



# Supplementary Attachments

**Local Planning Panel meeting**

**Thursday 26 February 2026  
at 4:00 PM**



## TABLE OF CONTENTS

### SUPPLEMENTARY REPORTS

<b>3</b>	<b>LPP5/26</b>	<b>DA/1202/2025 - Alterations and additions to Beecroft Community Centre - 111 Beecroft Road, Beecroft</b>	
	<b>Attachment 1:</b>	Consultant Report .....	2
	<b>Attachment 2:</b>	Draft Conditions of Consent.....	13
	<b>Attachment 3:</b>	Architectural Plans .....	17
	<b>Attachment 4:</b>	Heritage Impact Statement .....	19
<b>4</b>	<b>LPP6/26</b>	<b>DA/1140/2025 - Alterations and additions to a dwelling - 27 Belinda Crescent, North Epping</b>	
	<b>Attachment 1:</b>	Clause 4.6 Request .....	40
	<b>Attachment 2:</b>	Architectural Plans .....	48
<b>5</b>	<b>LPP8/26</b>	<b>DA/1300/2025 - Alterations and additions to a dwelling - 23 North Street, Mount Colah</b>	
	<b>Attachment 1:</b>	Clause 4.6 Request .....	75
	<b>Attachment 2:</b>	Architectural Plans .....	83

**ATTACHMENT/S**

**REPORT NO. LPP5/26**

**ITEM 3**

- 1. CONSULTANT REPORT**
- 2. DRAFT CONDITIONS OF CONSENT**
- 3. ARCHITECTURAL PLANS**
- 4. HERITAGE IMPACT STATEMENT**

Consultant Assessment Report  
Prepared by: Donna Clarke - Landmark Planning Pty Ltd

---

<b>DA No:</b>	DA/1202/2025 (Lodged on 31 October 2025)
<b>Description:</b>	Alterations & Additions to Beecroft Community Centre
<b>Property:</b>	Lot 1 DP 121947, Beecroft Community Centre, 111 Beecroft Road, Beecroft
<b>Applicant:</b>	Hornsby Shire Council
<b>Owner:</b>	Hornsby Shire Council
<b>Estimated Cost:</b>	\$55,000
<b>Ward:</b>	C
<b>Clause 4.6 Request:</b>	N/A
<b>Submissions:</b>	Nil
<b>LPP Criteria:</b>	Council owned land
<b>Author:</b>	Donna Clarke - Landmark Planning Pty Ltd
<b>COI Declaration:</b>	No Council staff involved in the assessment of this application have declared a Conflict of Interest.

**RECOMMENDATION**

THAT Development Application No. DA/1202/2025 for alterations and additions to the Beecroft Community Centre at Lot 1 DP 121947, 111 Beecroft Road, Beecroft be approved subject to the conditions of consent detailed in Attachment 2 of LPP Report No. LPP5/2026.

Consultant Assessment Report

Prepared by: Donna Clarke - Landmark Planning Pty Ltd

---

**EXECUTIVE SUMMARY**

- The application involves alterations and additions to Beecroft Community Centre comprising replacement of existing doors to ensure accessible widths are provided.
- The development involves land owned by Hornsby Shire Council. In accordance with Council's adopted Policy '*Conflict of Interest Policy for Proposed Council Development and Applications Involving Council Staff or Councillors*' an independent assessment of the development application has been undertaken by Donna Clarke of Landmark Planning Pty Ltd.
- The proposal complies with Hornsby Local Environmental Plan 2013.
- Nil submissions have been received in respect of the application.
- The application is required to be determined by the Hornsby Council Local Planning Panel as Council is the landowner.
- It is recommended that the application be approved.

**SITE**

The site is located on the eastern side of Beecroft Road, within a number of lots which comprise public land being community uses including open space, pathways, tennis court and parking.

The community centre building on the site is located on Lot 1 DP 121947. Other components of the community centre including parking are located on other sites, however, the works are contained to the building and Lot 1 DP 121947.

To the east of the site are railway lines, with a pedestrian overpass across Beecroft Road provided in proximity to the south-west of the community centre. The overpass provides pedestrian access to Beecroft Public School located opposite the site to the west.

To the north of the site is an intersection with traffic lights, Fire and Rescue Station and beyond is a shopping complex known as Beecroft Village Plaza and access to Beecroft Railway Station. To the north-west is a residential area with a variety of housing forms.

A footpath, overhead electricity lines, fencing and landscaping are in existence along Beecroft Road to the west and continuing along Copeland Road to the north.

The site is located within the Beecroft - Cheltenham Heritage Conservation Area and is identified as a heritage listed item of local significance.

A small portion of the south-eastern corner of the site, away from the existing building, is mapped as having Biodiversity Values.

**PROPOSAL**

A Development Application has been received for alterations and additions to the Beecroft Community Centre which specifically includes modification and replacement of four sets of original double doors in the following locations:

- Main entry door - facing Beecroft Road, being the primary public access point to the building.

Consultant Assessment Report

Prepared by: Donna Clarke - Landmark Planning Pty Ltd

- Vestibule door - internal doors between the main entry doors/entrance vestibule and main hall, with the highlight glass above to be retained.
- Kitchen foyer door - western side of the main hall, which accesses the kitchen foyer and kitchen.
- East Wing/Balcony Room Door - one set of double leaf internal doors on the southeastern side of the hall, with the highlight glass above to be retained.

The new doors will be asymmetrical style doors constructed using matching mouldings.

The large leaf of each set of doors will meet the accessibility width of 850mm.

Brass coloured hardware will be used for the new doors.

The purpose of the works is to improve the accessibility of the centre in response to an accessibility audit undertaken which identified accessibility barriers associated with the existing doors.

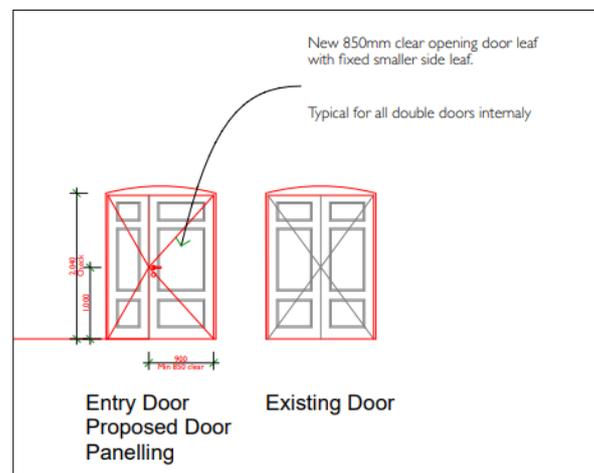


Figure 1 - Extract from Plans detailing Existing and Proposed Doors

Wrapping and secure storage of the original doors is proposed to allow for future reinstatement.

## ASSESSMENT

The development application has been assessed having regard to the Greater Sydney Region Plan - A Metropolis of Three Cities, the North District Plan and the matters for consideration prescribed under Section 4.15 of the *Environmental Planning and Assessment Act 1979* (the Act). The following issues have been identified for further consideration.

### 1. STRATEGIC CONTEXT

#### 1.1 Greater Sydney Region Plan - A Metropolis of Three Cities and North District Plan

The Greater Sydney Region Plan - A Metropolis of Three Cities has been prepared by the NSW State Government to guide land use planning decisions over the next 40 years (to 2056). The Plan sets a strategy and actions for accommodating Sydney's future population growth and identifies dwelling

Consultant Assessment Report

Prepared by: Donna Clarke - Landmark Planning Pty Ltd

targets to ensure supply meets demand. The Plan also identifies that the most suitable areas for new housing are in locations close to jobs, public transport, community facilities and services.

The NSW Government will use the subregional planning process to define objectives and set goals for job creation, housing supply and choice in each subregion. Hornsby Shire has been grouped with Hunters Hill, Ku-ring-gai, Lane Cove, Mosman, North Sydney, Ryde, Northern Beaches and Willoughby to form the North District. The Greater Sydney Commission has released the North District Plan which includes priorities and actions for Northern District over the next 20 years.

The proposed alterations and additions to Beecroft Community Centre replace doors only with no expansion proposed and would remain consistent with the objectives of the strategy.

## 2. STATUTORY CONTROLS

Section 4.15(1)(a) requires Council to consider “*any relevant environmental planning instruments, draft environmental planning instruments, development control plans, planning agreements and regulations*”.

### 2.1 Hornsby Local Environmental Plan 2013

The proposed development has been assessed having regard to the provisions of the Hornsby Local Environmental Plan 2013 (HLEP).

