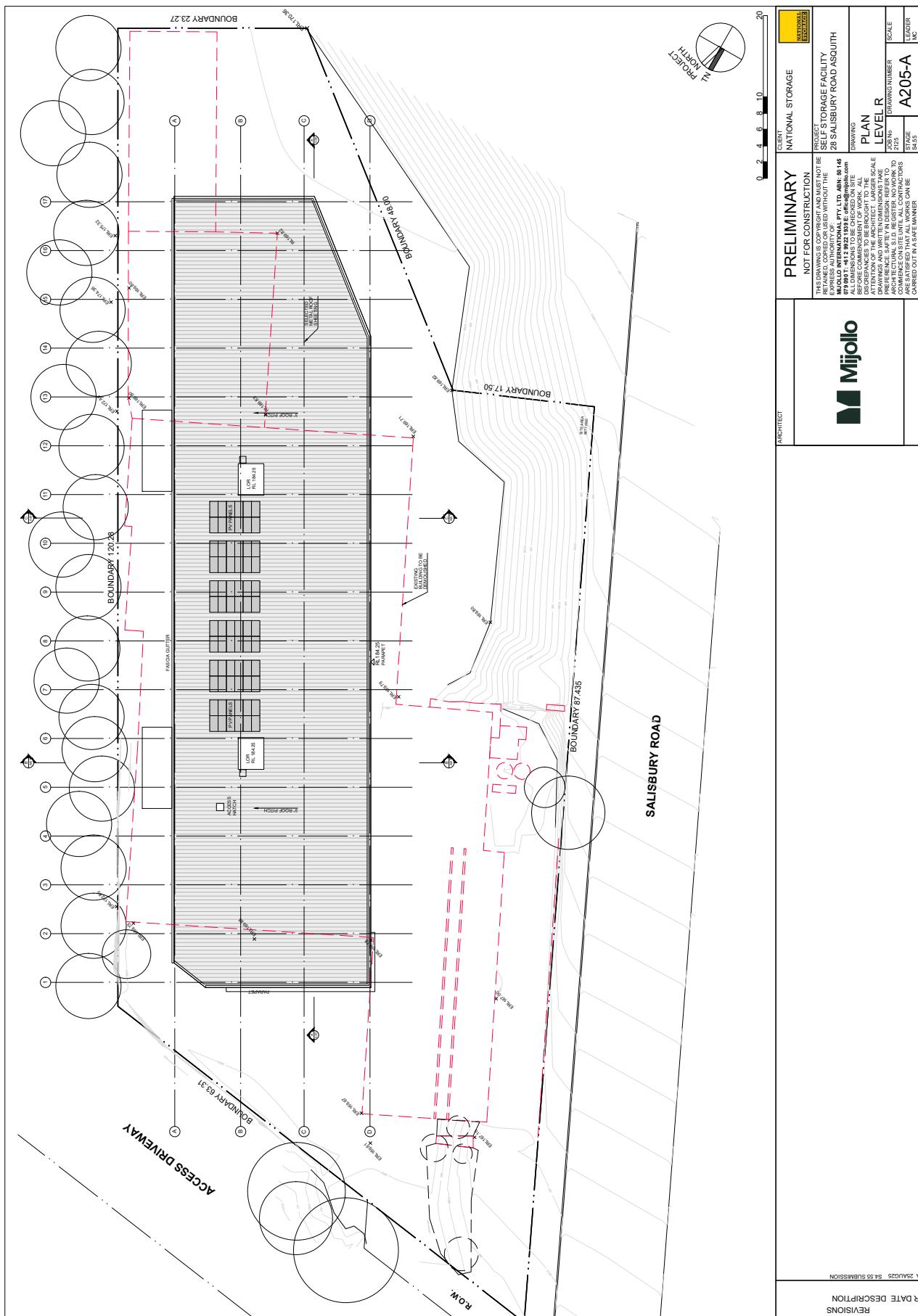
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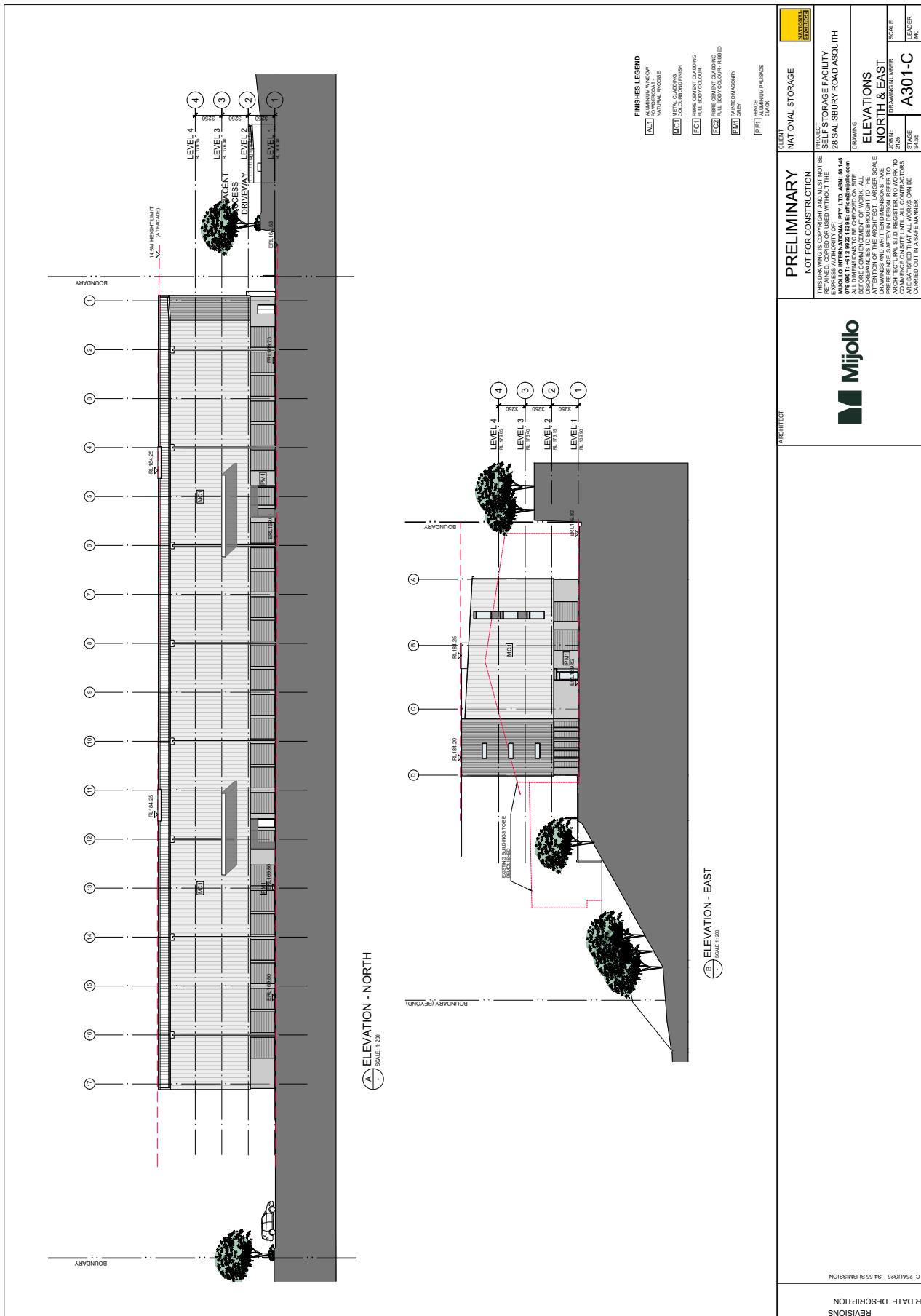
## ATTACHMENT 1 - ITEM 2