#### 2.1.1 Zoning of Land and Permissibility

The subject land is zoned RE1 Public Recreation under the HLEP. The objectives of the RE1 Public Recreation are:

- *To enable land to be used for public open space or recreational purposes.*
- *To provide a range of recreational settings and activities and compatible land uses.*
- *To protect and enhance the natural environment for recreational purposes.*
- *To protect and maintain areas of bushland that have ecological value.*

The proposed development is defined as Alterations & Additions to a *community facility* and is permissible in the RE1 Public Recreation zone with Council’s consent.

#### 2.1.2 Heritage Conservation

Clause 5.10 of the HLEP sets out heritage conservation provisions for Hornsby Shire. The site is located within the Beecroft - Cheltenham Heritage Conservation Area and is identified as a heritage listed item of local significance.

Clause 5.10 of the HLEP requires the consent authority to have regard to the heritage significance of a heritage item or conservation area and aims to:

- “(a) *to conserve the environmental heritage of Hornsby,*
- “(b) *to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*

Consultant Assessment Report

Prepared by: Donna Clarke - Landmark Planning Pty Ltd

(c) to conserve archaeological sites,

(d) to conserve Aboriginal objects and Aboriginal places of heritage significance.”

The application was accompanied by a Statement of Heritage Impact and Heritage Assessment.

The proposal was reviewed by Council's Heritage Team who indicated that no concerns are raised to the proposal on heritage grounds and recommended conditions of consent to ensure implementation of the recommendations detailed within the supporting SOHI and ACHAR.

#### **Heritage Listings**

The subject property, No.111 Beecroft Road, Beecroft is heritage listed local item No.53 (Beecroft Community Centre) and is located in the Beecroft Cheltenham Plateau precinct of the Beecroft Cheltenham Heritage Conservation Area (HCA) listed under schedule 5 of the Hornsby Local Environmental Plan 2013 (HLEP).

The heritage inventory sheet summarises the significance of the locally significant built item as “*Attractive Federation period building on prominent corner site. Original classical style detail in good condition. High integrity. Social significance for its use as a community centre and formerly as a school of arts.*”

The original building (former school of arts) was built circa 1904 with its main entrance orientated to the corner of Beecroft Road and Wongala Crescent. The building was extended circa 1910 to the south, which contains the current main hall. Later extensions and alterations over time have occurred including the enclosure of the eastern balcony, western Billard hall altered, additions to the northeast and lower levels of the hall. The use of the building for community purposes appears to be continuous.

#### **Heritage in the Vicinity**

The subject property is in the vicinity of heritage items:

- Item No.142 (Beecroft railway station and garden) Wongla Crescent and Great Northern Railway, Beecroft
- Item No.54 (Beecroft Village Green) No.111X Beecroft Road, Beecroft
- Item No.47 ('Waveney') No.84 Beecroft Road, Beecroft
- Item No.48 (House) No.86 Beecroft Road, Beecroft
- Item No.49 (Beecroft Public School, excluding grounds) No.90-96 Beecroft Road, Beecroft

#### **Site Context**

The Beecroft Cheltenham HCA is characterised by development dating from the Federation, Edwardian, and Interwar periods, with infill development from later periods also present.

The Beecroft community centre positively contributes to the significance of the Beecroft Cheltenham Plateau precinct and HCA. The Federation style building is located on a prominent corner on the southern edge of the Beecroft village town centre, adjacent the Beecroft Village Green with remnant native trees (to the south) and busy Beecroft Road to the west.

Consultant Assessment Report

Prepared by: Donna Clarke - Landmark Planning Pty Ltd

**Development Background**

Recent applications for the subject property include:

- HAR/17/2025 - On 19 August 2025 written heritage advice confirmed that proposed internal minor works (to non-significant areas to improve accessibility) may proceed pursuant to Clause 5.10(3) of the HLEP.
- HAR/28/2025 - On 4 September 2025 written heritage advice confirmed that proposed internal minor works (to previously enclosed east wing balcony) may proceed pursuant to Clause 5.10(3) of the HLEP.

**Heritage Documentation**

Documentation submitted with the application includes:

- Beecroft Community Centre Heritage Assessment: The *Beecroft Community Centre Heritage Assessment* prepared by John Oultram Heritage and Design dated January 2025 (D09250136) provides a comprehensive history and assessment of significance under the NSW heritage guidelines for state and local significance. The assessment provides a detailed summary statement of significance that confirms the sites local aesthetic and social significance and recommends continued conservation of the place.
- Statement of Heritage Impact (SoHI): The SOHI (D09250134) details the proposed door works and measures to minimise impact on the significance of the item. Alternatives to the proposed door works are also detailed in the SOHI. These provide reasonable investigation into alternatives to minimise impact on the significance of the item, with the submitted door works being the applicants preferred option to conserve heritage values and meet accessibility requirements.

**Assessment**

Council's Heritage Planner undertook an assessment of the proposed works and review of the documentation submitted with the application against the heritage provisions of the HLEP and raised no objection. For completeness of the heritage assessment, review against the heritage provisions of *Hornsby Development Control Plan 2024 (HDCP)* is included below.

HDCP Provision	Proposed	Heritage Comment
9.4 Heritage Items 9.4.1 Tolerance for change 9.4.8 Interior Layout and Fabric 9.4.11 External Colours, Materials, and Finishes	Removal and replacement of 4 double leaf door sets.	<b>No heritage concerns</b>  The proposed works are retaining the original 1904 sections of the building and are confined to the 1910 (main hall) additions.  The proposed removal of four of the existing Federation style timber double door sets would have some impact on the early fabric of the circa 1910 hall. This impact is considered to be minimised through:

6

Consultant Assessment Report  
Prepared by: Donna Clarke - Landmark Planning Pty Ltd

		<ul style="list-style-type: none"> <li>- Limiting the door replacement to areas of the hall necessary for accessibility. This allows for retention of other double door sets in the main hall, minimising impact on the early fabric of the centre. The sympathetic two leaf timber design and matching detailing (including 3 panel moulding) respects the Federation architectural style and aesthetic significance of the item.</li> <li>- Storage of the removed double timber door sets allows for reversibility of the works.</li> <li>- Retention of early door fabric from both the 1904 and 1910 periods. This enables tangible interpretation of the Federation style door sets in the centre, including the main hall.</li> <li>- Retention of the existing double door openings. That is, no increased door widths or removal of walls required.</li> <li>- The architectural style of the Federation Arts and Crafts building and hall layout remains.</li> </ul> <p>In these circumstances, the proposed works would not unreasonably or adversely impact the overall integrity, aesthetic, and social significance of the centre as a whole.</p> <p>To assist with interpretation of the place, a photographic record of the doors prior to removal is recommended and the new doors should be painted to match the existing door colour.</p>
HDCP Provision	Proposed	Heritage Comment
9.6 - HCA 9.7.2 Beecroft/ Cheltenham Plateau precinct	Removal and replacement of 4 double leaf doors sets	<p><b>No heritage concerns</b></p> <p>The proposed internal works would have no impact on the streetscape character of the area.</p> <p>The new external timber double leaf door to the main entry on Beecroft Road would be a sympathetic design, material, and appearance to the existing with no adverse impacts on the streetscape character, or significance of the precinct or HCA.</p>

Consultant Assessment Report

Prepared by: Donna Clarke - Landmark Planning Pty Ltd

HDCP Provision	Proposed	Heritage Comment
9.13.1 Heritage items in the vicinity	Removal and replacement of 4 double leaf doors sets	<b>No heritage concerns</b> The works would have no impacts on the significance or setting of the heritage items in the vicinity of the subject property.

**Summary**

The impact of the works on the aesthetic significance of the Beecroft Community Centre as a whole is minimised, particularly through sympathetic new timber double door design reflecting the Federation style of the hall, and the reversibility of the works. There would also be a positive impact on social significance, through improved access for the community. In heritage terms, the overall significance of the place would remain, including understanding the original Federation style and appropriate conditions of consent are recommended regarding photographic recording of the existing doors and their storage, as well as ensuring the colour scheme of the new doors matches the colour of the existing timber double doors of the centre.

Accordingly, Clause 5.10 of the HLEP has been satisfied.

## 2.2 Section 3.42 Environmental Planning and Assessment Act 1979 - Purpose and Status of Development Control Plans

Section 3.42 of the *Environmental Planning and Assessment Act 1979* states that a DCP provision will have no effect if it prevents or unreasonably restricts development that is otherwise permitted and complies with the development standards in relevant Local Environmental Plans and State Environmental Planning Policies.