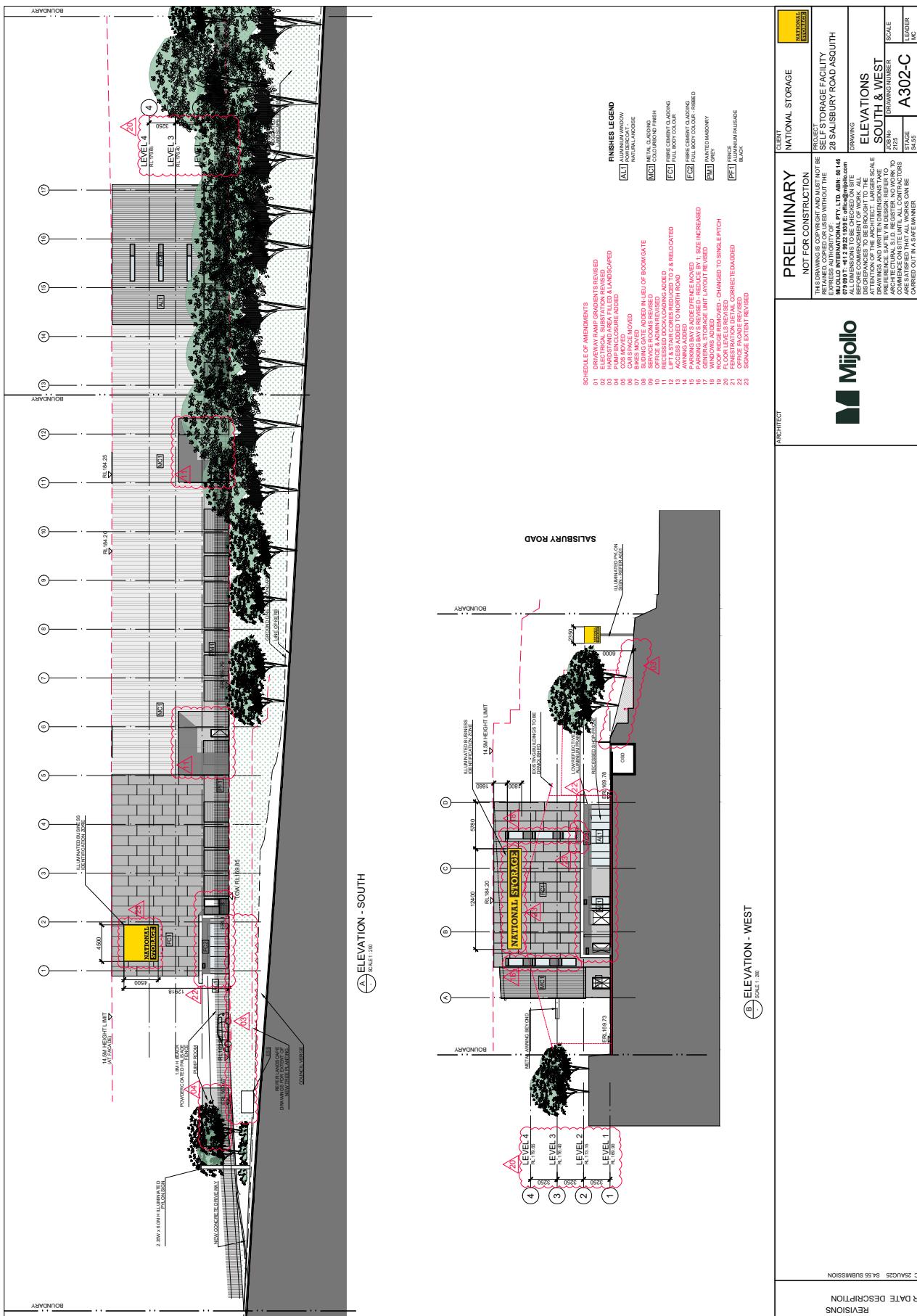
# ATTACHMENT 1 - ITEM 2



## ATTACHMENT 1 - ITEM 2



## ATTACHMENT 1 - ITEM 2



## ATTACHMENT 1 - ITEM 2

**SCHEDULE OF AMENDMENTS**

01 DRIVEWAY RAMP GRADIENTS REVISED  
 02 ELECTRICAL SUBSTATION REVISED  
 03 NEW OFFICE & LOADING BAY ADDED & LANDSCAPED  
 04 PUMP ENCL. ADDED & LANDSCAPED  
 05 COSMOVED  
 06 COSMOVED  
 07 BINS MOVED  
 08 SWING GATE ADDED IN LINE OF BOMB GATE  
 09 OFFICE & ADMIN REVISED  
 10 RE-CLOSED DOOR LONG ADDED & RELOCATED  
 11 ACCESS ADDED TO OFFICE ROAD  
 12 ACCESS ADDED TO OFFICE ROAD  
 13 ACCESS ADDED TO OFFICE ROAD  
 14 AWNING ADDED  
 15 PARKING BAY REVISED  
 16 DOOR SIZE REVISED, REDUCE L. SIZE, INCREASED  
 17 GENERAL STORAGE UNIT LAYOUT REVISED  
 18 INTEGRATED BOMB BAY REVISED  
 19 INTEGRATED BOMB BAY REVISED CHANGED TO SINGLE PITCH  
 20 FLOOR LEVELS REVISED  
 21 OFFICE FACADE REVISED  
 22 OFFICE FACADE REVISED CORRECTED (REVISED)  
 23 SIGNAGE EXTENT REVISED

**NOTE:**  
 SIGNAGE SHOWN  
 IS INDICATIVE &  
 MAY VARY

**LOCATION PLAN**

**S1** **S3** **S4** **S2** **S1** **S3** **S4**

**S4** ILLUMINATED BUILDING SIGN  
 SINGLE SIDED FLEXFACE BACK-LIT LIGHT BOX  
 LIGHTING ON TIMER  
 COLOURS: SOLID BLACK & YELLOW TO MATCH PMS 116C

**S2** ILLUMINATED PYLON SIGN  
 DOUBLE SIDED FLEXFACE BACK-LIT LIGHT BOX  
 LIGHTING ON TIMER  
 COLOURS: SOLID BLACK & YELLOW TO MATCH PMS 116C

**S1** ILLUMINATED BUILDING SIGN  
 SINGLE SIDED FLEXFACE BACK-LIT LIGHT BOX  
 LIGHTING ON TIMER  
 COLOURS: SOLID BLACK & YELLOW TO MATCH PMS 116C

**S3** SHOP ENTRY SIGN  
 FABRICATED ALUMINIUM LETTERS  
 COLOURS: SOLID BLACK TO MATCH PMS 116C

**ARCHITECT**

**PRELIMINARY**

**NOT FOR CONSTRUCTION**

**CLIENT**  
 NATIONAL STORAGE

**PROJECT**  
 SELF STORAGE FACILITY

**ADDRESS**  
 28 SALISBURY ROAD ASQUITH

**DRAWING**

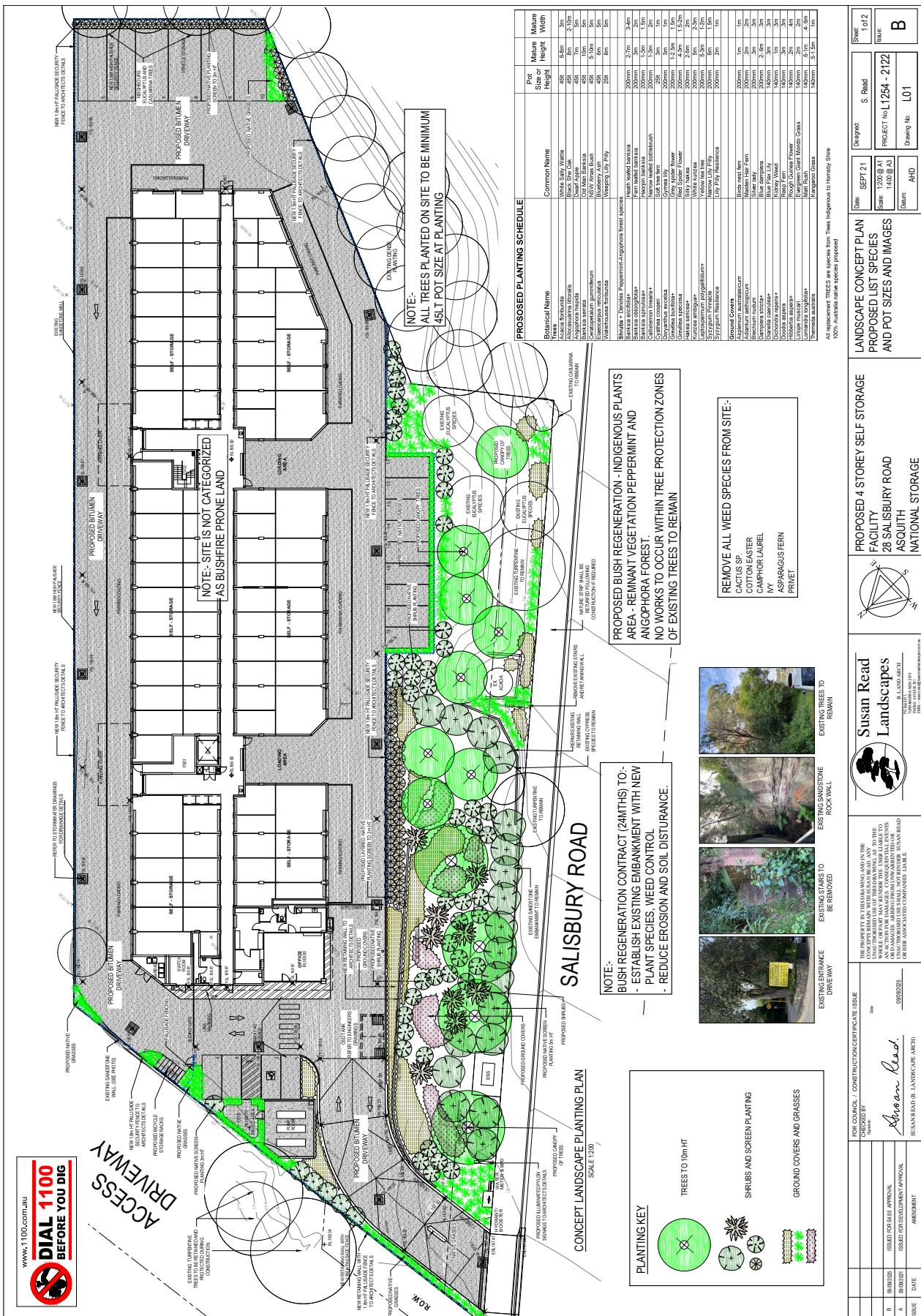
**SIGNAGE**

**NATIONAL STORAGE**

**Mijollo**

**DATE** 25 AUG 2025 **DESCRIPTION** 34.55 SUBMISSION

## ATTACHMENT 1 - ITEM 2



## ATTACHMENT 2 - ITEM 2



**ATTACHMENT/S**

**REPORT NO. LPP29/25**

**ITEM 3**

- 1. CONSULTANT REPORT**
- 2. DRAFT CONDITIONS OF CONSENT**
- 3. ARCHITECTURAL PLANS**

Consultant Assessment Report  
Prepared by: Nicola Neil, Octagon Planning

**DA No:** DA/1137/2025 (Lodged on 23/10/2025)

**Description:** Industrial - Construction - NSW Rural Fire Service - Shed

**Property:** The Tollgates, 1049 Pacific Highway, COWAN (Lot 100 DP1104687)

**Applicant:** NSW Rural Fire Service

**Owner:** Hornsby Shire Council

**Estimated Cost:** \$100,000

**Ward:** Ward A

**Clause 4.6 Request:** Not applicable

**Submissions:** Nil

**LPP Criteria:** Development on Council-owned land

**Author:** Nicola Neil, Octagon Planning

**COI Declaration:** No Council staff involved in the assessment of this application have declared a Conflict of Interest.