The principal purpose of a development control plan is to provide guidance on the aims of any environmental planning instrument that applies to the development; facilitate development that is permissible under any such instrument; and achieve the objectives of land zones. The provisions contained in a DCP are not statutory requirements and are for guidance purposes only. Consent authorities have flexibility to consider innovative solutions when assessing development proposals, to assist achieve good planning outcomes.

## 2.3 Hornsby Development Control Plan 2024

The proposed development has been assessed having regard to the relevant desired outcomes and prescriptive requirements within the Hornsby Development Control Plan 2024 (HDCP), in particular Part 1 - General, Part 7 - Community and Part 9 - Heritage. Refer to Section 2.1.2 regarding heritage.

The proposed development for replacement of doors complies with the prescriptive measures within the HDCP.

Consultant Assessment Report

Prepared by: Donna Clarke - Landmark Planning Pty Ltd

### 3. ENVIRONMENTAL IMPACTS

Section 4.15(1)(b) of the Act requires Council to consider *"the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality"*.

#### 3.1 Natural Environment

##### 3.1.1 Tree and Vegetation Preservation

The proposed development for replacement of existing doors within the building does not necessitate the removal of trees from the site.

##### 3.1.2 Stormwater Management

No changes are proposed, or required, to the existing stormwater arrangements on the site as a result of the proposed replacement of doors within the building.

#### 3.2 Built Environment

##### 3.2.1 Built Form

The existing building would be visible from a number of public and private places within the locality given its location on Beecroft Road and close to the station. The design of the replacement doors, as detailed in Figure 1, has attempted to minimise the visual impact by proposing similar doors to existing, whilst meeting accessibility provisions. The changes to the built form are minimal and have been supported from a heritage perspective.

##### 3.2.2 Traffic

The proposal will not impact upon existing traffic generation or parking arrangements.

#### 3.3 Social Impacts

The existing Community Centre makes a positive social contribution to the local community, which will continue and be improved by provision of accessible doors in the building.

#### 3.4 Economic Impacts

The proposal would have a minor positive impact on the local economy during construction.

### 4. SITE SUITABILITY

Section 4.15(1)(c) of the Act requires Council to consider *"the suitability of the site for the development"*.

The subject site has not been identified as bushfire prone or flood prone land. The site remains capable of accommodating the existing Community Centre and the proposed development being replacement of doors. The scale of the proposed development is consistent with the capability of the site and is considered acceptable.

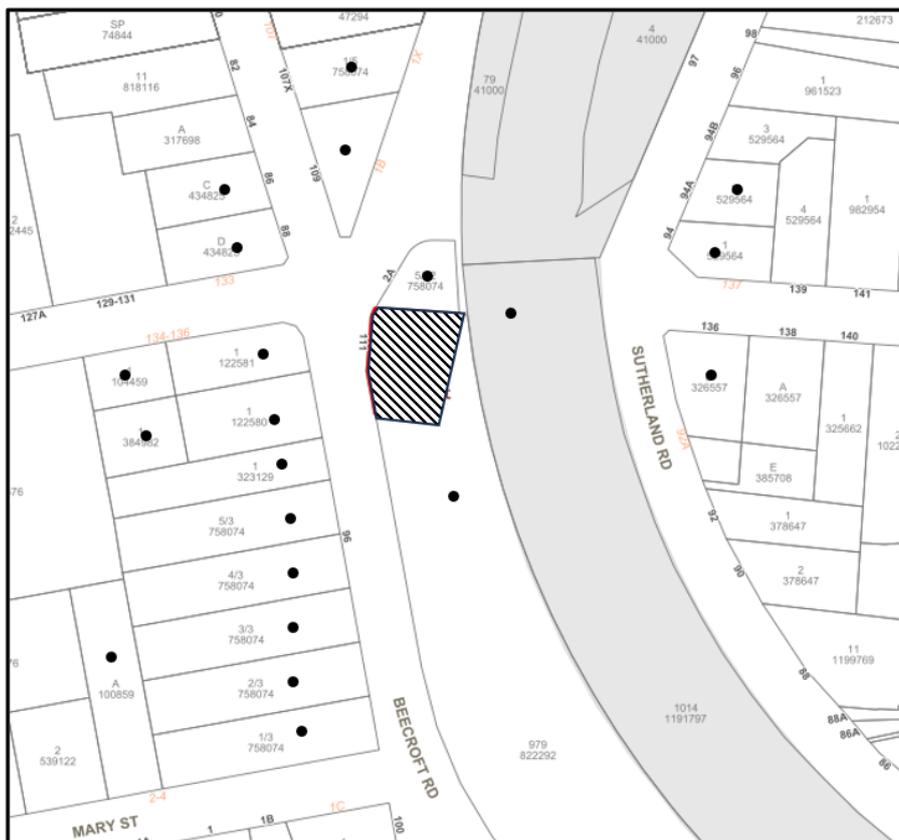
Consultant Assessment Report  
Prepared by: Donna Clarke - Landmark Planning Pty Ltd

**5. PUBLIC PARTICIPATION**

Section 4.15(1)(d) of the Act requires Council to consider “any submissions made in accordance with this Act”.

**5.1 Community Consultation**

The proposed development was placed on public exhibition and was notified to adjoining and nearby landowners 11 November 2025 and 15 December 2025 in accordance with the Hornsby Community Engagement Plan. During this period, Council received nil submissions. The map below illustrates the location of those nearby landowners who were notified that are in close proximity to the development site.



**NOTIFICATION PLAN**

• PROPERTIES NOTIFIED	X SUBMISSIONS RECEIVED	 PROPERTY SUBJECT OF DEVELOPMENT	
-----------------------------	------------------------------	---	---

Consultant Assessment Report

Prepared by: Donna Clarke - Landmark Planning Pty Ltd

---

## 5.2 Public Agencies

The development application was not referred to any Public Agencies for comment.

## 6. THE PUBLIC INTEREST

Section 4.15(1)(e) of the Act requires Council to consider “*the public interest*”.

The public interest is an overarching requirement, which includes the consideration of the matters discussed in this report. Implicit to the public interest is the achievement of future built outcomes adequately responding to and respecting the future desired outcomes expressed in environmental planning instruments and development control plans.

The application is considered to have satisfactorily addressed Council's and relevant agencies' criteria and would provide a development outcome that, on balance, would result in a positive impact for the community. Accordingly, it is considered that the approval of the proposed development would be in the public interest.

## CONCLUSION

The application proposes Alterations & Additions to the Beecroft Community Centre comprising replacement of existing doors to ensure accessible widths are provided.

The development generally meets the desired outcomes of Council's planning controls and is satisfactory having regard to the matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979*.

Having regard to the circumstances of the case, approval of the application is recommended.

The reasons for this decision are:

- The proposed development complies with the requirements of the relevant environmental planning instruments and the Hornsby Development Control Plan 2024.
- The proposed development does not create unreasonable environmental impacts to adjoining development with regard to visual bulk, solar access, amenity or privacy.

*Note: At the time of the completion of this planning report, no persons have made a Political Donations Disclosure Statement pursuant to Section 10.4 of the Environmental Planning and Assessment Act 1979 in respect of the subject planning application.*

# DRAFT CONDITIONS OF CONSENT

## GENERAL CONDITIONS

Condition
-----------

### 1. Approved Plans and Supporting Documentation

The development must be carried out in accordance with the plans and documentation listed below and endorsed with Council's stamp, except where amended by Council and/or other conditions of this consent:

#### Approved Plans

Plan No.	Plan Title	Drawn by	Dated	Council Reference
145-A01	Main Floor Plan - 1	Doug Melloh	28/2/2025	
145-A02	Main Floor Plan - 2	Doug Melloh	28/2/2025	

#### Supporting Documentation

Document Title	Prepared by	Dated	Council Reference
Statement of Environmental Effects	Ann Fallon, Community Projects Officer, HSC	30/10/2025	D09250144
Waste Management Plan	Ann Fallon, Community Projects Officer, HSC	30/10/2025	D09250147
Heritage Assessment	John Oultram Heritage & Design	Jan 2025	D09250136
Statement of Heritage Impact	Ann Fallon, Community Projects Officer, HSC	30/10/2025	D09250134
Access Audit Ref: LP_21304 AccessAudit Beecroft CommCent_211106	Lindsay Perry Access	8/11/2021	D09250116
Access Works - Beecroft Community Centre Ref: 145.24	Doug Melloh	18/03/2025	

*Reason: To ensure all parties are aware of the approved plans and supporting documentation that apply to the development.*

### 2. Construction Certificate

1. A Construction Certificate is required to be approved by Council or a Principal Certifier prior to the commencement of any construction works under this consent.
2. The Construction Certificate plans must be consistent with the Development Consent plans.

*Reason: To ensure that detailed construction certificate plans are consistent with the approved plans and supporting documentation.*

**3. Colour Scheme**

The colour scheme of the new doors is to match the colour of the existing timber double doors of the community centre.

*Reason: To maintain the appearance and aesthetic significance of the item.*

**BUILDING WORK  
BEFORE ISSUE OF A CONSTRUCTION CERTIFICATE**

Condition
-----------

**4. Building Code of Australia**

Detailed plans, specifications and supporting information is required to be submitted to the certifying authority detailing how the proposed building work achieves compliance with the National Construction Code - Building Code of Australia. All building work must be carried out in accordance with the requirements of the National Construction Code - Building Code of Australia.

*Reason: Prescribed condition - EP&A Regulation section 69(1).*

**5. Fire Safety Schedule**

A schedule of all proposed essential fire safety measures to be installed in the building (e.g. hydrants, hose reels, emergency warning systems etc.) shall be submitted with the construction certificate application. The schedule shall distinguish between existing and proposed fire safety measures.

*Reason: To ensure all fire safety measures are identified to protect life and property.*

**BEFORE BUILDING WORK COMMENCES**

Condition
-----------

**6. Site Sign**

1. A sign must be erected in a prominent position on any site on which any approved work involving excavation, erection or demolition of a building is being carried out detailing:
  - a. The name, address, and telephone number of the Principal Certifier.
  - b. the name of the principal contractor (if any) for any demolition or building work and a telephone number on which that person may be contacted outside working hours; and
  - c. Unauthorised entry to the work site is prohibited.
2. The sign must be maintained during excavation, demolition and building work is being carried out and must be removed when the work has been completed.

*Reason: Prescribed condition EP&A Regulation, section 70(2) and (3).*

**7. Photographic Recording**

Prior to removal of the four double door sets approved under this consent, photographs of the doors on both sides and in context of the internal and external hall spaces are to be taken and provided to Council electronically, which will be attached to the DA record in Councils records management system. As a guide, the photos should be taken generally in accordance with the Department of Climate Change, Energy, the Environment and Water Guidelines Preparing Archival recordings of heritage items (<https://www.environment.nsw.gov.au/publications>).

*Reason: To maintain a historic record of the changes to the place for interpretation.*

**DURING BUILDING WORK**

Condition
-----------

**8. Hours of Work**

1. All work on site (including remediation, demolition, construction, earth works and removal of vegetation), must only occur between 7am and 5pm Monday to Saturday.
2. No work is to be undertaken on Sundays or public holidays.

*Reason: To protect the amenity of neighbouring properties.*

**9. Council Property**

To ensure that the public reserve is kept in a clean, tidy, and safe condition during remediation, demolition, excavation and construction works:

1. No building materials, skip bins, concrete pumps, cranes, machinery, temporary traffic control, signs or vehicles associated with the development shall be stored or placed on Council's footpath, nature strip, roadway, park or reserve without the prior approval being issued by Council under section 138 of the *Roads Act 1993*.
2. All work, loading and unloading associated with the development are to occur entirely within the property boundaries, unless otherwise approved by Council under section 138 of the *Roads Act 1993*.

*Reason: To protect public land.*

**10. Waste Management**

All work must be carried out in accordance with the approved waste management plan.

*Reason: To ensure the management of waste to protect the environment and local amenity during construction.*

**11. Storage of Doors**

The careful removal, wrapping and secure storage of the four removed double doors approved under this consent is required to enable future reinstatement. The location of the secure storage is to be provided to Council electronically and recorded in Council records management system for the property.

*Reason: To allow for the future reinstatement of the double doors.*

**BEFORE ISSUE OF AN OCCUPATION CERTIFICATE**

Condition
-----------

**12. Fire Safety Statement - Final**

In accordance with the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021, upon completion of the building, the owner must provide Council with a certificate in relation to each fire safety measure implemented in the building.

*Reason: To ensure all fire safety measures are implemented to protect life and property.*

**OCCUPATION AND ONGOING USE**

Condition
-----------

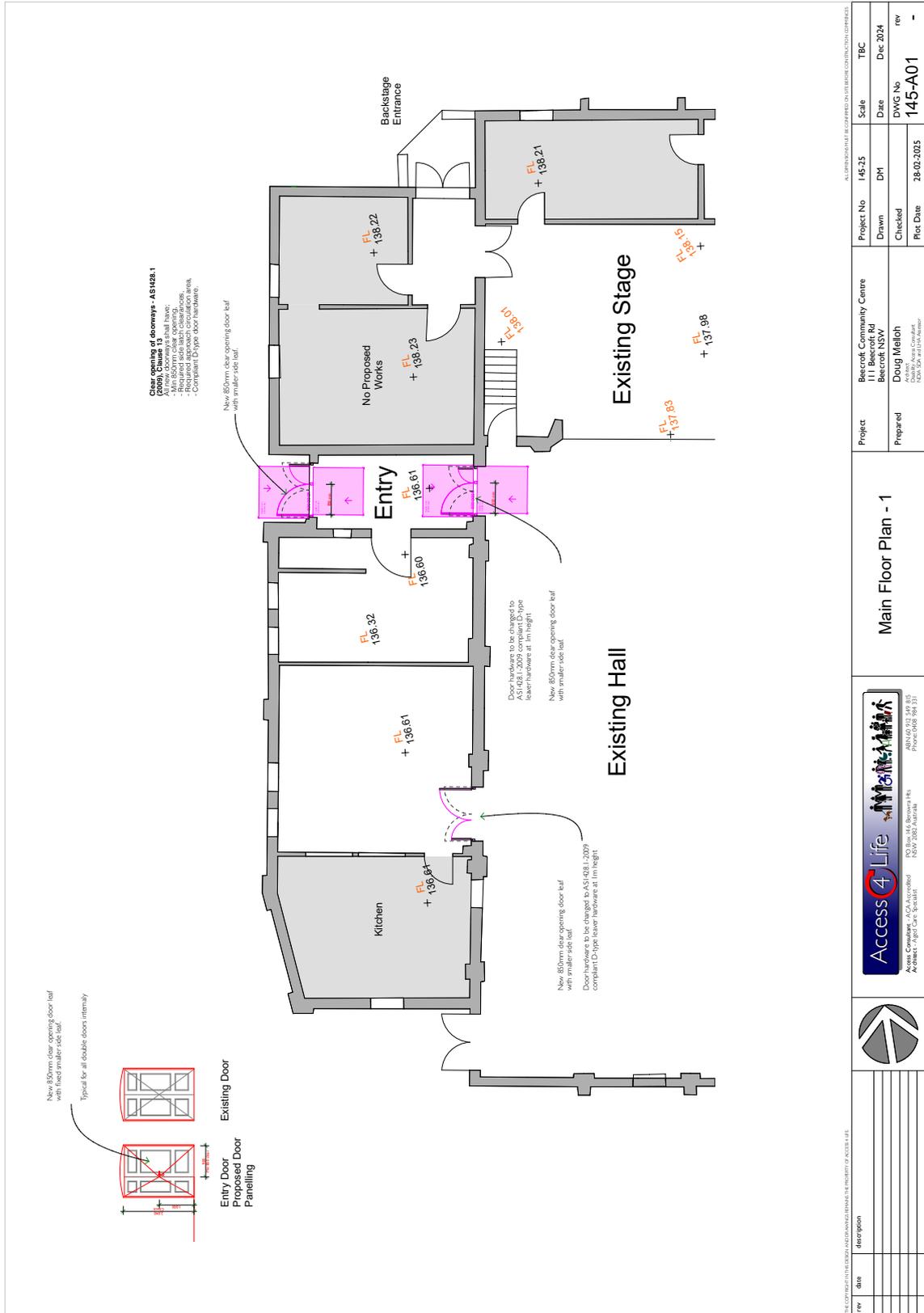
**13. Fire Safety Statement - Annual**

On at least one occasion in every 12 month period following the date of the first 'Fire Safety Certificate' issued for the property, the owner must provide Council with an annual 'Fire Safety Certificate' to each essential service installed in the building.