**RECOMMENDATION**

THAT Development Application No. DA/1137/2025 for construction of an industrial shed at 1049 Pacific Highway, COWAN NSW 2081 (Lot 100 DP1104687) be approved subject to the conditions of consent detailed in Attachment 2 of LPP Report No. LPP29/25.

Consultant Assessment Report  
Prepared by: Nicola Neil, Octagon Planning

## EXECUTIVE SUMMARY

- The application involves construction of a storage shed for the NSW Rural Fire Service
- The site is owned by Council. In accordance with Council's adopted Policy '*Proposed Council Developments*' an independent assessment of the development application has been undertaken by Nicola Neil of Octagon Planning.
- The proposal complies with Hornsby Local Environmental Plan 2013 and Hornsby Development Control Plan 2024.
- No public submissions have been received in respect of the application.
- The application is required to be determined by the Hornsby Council Local Planning Panel as the development is located on Council-owned land.
- It is recommended that the application be approved.

## BACKGROUND

On 20/02/2008 Council approved a development application (DA/1354/2007) for the Hornsby/Ku-ring-gai Rural Fire Centre on the subject site. On 12/01/2017 Council approved a development application (DA/840/2016) for Cowan Rural Fire Service Station on the subject site. On 26/06/2024 Council approved a development application (DA/245/2024) for a volunteer bushfire fighters training facility on the subject site.

## SITE

The site is located on the Pacific Highway at Cowan and was formerly used as a heavy vehicle weigh station. It is a long narrow site with an area of 9,432m<sup>2</sup>, bordered on both the eastern and western sides by the Pacific Highway. The site is largely cleared and level, with a few trees scattered throughout.

In the northern part of the site is a grassed area along with a number of shipping containers, a demountable building and a small disused single storey brick building. To the south of this is the large two-storey district Rural Fire Service (RFS) Centre which includes a control centre, various administrative rooms, a lecture room and storage. South of the centre is a large car park, then the single storey Cowan RFS building. Beyond this is another parking area and a large undeveloped gravel area (the development site), and in the southernmost part of the site is a wind turbine and a fire tower. A new training facility, approved in 2024, is currently under construction.

To the east of the site is the railway line, with the M1 Pacific Motorway beyond. To the west of the site is the Cowan Rest Area Truck Stop.

## PROPOSAL

The proposed development is construction of a 9.96m x 7.6m (75.7m<sup>2</sup>) metal clad storage shed within the car park on the northern side of the existing Cowan RFS building.

## ASSESSMENT

The development application has been assessed having regard to the Greater Sydney Region Plan - A Metropolis of Three Cities, the North District Plan and the matters for consideration prescribed under

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Prepared by: Nicola Neil, Octagon Planning

Section 4.15 of the *Environmental Planning and Assessment Act 1979* (the Act). The following issues have been identified for further consideration.

## 1. STRATEGIC CONTEXT

### 1.1 Greater Sydney Region Plan - A Metropolis of Three Cities and North District Plan

The Greater Sydney Region Plan - A Metropolis of Three Cities has been prepared by the NSW State Government to guide land use planning decisions over the next 40 years (to 2056). The Plan sets a strategy and actions for accommodating Sydney's future population growth and identifies dwelling targets to ensure supply meets demand. The Plan also identifies that the most suitable areas for new housing are in locations close to jobs, public transport, community facilities and services.

The NSW Government will use the subregional planning process to define objectives and set goals for job creation, housing supply and choice in each subregion. Hornsby Shire has been grouped with Hunters Hill, Ku-ring-gai, Lane Cove, Mosman, North Sydney, Ryde, Northern Beaches and Willoughby to form the North District. The Greater Sydney Commission has released the North District Plan which includes priorities and actions for Northern District over the next 20 years.

The proposed development is consistent with the "resilient city" section of the Metropolis of Three Cities, the objectives of which are:

- Objective 36. People and places adapt to climate change and future shocks and stresses
- Objective 37. Exposure to natural and urban hazards is reduced
- Objective 38. Heatwaves and extreme heat are managed

The proposal is also consistent with Objective 5.9 Planning for a Resilient North District in the Draft North District Plan.

## 2. STATUTORY CONTROLS

Section 4.15(1)(a) requires Council to consider "any relevant environmental planning instruments, draft environmental planning instruments, development control plans, planning agreements and regulations".

### 2.1 Hornsby Local Environmental Plan 2013

The proposed development has been assessed having regard to the provisions of the Hornsby Local Environmental Plan 2013 (HLEP).

#### 2.1.1 Zoning of Land and Permissibility

The subject land is zoned SP2 Infrastructure (Purpose: Emergency Services Facility) under the HLEP. The objectives of the SP2 zone are:

- To provide for infrastructure and related uses.
- To prevent development that is not compatible with or that may detract from the provision of infrastructure.

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The proposed development meets the objectives as it is a training facility for the emergency services and does not detract from the provision of infrastructure.

HLEP includes in the permitted uses for the SP2 zone, "The purpose shown on the Land Zoning Map, including any development that is ordinarily incidental or ancillary to development for that purpose". The proposed development is ancillary to the existing emergency services facility located on the site and is permissible in the SP2 zone with Council's consent.

#### **2.1.2 Height of Buildings**

The subject site has no maximum height mapped under Clause 4.3 of HLEP. The shed has a maximum height of 4.8m, which is considered appropriate for the site.

#### **2.1.3 Floor Space Ratio**

The subject site has no maximum Floor Space Ratio (FSR) mapped under Clause 4.4 of HLEP. The shed has a floor area of 75.7m<sup>2</sup>. The existing and approved buildings on the site have a total floor area of 1,766.91m<sup>2</sup>. Total gross floor area post-development would be 1,842.61m<sup>2</sup>. The site is 9,432m<sup>2</sup>, making for an FSR of 0.195:1. This is considered appropriate for the site.

#### **2.2 Draft Environmental Planning Instrument**

There are no current draft environmental planning instruments.

#### **2.2.1 Heritage Conservation**

Clause 5.10 of the HLEP sets out heritage conservation provisions for Hornsby Shire. The site does not include a heritage item and is not located in a heritage conservation area. Accordingly, no further assessment regarding heritage is necessary.

#### **2.2.2 Earthworks**

Clause 6.2 of the HLEP states that consent is required for earthworks. Before granting consent for earthworks, Council is required to assess the impacts of the works on adjoining properties, drainage patterns and soil stability of the locality. Earthworks are minimal and are limited to what is required for the building footings. Standard conditions of consent are recommended to ensure proper carrying out of earthworks.

#### **2.3 State Environmental Planning Policy (Biodiversity and Conservation) 2021**

The application has been assessed against the requirements of chapter 6 of State Environmental Planning Policy (Biodiversity and Conservation) 2021.

#### **2.3.1 Chapter 6 Waterways**

The site is located within the Hawkesbury-Nepean catchment. The aim of this chapter is to ensure that the catchment, foreshores, waterways and islands of Sydney Harbour are recognised, protected, enhanced and maintained. This chapter provides general planning considerations and strategies to ensure that the catchment, foreshores, waterways and islands of Sydney Harbour are recognised, protected, enhanced and maintained.

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The plan addresses matters related to biodiversity, ecology and environment protection; public access to, and use of, foreshores and waterways; maintenance of a working harbour; interrelationship of waterway and foreshore uses; foreshore and waterways scenic quality; maintenance, protection and enhancement of views and boat storage facilities.

The proposed development is for a storage shed only and does not involve the use of any firefighting chemicals as the RFS does not use any chemicals (such as PFAS) in their operations. A standard condition of consent is recommended to ensure the correct storage of any other chemicals on site.

Subject to the continuation of sediment and erosion control measures and stormwater management to protect water quality, the proposal would have minimal potential to impact on the Hawkesbury-Nepean Catchment and would comply with the requirements of chapter 6 of the Biodiversity and Conservation SEPP.

#### **2.4 State Environmental Planning Policy (Resilience and Hazards) 2021**

The application has been assessed against the requirements of Chapter 4 of State Environmental Planning Policy (Resilience and Hazards) 2021.

##### **2.4.1 Chapter 4 Remediation of Land**

Section 4.6 of the Resilience and Hazards SEPP states that consent must not be granted to the carrying out of any development on land unless the consent authority has considered whether the land is contaminated or requires remediation for the proposed use.

Should the land be contaminated, Council must be satisfied that the land is suitable in a contaminated state for the proposed use. If the land requires remediation to be undertaken to make the land suitable for the proposed use, Council must be satisfied that the land will be remediated before the land is used for that purpose.

The subject site was used as a heavy vehicle weigh station until the mid-2000s. A Preliminary Contaminated Site Assessment was conducted by Heggies in 2007 as part of the redevelopment of the site for the Hornsby/Ku-Ring-Gai Control Centre. This report concluded that there was a minimal risk of site contamination and the current site conditions were not considered to be unsuitable for the proposed development.