*Reason: To ensure fire safety measures are maintained to protect life and property.*

**- END OF CONDITIONS -**

# ATTACHMENT 3 - ITEM 3



Project		Project No		Scale	
Prepared		145-25		TBC	
Project		Drawn		Date	
Prepared		DM		Dec 2024	
Project		Checked		DWG No	
Prepared		DM		145-A01	
Project		Plot Date		Plot Date	
Prepared		28.02.2025		-	
Project		Client		Client	
Prepared		Beecroft NSW		Beecroft NSW	
Project		Checked		Checked	
Prepared		Doug Malloch		Doug Malloch	
Project		Plot Date		Plot Date	
Prepared		28.02.2025		-	



# Statement of Heritage Impact (SOHI)

## Beecroft Community Centre

**Site:** Beecroft Community Centre (School of Arts), 111 Beecroft Road, Beecroft NSW 2119

**Prepared for:** Development Application – Door Modifications

**Prepared by:** Ann Fallon, Community Facilities Project Officer

**Date:** 30 October 2025

### 1. The Heritage Item Overview

#### 1.1 Site Description

The Beecroft Community Centre (formerly the School of Arts) is a brick building located at 111 Beecroft Road, Beecroft. It is situated within a landscaped setting and serves as a community facility. The building exhibits Federation-era architectural features and retains much of its original character.

#### *Heritage Item*

**Type:** Community building (former School of Arts)

**Use:** Community Centre

**Condition:** Good

**Setting:** Suburban, adjacent to Beecroft Village Green

**Character:** Federation-style brick building with timber detailing

#### *Heritage Listings*

Listing type	Item name and document details	Listing number
Local heritage item	Beecroft School of Arts – Hornsby Shire LEP 2013	53

#### *Site and Context*

The Beecroft Community Centre is located on Beecroft Road within the Beecroft–Cheltenham Heritage Conservation Area. The suburb is known for its garden suburb planning, mature trees, and cohesive streetscapes. The building is surrounded by open space and is adjacent to residential, educational and commercial properties from similar

architectural periods. Its proximity to the railway station and village centre reinforces its role as a civic and community hub.

#### ***Proposed Works Area***

The works are confined to the replacement of four existing double doors, all considered part of the building's original heritage fabric. These doors are located at key circulation points within the Beecroft Community Centre:

- **Main entry doors** facing Beecroft Road. This serves as the primary public access point to the building (see Figure 1)
- **Vestibule doors** Internal doors that connect the entrance vestibule to the main hall (see Figure 2)
- **Kitchen foyer doors** Positioned on the western side of the main hall, these doors provide access to the kitchen foyer, supporting catering and service functions (see Figure 3)
- **East Wing/Balcony Room Doors** A southern set of internal doors on the eastern side of the hall (see Figure 4)

Each set of doors contributes to the Federation-era character of the building through their timber construction, panelled design and original joinery. The proposed works involve careful removal, wrapping and secure storage of the original doors to allow for future reinstatement. Replacement doors will be custom built to match the original profiles and mouldings, with one leaf widened to meet accessibility standards. Brass coloured hardware will be used to complement the heritage aesthetic while ensuring compliance with modern accessibility requirements.

These upgrades respond directly to recommendations made in the **2021 Access Audit Report**, which identified the need to improve accessibility at key circulation points throughout the facility. The proposed modifications aim to ensure inclusive access for all users while preserving the building's heritage significance.

### **1.2 Site Summary History**

The Beecroft School of Arts was constructed in the early 20th century and has served various community functions over its lifetime. Over the years it has undergone alterations, including internal refurbishments, bathroom upgrades and building additions.

### **1.3 Physical Analysis**

#### ***Appearance***

The Beecroft Community Centre is a single storey Federation style brick building with symmetrical façades, timber detailing and a pitched roof. The building retains much of its original character, including timber framed windows, decorative mouldings and panelled doors. The interior features V-jointed timber ceilings, painted brick walls and timber skirtings and cornices.

### ***Construction***

The building is constructed of load bearing brick masonry with timber framed internal partitions and ceilings. The original doors proposed for replacement are timber double doors with three panel configurations. These doors are set within timber architraves and contribute to the building's architectural integrity.

### ***Condition***

The overall condition of the building is good, with regular maintenance undertaken by Council. While the original doors show some signs of age and frequent use, the **2021 Access Audit Report** specifically noted that the single-leaf door widths for all four sets of doors range from 715mm to 760mm, which falls short of the recommended minimum clear opening width of 850mm for accessibility compliance.

### ***Areas Affected by Proposed Works***

The proposed works affect four key circulation points:

- **Main entry doors** (Beecroft Road façade)
- **Vestibule doors** (leading into the main hall)
- **Kitchen foyer doors** (adjacent to the hall)
- **East Wing/Balcony Room doors** (south door set)

### ***Supporting Documentation***

Photographs, plans and an extract from the Access Audit Report are provided to illustrate the location and condition of the affected doors, as well as the proposed interventions. Refer to **Appendix A** for details.

## **2. Significance Assessment**

### **2.1 Statement of Significance**

#### ***LEP Heritage Item***

**Item Name:** Beecroft School of Arts

**Listing Authority:** Hornsby Shire Council

**Instrument:** Hornsby Local Environmental Plan 2013

**Listing Number:** 53

#### **Statement of Significance:**

The Beecroft School of Arts is significant for its historical role in the cultural development of Beecroft and its architectural representation of early 20<sup>th</sup> century civic buildings. It contributes to the heritage character of the area and retains key elements of its original form.

### ***LEP Heritage Conservation Area***

**Name:** Beecroft–Cheltenham Heritage Conservation Area

**Statement of Significance:**

The Beecroft–Cheltenham Heritage Conservation Area is significant as an example of a government subdivision used to fund railway development. The area demonstrates a multi-layered history of suburban subdivision and development from the Victorian crown land subdivision of 1887 through to the 1960s. It contains a fine collection of buildings from the Victorian, Federation, Arts and Crafts, Inter-War and Post-War eras. The Beecroft Village Precinct, which includes the School of Arts and War Memorial, represents the civic and cultural aspirations of the community and continues to serve as a focal point for local interaction and identity.

**Associated Map:**

Lot boundary map and conservation area map from IntraMaps included in **Appendix B**

### **2.2 Significance of Proposed Work Area**

The proposed works are confined to four sets of original double doors located at key circulation points within the Beecroft Community Centre. These doors are integral to the building's Federation-era character and contribute to its heritage significance through their timber construction, panelled design and original joinery.

Although the doors are being removed, they will be carefully wrapped and stored for future reinstatement. The replacement doors will be custom built to match the original profiles and detailing, ensuring visual and material continuity. This approach is consistent with conservation principles of minimal intervention and reversibility.

The affected areas are therefore considered to be of high heritage significance and the proposed works have been designed to respect and preserve this value while addressing contemporary accessibility needs.

## **3. Proposed Works**

### **3.1 The proposal**

The proposal involves the removal and replacement of four sets of original double doors within the Beecroft Community Centre (formerly the School of Arts). These doors are located at key circulation points:

- **Main entry doors** (Beecroft Road façade)
- **Vestibule doors** (leading into the main hall)
- **Kitchen foyer doors** (adjacent to the hall)
- **East Wing/Balcony Room doors** (south door set)

The existing doors are timber framed with panelled detailing, contributing to the building's Federation-era character. In response to the **2021 Access Audit Report**, the doors are being replaced to improve accessibility and functionality.

The original doors will be carefully removed, wrapped and stored for future reinstatement. New asymmetrical double doors will be constructed using matching timber profiles and mouldings. One leaf of each door will be widened to 850mm to meet accessibility standards. Brass-coloured hardware will be used to complement the heritage aesthetic while ensuring compliance with modern accessibility requirements.

The proposed works are designed to be fully reversible and sympathetic to the building's heritage significance, ensuring minimal impact on original fabric while enhancing inclusive access for all users.

## 3.2 Background

### 3.2.1 Pre-lodgement Consultation

Discussions have been held with Council's Heritage Planner, Building Services and the Community Facilities Manager regarding appropriate materials, design and safety. These consultations focused on ensuring the replacement doors would be visually compatible with the original Federation-era features while meeting accessibility standards.

### 3.2.2 Consideration of Alternatives

A range of door upgrade options were considered to improve accessibility while respecting the building's heritage significance. Each option was assessed against heritage conservation principles, accessibility compliance (including the required 850mm clear opening width), operational functionality, cost and practicality.

The following options were evaluated:

- **Asymmetrical Double Doors**  
This option involves removing and securely storing the original heritage doors and installing new timber framed doors that replicate the existing mouldings and colour. It offers a reversible solution that meets accessibility requirements and maintains compatibility with the building's heritage character.  
✔ *Selected:* This option was deemed the most appropriate and cost effective and is proposed for all four sets of doors.
- **Automation of Existing Doors**  
Improves accessibility through automated operation of the existing doors. However, the high cost of installation and ongoing maintenance, potential structural modifications and the visual impact of modern mechanisms were considered incompatible with the Federation-era aesthetic.  
✘ *Not selected:* Cost and ongoing maintenance made this option unsuitable.

- **Modify Existing Doors to One Large Leaf**  
Proposes joining the two existing leaves to create a single wide door. While this improves accessibility, it results in irreversible changes and loss of heritage detailing. The weight of a single large door also poses usability challenges.  
✗ *Not selected:* Irreversible heritage impacts and impractical operation.
- **Fixed Open Position**  
Retains original doors in a permanently open position to facilitate movement. Although cost effective and non-invasive, this option is unsuitable for entry doors due to weather exposure, security risks and acoustic impacts with Beecroft Rd on one side and the train line on the other side.  
✗ *Not selected:* Operational and environmental limitations outweigh cost benefits.
- **Bifold Configuration**  
Converts existing doors into bifold panels to improve space efficiency. However, the doors are too heavy for easy operation and the modification would significantly alter the original structure.  
✗ *Not selected:* High cost and significant heritage compromise.
- **Barn Door Configuration**  
Involves converting existing doors into sliding barn-style doors. Physical constraints (e.g. pillars, control panels) and visual incompatibility with the Federation-era architecture make this option impractical.  
✗ *Not selected:* Structurally and aesthetically unsuitable, with added cost and complexity.
- **New Entry Doors within Portico**  
Suggests fixing existing doors open and installing new accessible doors within the portico. Due to spatial limitations and the impact on the heritage façade, this option was ruled out.  
✗ *Not selected:* Not feasible within existing architecture and would require costly new construction.

The preferred solution, replacement with sympathetic new doors, was selected as the most appropriate, reversible and cost effective approach, balancing accessibility needs with heritage considerations. A summary table of all options and their heritage impacts is included in **Appendix C**.

## 4. Heritage Impact Assessment

### 4.1 Matters for consideration

#### *Fabric and Spatial Arrangements*

The proposed works involve the removal and replacement of four double doors. These

doors are part of the building's original fabric and contribute to its Federation-era character. The replacement doors will replicate the original profiles and detailing, ensuring continuity of spatial arrangements and minimal impact on significant fabric. The original doors will be stored for future reinstatement, making the intervention reversible.

***Setting, Views and Vistas***

The proposed works are primarily internal. The replacement entry doors will replicate the existing style, mouldings and materials, ensuring no impact on the building's external setting or significant views to or from the site. The visual impact is negligible, as the new doors will be sympathetic to the original design and maintain the heritage character of the façade.

***Landscape***

No landscape works are proposed. The surrounding open space and mature trees will remain unaffected.

***Use***

The building will continue to operate as a community centre. The proposed works support inclusive access and do not alter the building's use or function.

***Demolition***

This is limited to the removal of door units. As the doors will be retained and stored, the impact on heritage significance is minimal and reversible.

***Curtilage***

The works are primarily confined within the building and do not affect the curtilage, streetscape or external boundaries.

***Moveable Heritage***

The original doors are considered moveable heritage and will be preserved in secure storage for potential future reinstatement.

***Aboriginal Cultural Heritage***

The site is not identified as having Aboriginal cultural heritage values. No impact is anticipated.

***Historical Archaeology***

The works are internal and do not involve excavation. There is no impact on archaeological potential.

***Natural Heritage***

The site is not listed for natural heritage values. No impact is expected.

***Conservation Areas***

The building is located within the Beecroft-Cheltenham Heritage Conservation Area. The proposed works are sympathetic to the character of the area and maintain the building's contribution to the precinct.

***Cumulative Impacts***

The proposed works form part of broader accessibility upgrades. No cumulative adverse impacts are anticipated and the works are consistent with previous heritage sensitive interventions.

***The Conservation Management Plan***

No formal Conservation Management Plan exists for the site. However, the proposal aligns with the Burra Charter principles of minimal intervention, reversibility and respect for heritage values.

***Other Heritage Items in the Vicinity***

No direct or indirect impacts to nearby heritage items are anticipated. The works are primarily internal and do not affect the broader streetscape or adjacent properties.

**5. Summary and recommendations**

The proposed door modifications at the Beecroft Community Centre are respectful of the building's heritage significance and have been designed to minimise impact on original fabric. The four sets of original double doors, which contribute to the Federation-era character of the building, will be carefully removed, wrapped and stored for future reinstatement.

Replacement doors will be constructed using matching timber profiles and mouldings, with one leaf widened to meet accessibility standards, 850mm clear opening width. Brass-coloured hardware will be used to complement the heritage aesthetic while ensuring compliance with modern accessibility requirements.

The works respond directly to the **2021 Access Audit Report** and aim to improve inclusive access for all users while preserving the building's heritage values. The intervention is fully reversible and consistent with conservation principles outlined in the Burra Charter.

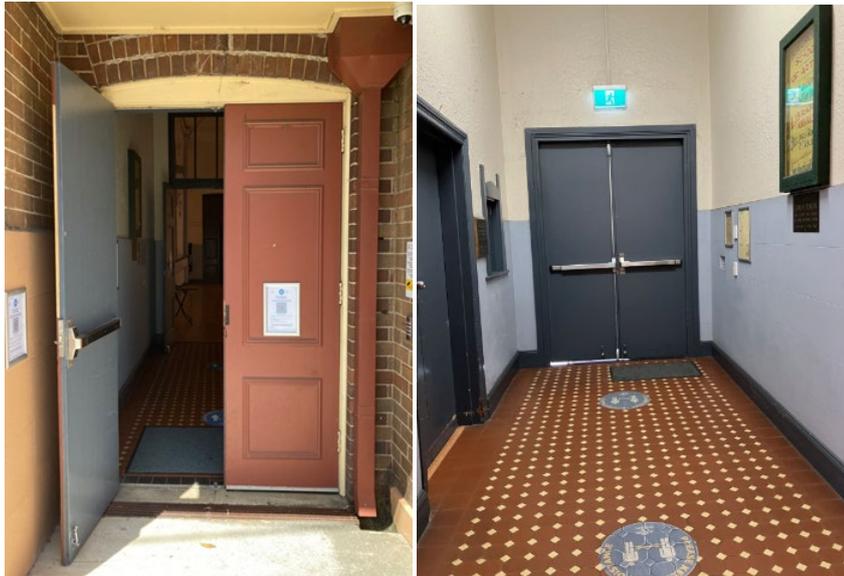
Recommendations:

- Undertake archival recording of the original doors prior to removal
- Ensure secure storage of the original doors
- Use matching materials and detailing for replacement doors.