The proposed development involves minimal earthworks associated with slab construction. It is not likely that the site has experienced any significant contamination since the 2007 report (noting that the RFS does not use PFAS foam as per previous development applications on the subject site), and further assessment under Chapter 4 of the Resilience and Hazards SEPP is not required.

#### **2.5 State Environmental Planning Policy (Transport and Infrastructure) 2021**

The application has been assessed against the requirements of Chapter 2 of State Environmental Planning Policy (Transport and Infrastructure) 2021.

##### **2.5.1 Part 2.3 Division 6 Emergency Services and Bush Fire Hazard Reduction**

Division 6 of the SEPP relates to emergency services and bush fire hazard reduction. Clause 2.51(1) states that development for the purpose of an emergency services facility may be carried out with

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consent in a prescribed zone by or on behalf of the NSW Rural Fire Service or an emergency services organisation that is not a public authority. Clause 2.52(1) excludes the NSW RFS from carrying out development without consent.

#### **2.5.2 Part 2.3 Division 17 Roads and Traffic**

Subdivision 2 relates to development in or adjacent to road corridors and road reservations. Clause 2.119(2) states that

*The consent authority must not grant consent to development on land that has a frontage to a classified road unless it is satisfied that—*

- (a) *where practicable and safe, vehicular access to the land is provided by a road other than the classified road, and*
- (b) *the safety, efficiency and ongoing operation of the classified road will not be adversely affected by the development as a result of—*
  - (i) *the design of the vehicular access to the land, or*
  - (ii) *the emission of smoke or dust from the development, or*
  - (iii) *the nature, volume or frequency of vehicles using the classified road to gain access to the land, and*
- (c) *the development is of a type that is not sensitive to traffic noise or vehicle emissions, or is appropriately located and designed, or includes measures, to ameliorate potential traffic noise or vehicle emissions within the site of the development arising from the adjacent classified road.*

The proposed development will use the existing vehicular access to the subject site and will not affect the safety, efficiency and ongoing operation of the classified road due to the abovementioned factors.

#### **2.5.3 Part 2.3 Division 15 Railways**

Division 15 of the SEPP relates to railways, with Subdivision 2 setting out notification and other requirements for development in or adjacent to rail corridors. Section 2.98 applies to development which:

- (a) *is likely to have an adverse effect on rail safety, or*
- (b) *involves the placing of a metal finish on a structure and the rail corridor concerned is used by electric trains, or*
- (c) *involves the use of a crane in air space above any rail corridor, or*
- (d) *is located within 5 metres of an exposed overhead electricity power line that is used for the purpose of railways or rail infrastructure facilities.*

Given the minor nature of the development, being a storage shed only, referral to Sydney Trains was not considered necessary.

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## **2.6 Section 3.42 Environmental Planning and Assessment Act 1979 - Purpose and Status of Development Control Plans**

Section 3.42 of the *Environmental Planning and Assessment Act 1979* states that a DCP provision will have no effect if it prevents or unreasonably restricts development that is otherwise permitted and complies with the development standards in relevant Local Environmental Plans and State Environmental Planning Policies.

The principal purpose of a development control plan is to provide guidance on the aims of any environmental planning instrument that applies to the development; facilitate development that is permissible under any such instrument; and achieve the objectives of land zones. The provisions contained in a DCP are not statutory requirements and are for guidance purposes only. Consent authorities have flexibility to consider innovative solutions when assessing development proposals, to assist achieve good planning outcomes.

## **2.7 Hornsby Development Control Plan 2024**

The proposed development has been assessed having regard to the relevant desired outcomes and prescriptive requirements within the Hornsby Development Control Plan 2024 (HDCP).

The objectives of Hornsby DCP are to:

- Provide a comprehensive document that provides a framework for development of land in the Hornsby Local Government Area,
- Clearly set out the processes, procedures and responsibilities for the involvement of the community and key stakeholders in the development of land,
- Promote development that is consistent with Council's adopted Local Strategic Planning Statement and Sustainable Hornsby 2040 Strategy
- Protect and enhance the natural and built environment, and ensure that satisfactory measures are incorporated to ameliorate any impacts arising from development,
- Encourage high quality development that contributes to the existing or desired future character of the area, with particular emphasis on the integration of buildings with a landscaped setting,
- Protect and enhance the public domain,
- Minimise risk to the community, and
- Ensure that development incorporates the principles of Ecologically Sustainable Development (ESD).

The proposed development is consistent with the objectives as it will provide additional storage space for the volunteer firefighting brigade at Cowan who protect the natural and built environment, is integrated into the landscaped setting of the site, and minimises risk to the community by supporting emergency services.

It is noted that the DCP contains sections on rural, residential, business, industrial, subdivision and community uses, plus sections on river settlements and heritage. The subject site and proposed

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Prepared by: Nicola Neil, Octagon Planning

development do not fall under any of these categories, so Part 1 – General is the only section of the DCP that applies to the application.

#### **2.7.1 Part 1.2.6 Tree Preservation**

The proposed development is consistent with this section of the DCP as all existing trees on the site are proposed to remain.

#### **2.7.2 Part 1.3.1.2 Stormwater Management**

The DCP requires development to have appropriate controls to stabilise and retain soil and sediments during construction in accordance with Landcom's *Managing Urban Stormwater* (2006) also known as *The Blue Book*. A condition of consent is recommended to ensure appropriate erosion and sediment control.

#### **2.7.3 Part 1.3.1.4 Earthworks and Slope**

The proposed development is consistent with the DCP prescriptive measures for development to be sited on the area of land presenting the least topographic constraints and away from ridge lines. The proposed shed will be on an existing flat hardstand area. In accordance with the DCP, cut and fill will not exceed 1m.

#### **2.7.4 Part 1.3.2.1 Transport and Parking**

The proposal is consistent with the DCP requirement for direct vehicular access points to main roads to be consolidated; entry to the proposed development will be via the existing driveway.

The DCP does not specify parking rates for the emergency services facilities. Given that the proposed development is ancillary to the approved use and is for storage only, it is considered that no additional parking is required on the site.

The Statement of Environmental Effects states that the original parking allocations on the site have been enhanced so there are now more car parking spaces than were originally approved, including an accessible space adjacent to the Fire Control Centre.

The approved plans for the Control Centre show 29 car parking spaces: seven adjacent to the Control Centre, nine on the western side of the site adjacent to the RFS Station, and thirteen on the eastern side of the site. The plans for the RFS Station show those 29 spaces plus six new spaces on the southern side of the Station making for a total of 35 spaces.

Actual parking provision on the site is nine spaces adjacent to the Control Centre (two additional spaces on the eastern side of the site in front of the entry ramp), thirteen on the western side adjacent to the RFS Station, eleven on the eastern side and five on the south side of the RFS Station, making for a total of 38 spaces. The new shed will take away four spaces, leaving a total provision of 34 spaces.

It is noted that a demountable has been used for storage and occupying two parking spaces since at least 2019 and these spaces will be freed up as a result of the construction of the shed. There will therefore be a net loss of one parking space compared to what was approved in 2017. The site has been operating successfully with no parking issues. There is ample hardstand on the site to allow for overflow parking on rare occasions when it may be required.

Consultant Assessment Report  
Prepared by: Nicola Neil, Octagon Planning

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The proposal is considered satisfactory with regard to parking.

#### **2.7.5 Part 1.3.2.3 Waste Management**

In accordance with the DCP, a Waste Management Plan was submitted with the Development Application. The use of prefabricated materials reduces waste both in the construction phase and at the end of the buildings' life span. The WMP is considered adequate.

#### **2.7.6 Part 1.3.2.9 Landscaping**

The DCP requires landscaping to be incorporated where appropriate. There is no existing screen planting in between the RFS Station and the site boundary and none is considered necessary between the proposed shed and the boundary.

#### **2.7.7 Part 1.3.3.1 Bushfire**

The development site is mapped as bushfire prone land – vegetation buffer. The DCP requires development on bushfire prone land to address *Planning for Bushfire Protection 2019*. A Bushfire Report was submitted with the Development Application and concluded that:

*This proposal falls outside the requirements for specific bushfire safety construction standards as outlined in the NCC, AS-3959 and Planning for Bushfire Protection and requires only the general fire safety provisions of the NCC that are associated with that class of structure.*

*Planning for Bushfire Protection requires that this proposal complies with the aims and objectives of that document and the specific objectives for infill development.*

*It is considered that this proposal does comply with the intent of the relevant aims and objectives of Planning for Bushfire Protection and the relevant specific objectives for infill.*

The author concurs with this assessment; the proposed development is considered satisfactory with regard to bushfire risk.

#### **2.8 Section 7.11/7.12 Contributions Plans**

As the estimated cost of works is \$100,000, no contributions are payable under Council's Section 7.12 Contributions Plan.

#### **2.9 Housing and Productivity Contribution**

The Housing and Productivity Contribution does not apply to the development as it is not industrial/commercial/retail development.

#### **2.10 Planning Agreements**

Section 4.15 (1) (a)(ii) of the Act requires Council to consider the provisions of any planning agreement. The development does not include a Planning Agreement.

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### 3. ENVIRONMENTAL IMPACTS

Section 4.15(1)(b) of the Act requires Council to consider “*the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality*”.

#### 3.1 Natural Environment

The proposed development is not expected to have any significant impacts on the natural environment.