**Appendix A – Photographs/Access Audit Extract/Plans**

***Photographs***

**Figure 1:** Beecroft Road Entry - Existing double doors



**Figure 2:** Vestibule Doors

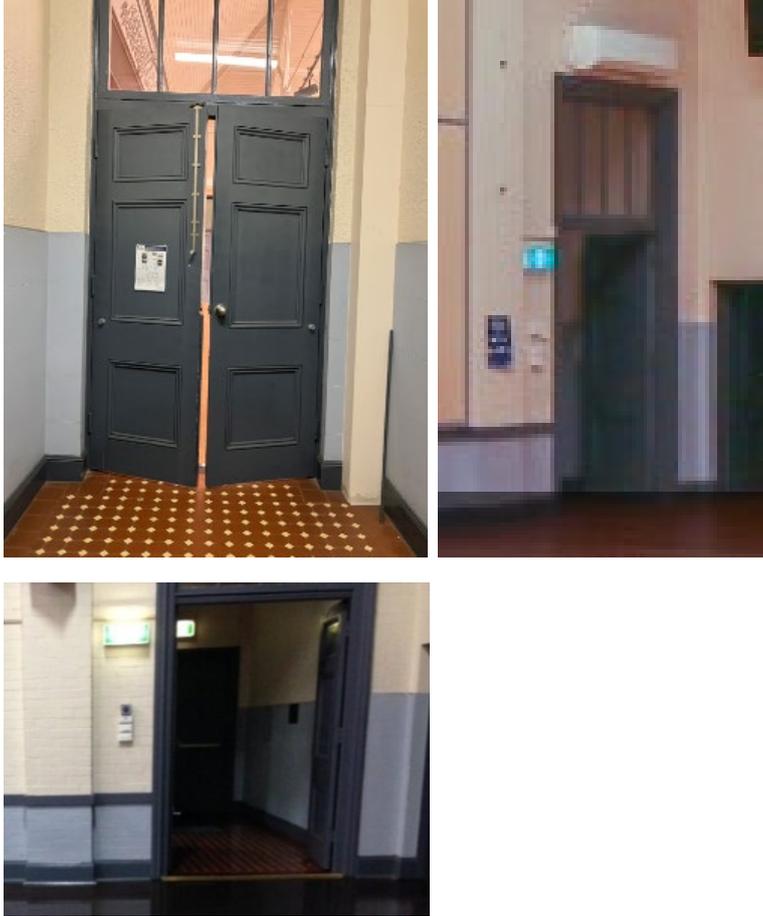
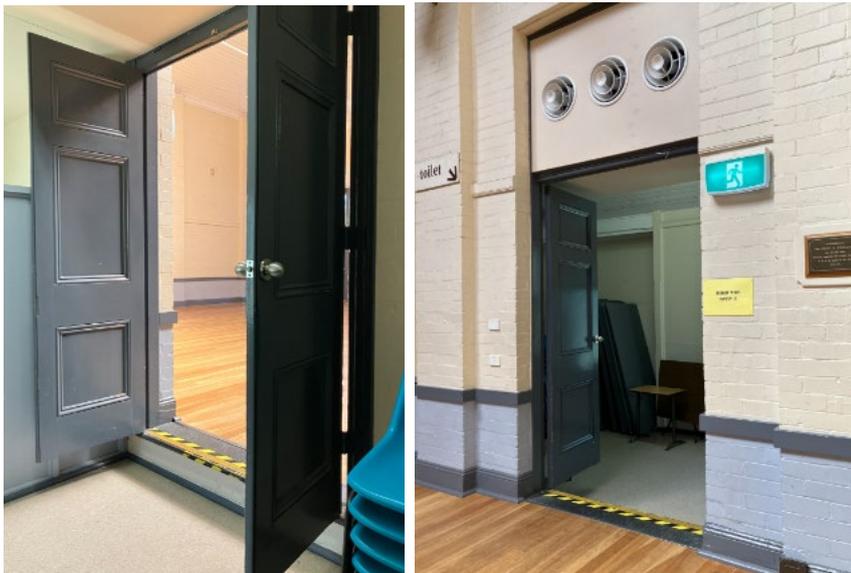


Figure 3: Kitchen Foyer Doors



Figure 4: East Wing/Balcony Room Doors (south set)



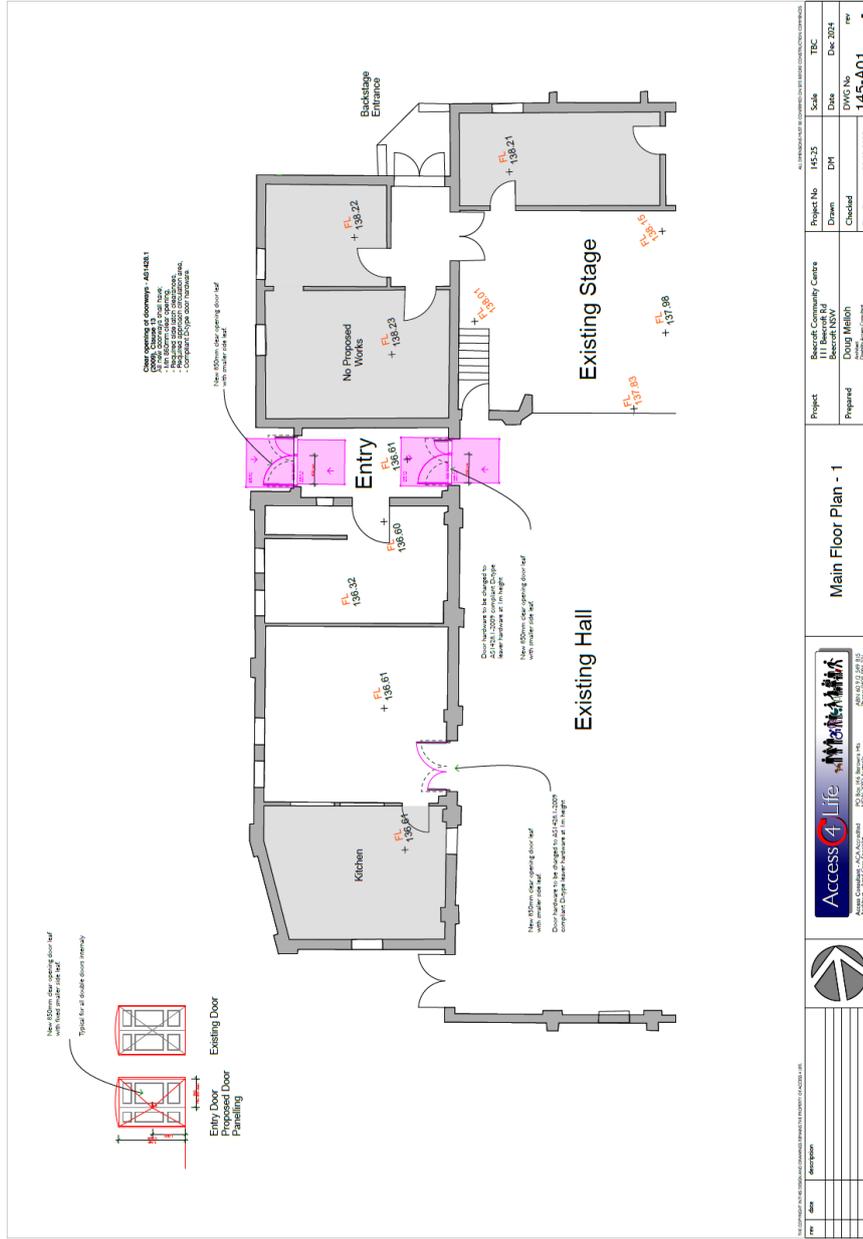
**2021 Access Audit Extract**

<p>7.5</p>	<p><b>Accessible Entrance Doorways</b> The accessible entrance to the community centre is from Beecroft Road and offers a double door arrangement.</p> <p>The clear opening width of the doorways, for single leaf operation, is 715mm that does not meet current accessibility requirements.</p> <p>Lever handles are provided to the external side (push bar internally) and the threshold is level.</p>		<p><b>compliance status:</b> NOT COMPLIANT Modify the doorway to achieve an 850mm clear opening width as a minimum for single leaf operation.</p> <p><b>best-practice recommendation:</b> n/a</p> <p><b>priority:</b> MEDIUM</p>
<p>8.1</p>	<p><b>Doorways</b> DOORS TO ENTRY VESTIBULE The clear opening width of the doorway, for single leaf operation, is 715mm that does not meet current accessibility requirements.</p> <p>Knob handles are provided at a height of 1050mm – knob handles are not considered accessible.</p> <p>We note that these doorways were held open at time of inspection.</p>		<p><b>compliance status:</b> NOT COMPLIANT Modify the doorway to achieve an 850mm clear opening width as a minimum for single leaf operation.</p> <p>Replace knob handles with lever handles.</p> <p><b>best-practice recommendation:</b> n/a</p> <p><b>priority:</b> LOW (doorways can be held open)</p>
<p>8.2</p>	<p><b>Doorways</b> DOORS TO KITCHEN LOBBY The clear opening width of the doorways, for single leaf operation, is 755mm that does not meet current accessibility requirements.</p> <p>Knob handles are provided at a height of 1040mm – knob handles are not considered accessible.</p> <p>These doorways were held open at time of inspection.</p> <p>Adequate luminance contrast is provided between the doorway and the wall.</p>		<p><b>compliance status:</b> NOT COMPLIANT Modify the doorway to achieve an 850mm clear opening width as a minimum for single leaf operation.</p> <p>Replace knob handles with lever handles.</p> <p><b>best-practice recommendation:</b> n/a</p> <p><b>priority:</b> LOW (doorways can be held open)</p>

<p><b>8.6</b></p>	<p><b>Doorways</b> DOORS TO SANITARY FACILITIES (TYPICAL) The clear opening width of the doorways to the sanitary facilities from the hall, for single leaf operation, is 760mm that does not meet current accessibility requirements.</p> <p>There is a step at the threshold - highlighted with a contrasting nosing strip.</p> <p>Knob handles are provided at a height of 1100mm - knob handles are not considered accessible.</p>		<p><b>compliance status:</b> FIT-FOR-PURPOSE This is not an accessible area of the building. If access is provided to this area in the future, doorways should be upgraded to achieve compliance.</p> <hr/> <p><b>best-practice recommendation:</b> n/a</p> <hr/> <p><b>priority:</b> n/a</p>
-------------------	--	---	---

**Note:** Approved minor works will soon commence to raise the floor level of the East Wing/Balcony Room to improve accessibility. These floor raising works are considered minor and may proceed pursuant to Clause 5.10(3) of the Hornsby Local Environmental Plan (HLEP), as confirmed in the *Heritage Advice Record - HAR/28/2025 dated 16 September 2025*. As part of these works, the existing double doors will require modification to accommodate the new floor level and ensure compliant access.