#### 3.2 Built Environment

##### 3.2.1 Built Form

The proposed shed has been designed in similar colours, materials and design of the existing Cowan RFS Station. The site is in a relatively isolated location with no nearby residential properties and pedestrian traffic is rare. The site is generally only viewed by the public from vehicles travelling at speed.

#### 3.3 Social Impacts

The proposed development will support the ongoing operation of the Cowan volunteer rural fire service. Volunteering is widely acknowledged to be good for community wellbeing, in addition to this specific volunteering providing various benefits to the community through bushfire prevention and emergency response. The development will have a positive social impact.

#### 3.4 Economic Impacts

The proposed development will have indirect economic benefits by supporting the RFS who property from bushfire. The development will also have a minor economic benefit during construction.

### 4. SITE SUITABILITY

Section 4.15(1)(c) of the Act requires Council to consider “*the suitability of the site for the development*”.

The subject site is already designated for emergency services purposes and includes the regional fire control centre, Cowan RFS building and a training module and shed which are currently under construction. The subject site is not identified as flood prone; it is mapped as bushfire prone. This is discussed in detail in section 2.7.7 above. The site is considered to be capable of accommodating the proposed development. The scale of the proposed development is consistent with the capability of the site and is considered acceptable.

### 5. PUBLIC PARTICIPATION

Section 4.15(1)(d) of the Act requires Council to consider “*any submissions made in accordance with this Act*”.

#### 5.1 Community Consultation

The proposed development was placed on public exhibition and was notified to adjoining and nearby landowners between 29 October and 26 November 2025 in accordance with the Hornsby Community

Consultant Assessment Report  
Prepared by: Nicola Neil, Octagon Planning

Engagement Plan. During this period, Council did not receive any submissions. Figure 1 below illustrates the location of those nearby landowners who were notified of the development.

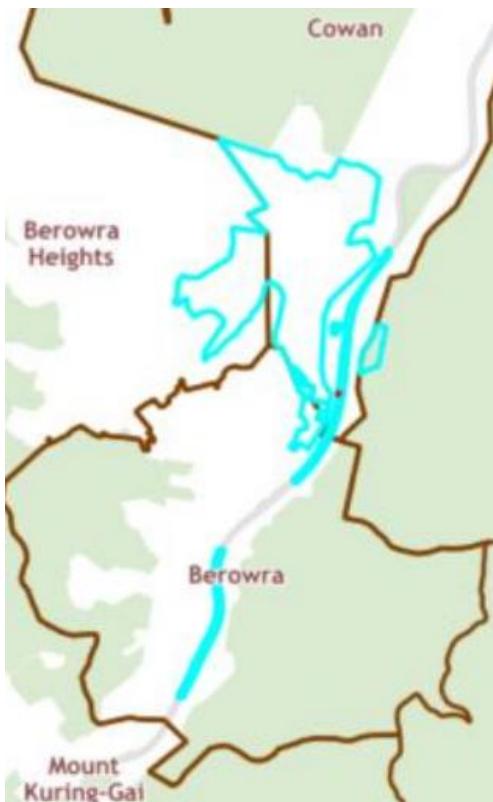


Figure 1: Notification Map

## 5.2 Public Agencies

The development application was not referred to any Public Agencies for comment.

## 6. THE PUBLIC INTEREST

Section 4.15(1)(e) of the Act requires Council to consider "*the public interest*".

The public interest is an overarching requirement, which includes the consideration of the matters discussed in this report. Implicit to the public interest is the achievement of future built outcomes adequately responding to and respecting the future desired outcomes expressed in environmental planning instruments and development control plans.

The application is considered to have satisfactorily addressed Council's criteria and would provide a development outcome that, on balance, would result in a positive impact for the community. Accordingly, it is considered that the approval of the proposed development would be in the public interest.

Consultant Assessment Report  
Prepared by: Nicola Neil, Octagon Planning

## CONCLUSION

The application proposes construction of a shed ancillary to the existing RFS facility on the subject site.

The development generally meets the desired outcomes of Council's planning controls and is satisfactory having regard to the matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979*.

Having regard to the circumstances of the case, approval of the application is recommended.

The reasons for this decision are:

- The proposed development complies with the requirements of the relevant environmental planning instruments and the Hornsby Development Control Plan 2024.
- The proposed development does not create unreasonable environmental impacts to adjoining development with regard to visual bulk, solar access, amenity or privacy.

*Note: At the time of the completion of this planning report, no persons have made a Political Donations Disclosure Statement pursuant to Section 10.4 of the Environmental Planning and Assessment Act 1979 in respect of the subject planning application.*

## DRAFT CONDITIONS OF CONSENT

### GENERAL CONDITIONS

Condition
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**1. Approved Plans and Supporting Documentation**

The development must be carried out in accordance with the plans and documentation listed below and endorsed with Council's stamp, except where amended by Council and/or other conditions of this consent:

*Approved Plans*

<b>Plan No.</b>	<b>Plan Title</b>	<b>Drawn by</b>	<b>Dated</b>	<b>Council Reference</b>
E01	Location Plan	Maitland Butler Architects	30/07/2025	
E02	Site Analysis Plan	Maitland Butler Architects	30/07/2025	
E03	Site Plan	Maitland Butler Architects	30/07/2025	
E05	Elevations 1	Maitland Butler Architects	30/07/2025	
E33	Ranbuild Building	Maitland Butler Architects	30/07/2025	
E34	Ranbuild Specifications	Maitland Butler Architects	30/07/2025	

*Supporting Documentation*

<b>Document Title</b>	<b>Prepared by</b>	<b>Dated</b>	<b>Council Reference</b>
Bushfire Report	Bush Fire Planning Services	11/01/2024	D09236228
Waste Management Plan	Steve Marsh, RFS	16/10/2025	D09236228

*Reason: To ensure that detailed construction certificate plans are consistent with the approved plans and supporting documentation.*

**2. Construction Certificate**

- a) A Construction Certificate is required to be approved by Council or a Private Certifying Authority prior to the commencement of any construction works under this consent.
- b) The Construction Certificate plans must be consistent with the Development Consent plans.

*Reason: To ensure that detailed construction certificate plans are consistent with the approved plans and supporting documentation.*

## BUILDING WORK

### BEFORE ISSUE OF A CONSTRUCTION CERTIFICATE

Condition
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**3. Building Code of Australia**

Detailed plans, specifications and supporting information is required to be submitted to the certifying authority detailing how the proposed building work achieves compliance with the National

Construction Code - Building Code of Australia. All building work must be carried out in accordance with the requirements of the National Construction Code - Building Code of Australia.

*Reason: Prescribed condition - EP&A Regulation section 69(1).*

#### 4. Fire Safety Schedule

A schedule of all proposed essential fire safety measures to be installed in the building (e.g. hydrants, hose reels, emergency warning systems etc.) shall be submitted with the construction certificate application. The schedule shall distinguish between existing and proposed fire safety measures.

*Reason: To ensure all fire safety measures are identified to protect life and property.*

#### 5. Sydney Water – Approval

This application must be submitted to Sydney Water for approval to determine whether the development would affect any Sydney Water infrastructure, and whether further requirements are to be met.

*Note: Building plan approvals can be obtained online via Sydney Water Tap In™ through [www.sydneywater.com.au](http://www.sydneywater.com.au) under the Building and Development tab.*

*Reason: To ensure the development is provided with the relevant utility services.*

#### 6. Identification of Survey Marks

A registered surveyor must identify all survey marks in the vicinity of the proposed development. Any survey marks required to be removed or displaced as a result of the proposed development shall be undertaken by a registered surveyor in accordance with Section 24 (1) of the *Surveying and Spatial Information Act 2002* and following the Surveyor General's Directions No.11 Preservation of Survey Infrastructure.

*Reason: To identify and protect the State's survey infrastructure.*

#### 7. Stormwater Drainage

The stormwater drainage system for the development must be designed for an average recurrence interval (ARI) of 20 years and be gravity drained in accordance with the following requirements:

- a) Connected directly to Council's street drainage system at Pacific Highway.

*Reason: To ensure appropriate provision for management and disposal of stormwater.*

### BEFORE BUILDING WORK COMMENCES

Condition
-----------

#### 8. Site Sign

- a) A sign must be erected in a prominent position on any site on which any approved work involving excavation, erection or demolition of a building is being carried out detailing:
  - i) The name, address, and telephone number of the Principal Certifier.
  - ii) the name of the principal contractor (if any) for any demolition or building work and a telephone number on which that person may be contacted outside working hours; and

- iii) Unauthorised entry to the work site is prohibited.
- b) The sign must be maintained during excavation, demolition and building work is being carried out and must be removed when the work has been completed.

*Reason: Prescribed condition EP&A Regulation, section 70(2) and (3).*

#### **9. Toilet Facilities**

- a) To provide a safe and hygienic workplace, toilet facilities must be available or be installed at the works site before works begin and must be maintained until the works are completed at a ratio of one toilet for every 20 persons employed at the site.
- b) Each toilet must:
  - i) Be a standard flushing toilet connected to a public sewer; or
  - ii) Be a temporary chemical closet approved under the Local Government Act 1993; or
  - iii) Have an on-site effluent disposal system approved under the Local Government Act 1993.

*Reason: To ensure adequate toilet facilities are provided.*

#### **10. Erosion and Sediment Control Measures**

Install and maintain adequate sediment and erosion control measures for the duration of all works, until such a time that sediment, sediment laden water or any other material/substance can no longer migrate from the premises. The measures are to be installed and maintained in such a manner as to prevent sediment, sediment-laden water, or any other materials and substances migrating from the site onto neighbouring land, the roadway, waters and/or into the stormwater system, and in accordance with:

- a) The publication Managing Urban Stormwater: Soils and Construction 2004 (4th edition) – 'The Blue Book'.
- b) Protection of the Environment Operations Act 1997; and
- c) The approved plans

Controls are to be monitored and adjusted where required throughout the works to ensure compliance with the above.

*Note: On the spot penalties may be issued for any non-compliance with this requirement without any further notification or warning. If you are unsure how to achieve compliance with this condition during works, you may need to engage the services of a suitably qualified environmental, soil or geotechnical consultant to assist.*

*Reason: To minimise impacts on the water quality of the downstream environment.*

#### **11. Garbage receptacle**

- a) A garbage receptacle must be provided at the work site before works begin and must be maintained until all works are completed.
- a) The garbage receptacle must have a tightfitting lid and be suitable for the reception of food scraps and papers.

- b) The receptacle lid must be kept closed at all times, other than when garbage is being deposited.
- c) Food scraps must be placed in a garbage receptacle and not in demolition and construction waste bins.

*Reason: to protect wildlife from injury by preventing foraging in building waste, and to ensure putrescible waste is disposed of appropriately.*

#### **DURING BUILDING WORK**

Condition
-----------

##### **12. Hours of Work**

- a) All work on site (including demolition, construction, earth works and removal of vegetation), must only occur between 7am and 5pm Monday to Saturday.
- b) No work is to be undertaken on Sundays or public holidays.

*Reason: To protect the amenity of neighbouring properties.*

##### **13. Environmental Management (Air Pollution)**

The Applicant must take all reasonable steps to minimise dust generated during all works authorised by this consent. During construction, the Applicant must ensure that:

- a) Exposed surfaces and stockpiles are suppressed by regular watering.
- b) All trucks entering or leaving the site with loads have their loads covered.
- c) Trucks associated with the development do not track dirt onto the public road network.
- d) Public roads used by these trucks are kept clean; and
- e) Land stabilisation works are carried out progressively on site to minimise exposed surfaces.

*Reason: To minimise impacts to the natural environment and public health.*

##### **14. Council Property**

To ensure that the public reserve is kept in a clean, tidy, and safe condition during demolition and construction works, no building materials, waste, machinery, or related matter is to be stored on the road or footpath.

*Note: This consent does not give right of access to the site via Council's park or reserve. Should such access be required, separate written approval is to be obtained from Council.*

*Reason: To protect public land.*

##### **15. Soil Management (Excavation and Fill)**

While site work is being carried out, the Principal Certifier or Council (where a principal certifier is not required) must be satisfied all soil removed from or imported to the site is managed in accordance with the following requirements:

- a) All excavated material removed from the site must be classified in accordance with the EPA's Waste Classification Guidelines before it is disposed of at an approved waste management facility and the classification, and the volume of material removed must be reported to the Principal Certifier or Council (where a principal certifier is not required).

- b) Tipping dockets for the total volume of excavated material that are received from the licensed waste management facility must be provided to the Principal Certifier prior to the issue of an Occupation Certificate.
- c) Prior to fill material being imported to the site, a Waste Classification Certificate shall be obtained from a suitably qualified environmental consultant confirming all fill material imported to the site must be:
  - i) Virgin Excavated Natural Material as defined in Schedule 1 of the Protection of the Environment Operations Act 1997, or
  - ii) A material identified as being subject to a resource recovery exemption by the NSW EPA, or
  - iii) A combination of Virgin Excavated Natural Material as defined in Schedule 1 of the Protection of the Environment Operations Act 1997 and a material identified as being subject to a resource recovery exemption by the NSW EPA.
- d) The required Waste Classification Certificate must be provided to the Principal Contractor prior to fill being imported to the site and made available to Council at its request.

*Reason: To ensure soil removed from the site is appropriately disposed of and soil imported to the site is not contaminated and is safe for future occupants.*

#### **16. Disturbance of Existing Site**

During construction works, the existing ground levels of open space areas and natural landscape features, including natural rock-outcrops, vegetation, soil, and watercourses must not be altered unless otherwise nominated on the approved plans.

*Reason: To protect the natural features of the site.*

#### **17. Building Materials and Site Waste**

The stockpiling of building materials, the parking of vehicles or plant, the disposal of cement slurry, wastewater or other contaminants must be located outside the tree protection zones as prescribed in the conditions of this consent of any tree to be retained.

*Reason: To protect trees during construction.*

#### **18. Soil and Water Management (Stockpiles)**

- a) Stockpiles of topsoil, sand, aggregate, soil or other material shall be protected with adequate sediment controls and must not be located on any drainage line or easement, natural watercourse, footpath or roadway.
- b) The storage of stockpiled topsoil, sand, aggregate, soil or other materials must not result in the discharge of sediment or run-off onto the adjoining properties or public land.

*Reason: To minimise impacts on the water quality of the downstream environment.*

#### **19. Unexpected Finds**

Should the presence of asbestos or soil contamination, not recognised during the application process be identified during any stage of works, the applicant must immediately notify the Principal Certifier and Council ([compliance@hornsby.nsw.gov.au](mailto:compliance@hornsby.nsw.gov.au)).

*Reason: To ensure the appropriate removal and disposal of contaminated materials.*

**20. Erosion and Sediment Control**

- a) Works are not to result in the discharge of sediment and or run-off onto the adjoining properties or public land.
- b) The person having the benefit of this consent must ensure that sediment and other materials are not tracked onto the roadway by vehicles leaving the site.

*Note: On the spot penalties may be issued for any non-compliance with this requirement without any further notification or warning.*

*Reason: To minimise impacts on neighbouring properties and public land.*

**21. Storage and Removal of Waste**

- a) All demolition and/or construction waste must be stored in a waste receptacle and be removed from the site at frequent intervals. Materials are to be wholly contained within the waste receptacle and not overflowing.
- b) All garbage and recyclable materials generated during work must be stored in a waste receptacle and be removed from the site at frequent intervals. Materials are to be wholly contained within the waste receptacle and not overflowing.

*Reason: To ensure the site is maintained to an appropriate standard cleanliness and prevent any nuisance or danger to health, safety or the environment.*

**BEFORE ISSUE OF AN OCCUPATION CERTIFICATE**

Condition
-----------

**22. Damage to Council Assets**

To protect public property and infrastructure, any damage caused to Council's assets as a result of the construction or demolition of the development must be rectified by the applicant in accordance with AUS-SPEC Specifications ([www.hornsby.nsw.gov.au/property/build/aus-spec-terms-and-conditions](http://www.hornsby.nsw.gov.au/property/build/aus-spec-terms-and-conditions)). Rectification works must be undertaken prior to the issue of an Occupation Certificate, or sooner, as directed by Council.

*Reason: To ensure public infrastructure and property is maintained.*

**23. Fire Safety Statement – Final**

In accordance with the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021, upon completion of the building, the owner must provide Council with a certificate in relation to each fire safety measure implemented in the building.

*Reason: To ensure all fire safety measures are implemented to protect life and property.*

**24. Preservation of Survey Marks**

A certificate by a Registered Surveyor must be submitted to the Principal Certifying Authority, certifying that there has been no removal, damage, destruction, displacement or defacing of the existing survey marks in the vicinity of the proposed development or otherwise the re-establishment of damaged, removed, or displaced survey marks has been undertaken in accordance with the Surveyor General's Direction No.11 Preservation of Survey Infrastructure.

*Reason: To protect the State's survey infrastructure.*

**OCCUPATION AND ONGOING USE****Condition****25. Fire Safety Statement - Annual**

On at least one occasion in every 12 month period following the date of the first 'Fire Safety Certificate' issued for the property, the owner must provide Council with an annual 'Fire Safety Certificate' to each essential service installed in the building.

*Reason: To ensure fire safety measures are maintained to protect life and property.*

**26. Use of Premises**

The development approved under this consent shall be used for an emergency services facility and not for any other purpose without Council's separate written consent.

*Reason: To ensure the use is undertaken with the terms of this consent.*

**27. Storage of Flammable and Combustible Goods**

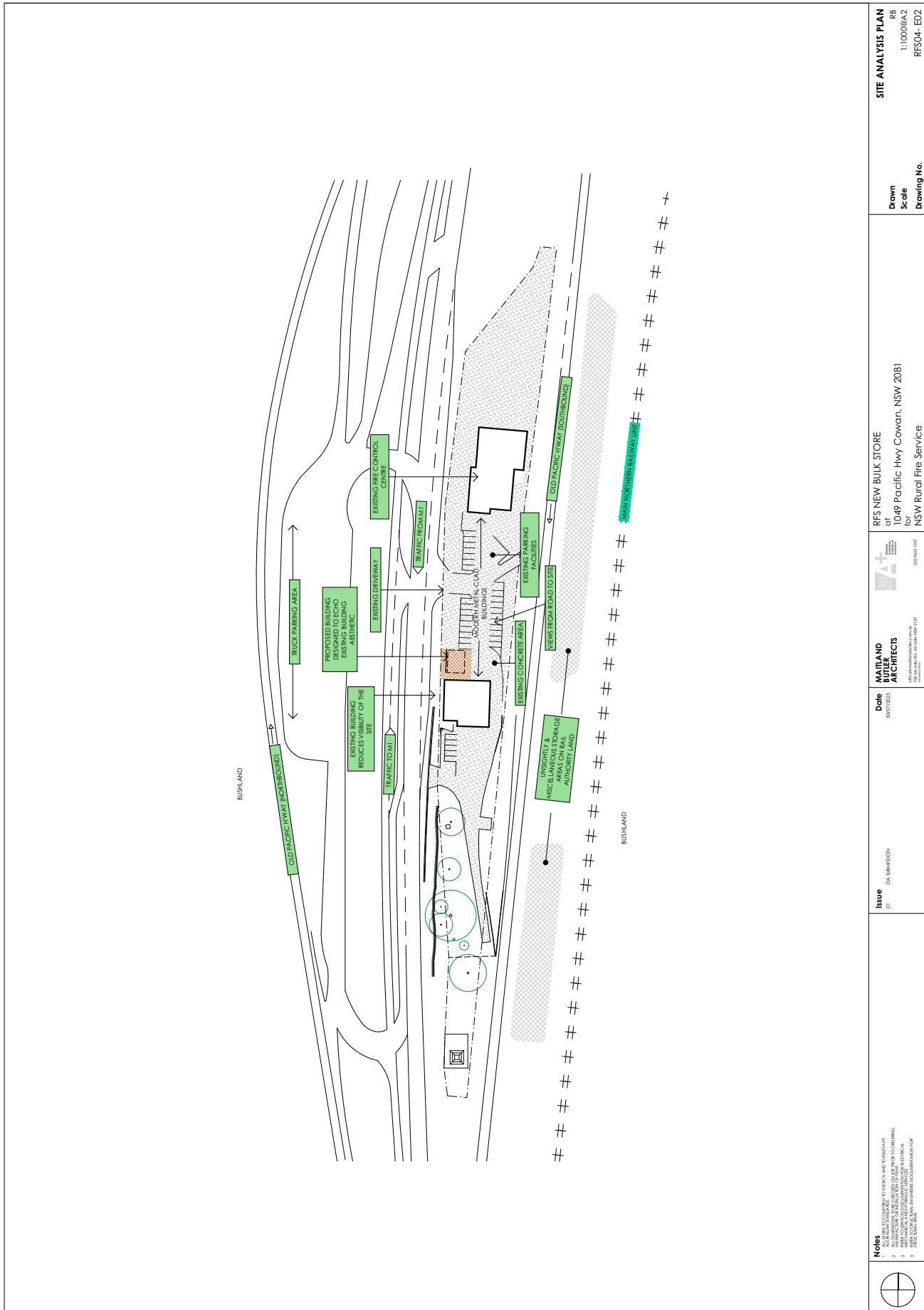
Flammable and combustible liquids must be stored in accordance with *Australian Standard AS1940 – The Storage and Handling of Flammable and Combustible Liquids*. A bund wall must be constructed around all work and liquid storage areas to prevent any spillage entering into the stormwater system. The bunded area must provide a volume equal to 110% of the largest container stored and graded to a blind sump so as to facilitate emptying and cleansing.

*Reason: To prevent harmful chemicals from entering waterways.*

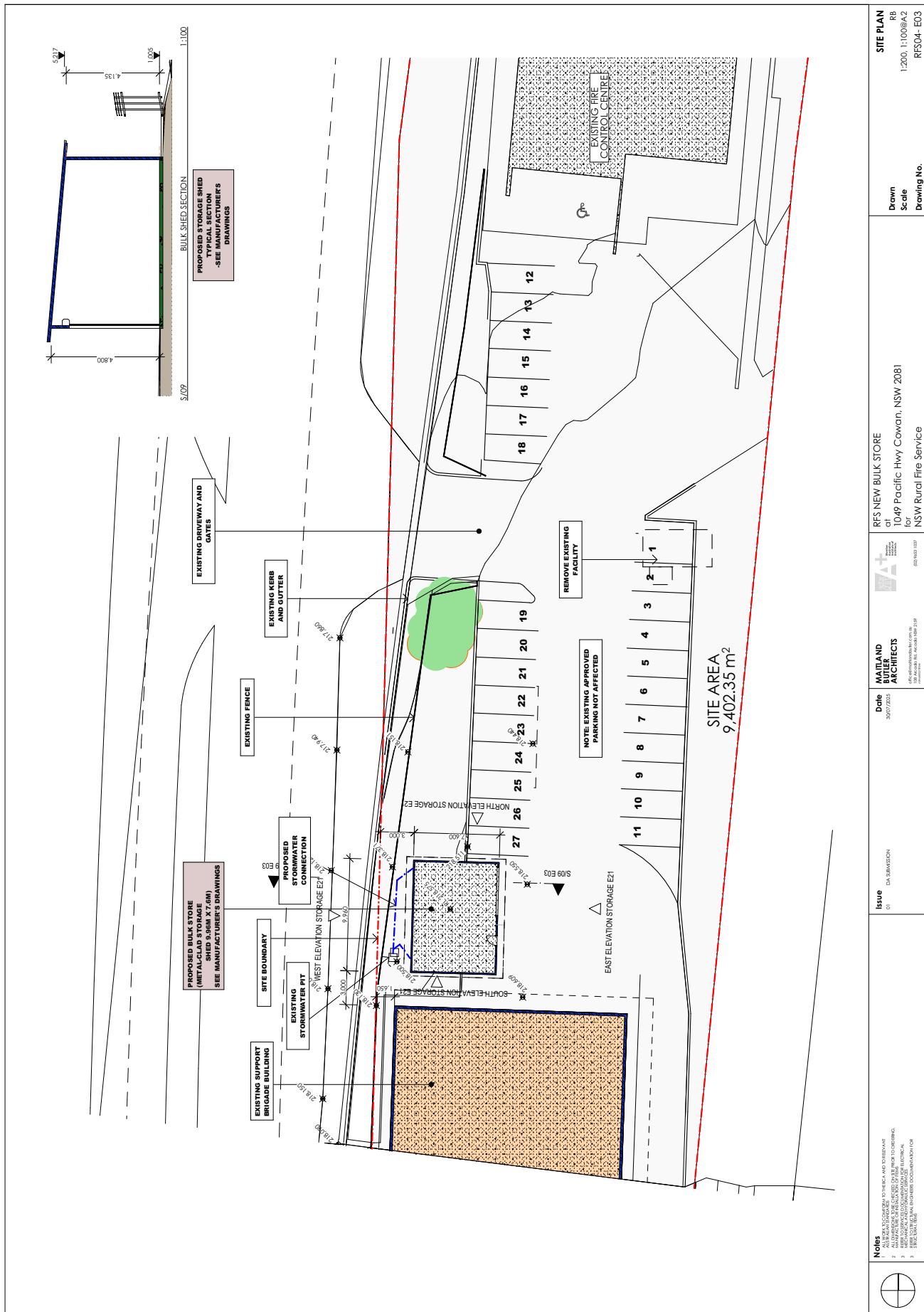
**- END OF CONDITIONS -**

## ATTACHMENT 3 - ITEM 3

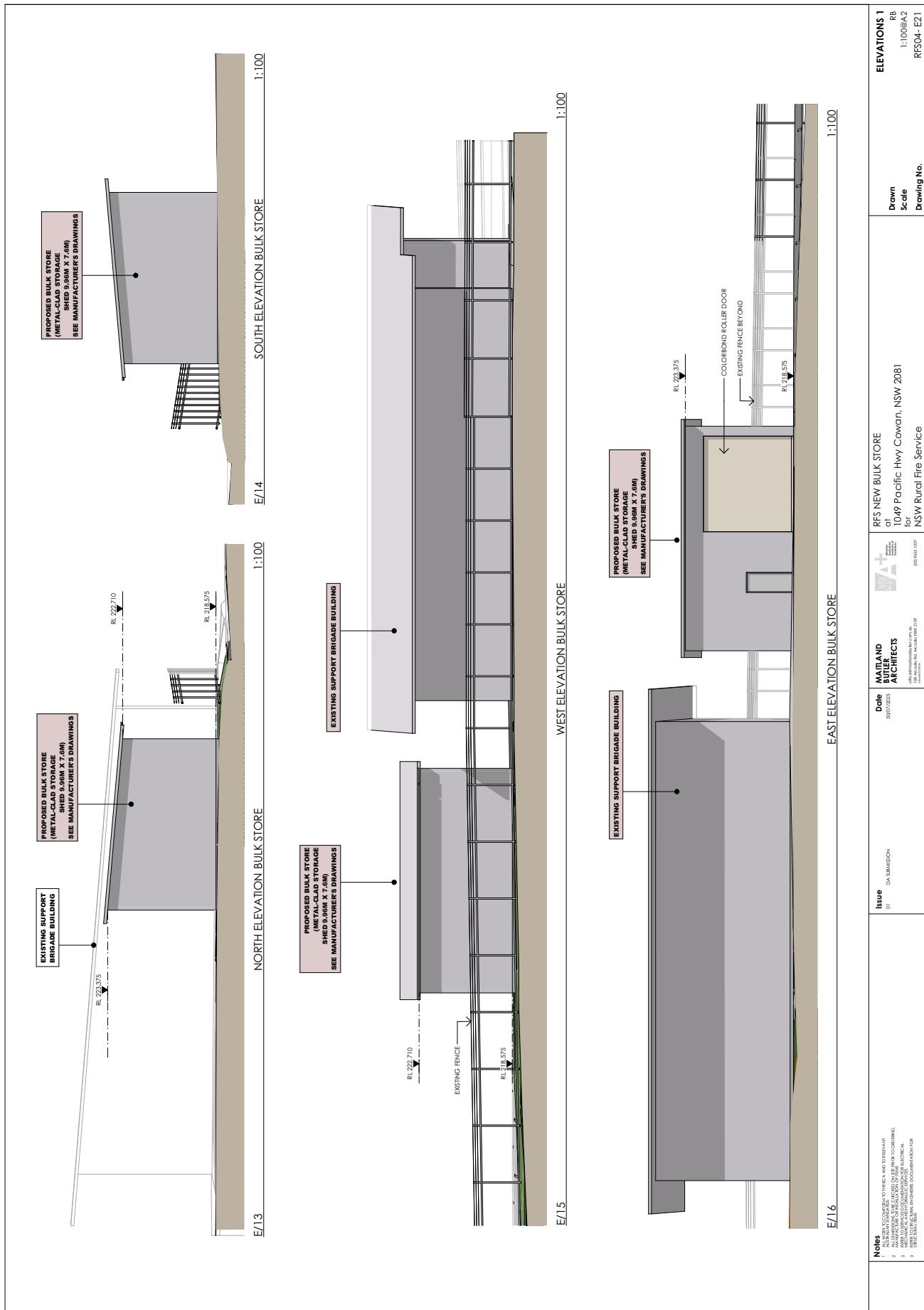




# ATTACHMENT 3 - ITEM 3



# ATTACHMENT 3 - ITEM 3



# ATTACHMENT 3 - ITEM 3



<b>RANBUILD</b> Copyright 2025 Lysaght Building Solutions Pty Ltd trading as RANBUILD		<b>CLADDING</b> <table border="1"> <thead> <tr> <th>ITEM</th> <th>PROFILE (min)</th> <th>FINISH</th> <th>COLOUR</th> </tr> </thead> <tbody> <tr> <td>ROOF</td> <td>CUSTOM ORG 0.42 BMT</td> <td>CB</td> <td>BY</td> </tr> <tr> <td>WALLS</td> <td>CUSTOM ORG 0.42 BMT</td> <td>CB</td> <td>WY</td> </tr> <tr> <td>CORNERS</td> <td>-</td> <td>CB</td> <td>WY</td> </tr> <tr> <td>BARGE</td> <td>-</td> <td>CB</td> <td>BY</td> </tr> <tr> <td>GUTTER</td> <td>HI-QUAD</td> <td>CB</td> <td>BY</td> </tr> <tr> <td>DOWNPipe</td> <td>100x75</td> <td>CB</td> <td>WY</td> </tr> </tbody> </table>				ITEM	PROFILE (min)	FINISH	COLOUR	ROOF	CUSTOM ORG 0.42 BMT	CB	BY	WALLS	CUSTOM ORG 0.42 BMT	CB	WY	CORNERS	-	CB	WY	BARGE	-	CB	BY	GUTTER	HI-QUAD	CB	BY	DOWNPipe	100x75	CB	WY
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<b>ACCESSORY SCHEDULE &amp; LEGEND</b> <table border="1"> <thead> <tr> <th>QTY</th> <th>MARK</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>RD1</td> <td>B.D. Firmador, R.D. Indust, 'R2P™' Willock - 3225 high x 4270 wide Clr. Open C/B C/Bond</td> </tr> <tr> <td>1</td> <td></td> <td>B200-39 Lamec Door &amp; Frame Kit, 20047W, Std. 2040 x 920 C/Bond</td> </tr> <tr> <td>2</td> <td>RV1</td> <td>Rotary vent, 300 DIA Throat</td> </tr> </tbody> </table>						QTY	MARK	DESCRIPTION	1	RD1	B.D. Firmador, R.D. Indust, 'R2P™' Willock - 3225 high x 4270 wide Clr. Open C/B C/Bond	1		B200-39 Lamec Door & Frame Kit, 20047W, Std. 2040 x 920 C/Bond	2	RV1	Rotary vent, 300 DIA Throat																
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ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE																																	
<b>CLIENT</b> <b>Steve Marsh</b>		<b>SITE</b> <b>1049 Pacific Hwy</b> <b>COWAN NSW 2081</b>																															
<b>BUILDING</b> <b>BIG G SKILLION</b> <b>7600 SPAN x 4135/4800 EAVE x 9960 LONG</b>		<b>TITLE</b> <b>FLOOR PLAN &amp; ELEVATION</b>																															
SCALE AS SHEET 1:250	DRAWING NUMBER <b>DURA-3-9403</b>	REV <b>A</b>	PAGE <b>1/1</b>																														

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nsw, nsw 2081

BULK STORE  
Pacific Hwy Cowra  
Local Fire Service

RFS NEW  
at 1049 Pac  
for NSW Rur

**MAITLAND  
UTLER  
ARCHITECTS**  
100 Pitt Street, Sydney NSW 2000  
T 02 8520 0000 F 02 8520 0001

**Date**  
30/07/2025

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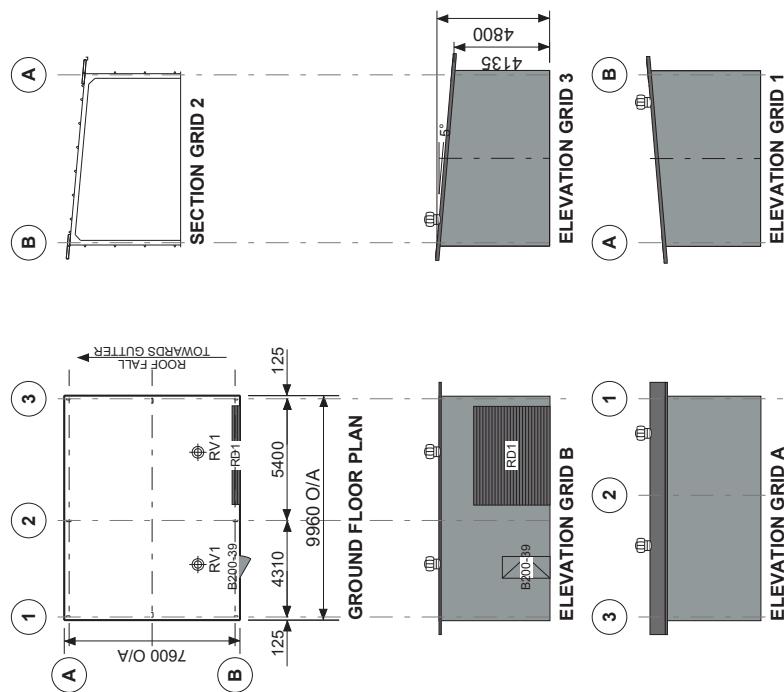
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CODES ON SITE, PRIOR TO COMMENCE-  
MENT OF WORK ON ELECTRICAL  
SERVICES. DOCUMENTATION FOR

**Notes**  
ALL WORK TO CONFORM TO  
AUSTRALIAN STANDARDS  
ALL DIMENSIONS TO BE CHECKED  
MANUFACTURE OR IN AUSTRALIA  
REFER TO SERVICES DOCUMENTATION  
MECHANICAL AND HYDRAULIC  
REFER TO STRUCTURAL ENGINEERS  
STRUCTURAL BUILDERS

2 -



Marsh Steve Quote 9403 slab included

1055

Item	Description	Colour	Qty	Unit
Roof sheets	0.47tct Corrugated Profile, C/B (coloured screws)	Basalt	15	
Wall sheets	Vertical, 0.47tct Corrugated Profile, C/B (coloured screws)	Windspray	46	
Partitions	None			
Gable infill	None			
Barge flashing	Barge Suit Custom Orb BG SK with/ OH C/B	Basalt	4	
Gutters	Gutter, high front slotted quad, C/B	Basalt	2	
Down pipes	Downpipe, 100x75 C/B	Windspray	2	
Vents	Rotary Rod 300dia, C/B	Basalt	2	
Insulation	Aircell, Glareshield (Anti Glare) 1350mm x 22.25m Roll (roof and walls)		10	
Base Type	Cast in strap			
Overhang	600mm eave overhang on sides A & B			
Overhang	600mm overhang on both ends			
Roller door	B&D, Firmadoor, R/D, Indust, "R2f", W/Lock , 3225 high x 4270	Basalt	1	
Access door	Lamneec Door & Frame Kit, 200/47W, Std. 2040 x 920 C/Bond	Windspray	1	
Concrete	Provided by Dural Sheds			
Construction	Provided by Dural Sheds			
Delivery	Road transport. Concrete slab price is on a flat laser levelled site to engineers specs by owner. Price excludes hard digging (rock), support piers if needed & concrete pump/extra freight. EXCLUDED: Site security (kit insurance), Rubbish and spoil remain on site.			
The following items are options to the quoted price; If required, please notify us at time of order to avoid additional ordering charges.				
Qty	Description	Colour	Length	Unit
	1 Metal Vermassal to base of shed	Included		
	1 Slab 120mm thick, F52 mesh 32 MPa	Included		
35	Lined Eaves NOT Included	Not Included		
	1 Two toned cladding	Included		
	1 Horizontal Cladding	Included		

Notes	Issue	Date	MAITLAND BUTLER ARCHITECTS	RFS NEW BULK STORE at 1049 Pacific Hwy Cowan, NSW 2081 for NSW Rural Fire Service	RANBUILD SPECIFICATIONS
1. Refer to DA Submissions 2. Refer to Services Documentation for Electrical 3. Refer to Structural Guidelines for STRUCTURAL TEAMS	01	30/07/2025	 Maitland Butler Architects of East Maitland, NSW 2323 108 Escarpment Road, Arrowtown NSW 2323 02 9453 1007 <a href="http://www.mbutler.com.au">www.mbutler.com.au</a>		RB 1:1,08 RFS04- E34