Plans

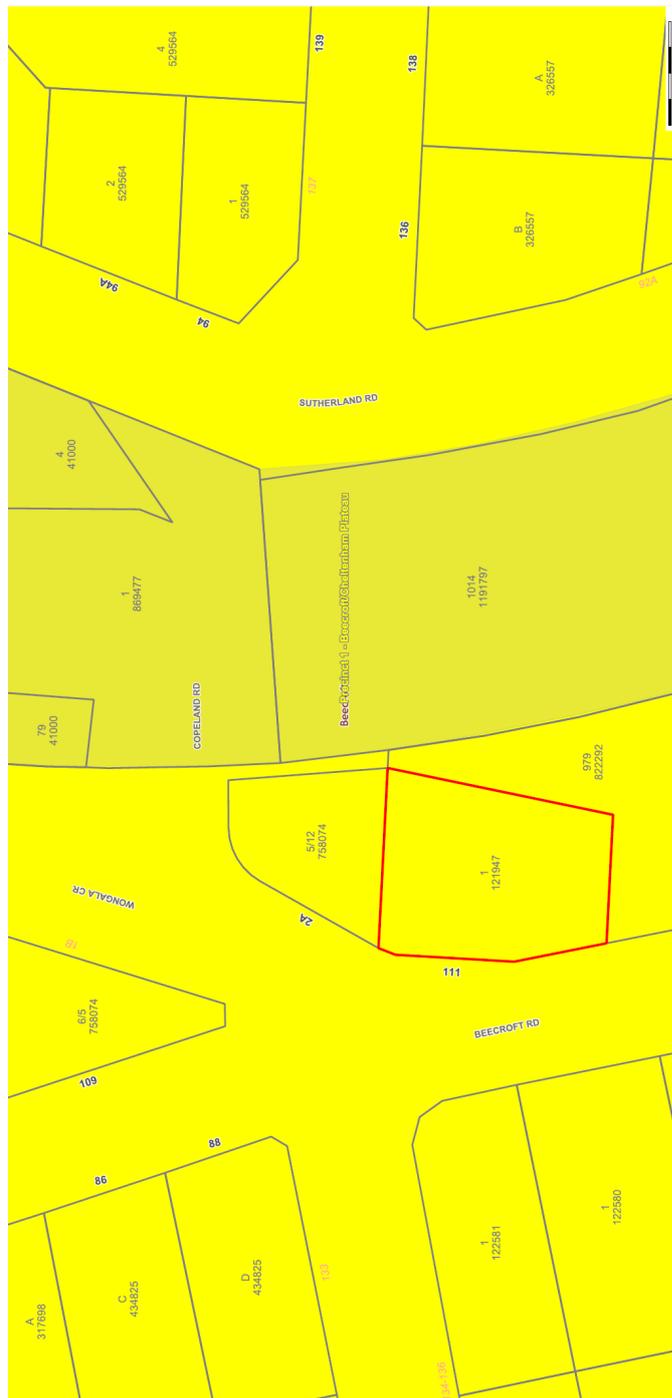


<p>Access 4 Life                  Access Consultants - NSW &amp; Victoria                  102 Sturges Rd, Berrigambi NSW 2261                  Phone: (02) 961 26122                  Fax: (02) 961 26123</p>		<p>Project: Berrigambi Community Centre                  111 Berrigambi Rd                  Berrigambi NSW                  Prepared: David Hillbill                  Date: 28.02.2025</p>		<p>Project No: 145-23                  Drawn: DH                  Scale: 1:45-23                  Date: Dec 2024                  Project No: 145-A01                  Rev: 1</p>	
<p>Project: Berrigambi Community Centre                  111 Berrigambi Rd                  Berrigambi NSW                  Prepared: David Hillbill                  Date: 28.02.2025</p>		<p>Project No: 145-23                  Drawn: DH                  Scale: 1:45-23                  Date: Dec 2024                  Project No: 145-A01                  Rev: 1</p>		<p>Project: Berrigambi Community Centre                  111 Berrigambi Rd                  Berrigambi NSW                  Prepared: David Hillbill                  Date: 28.02.2025</p>	

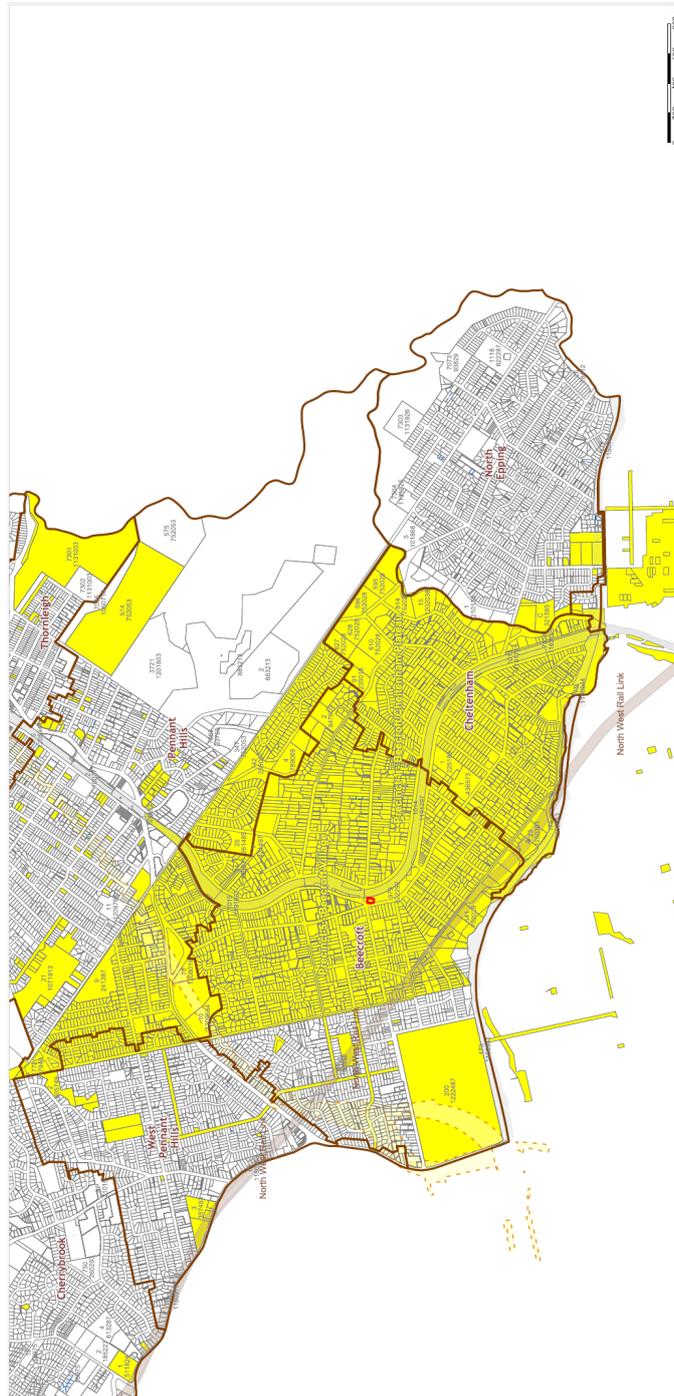
ATTACHMENT 4 - ITEM 3



Appendix B – Part 9 Heritage / Beecroft Heritage Conservation Area Precinct



ATTACHMENT 4 - ITEM 3



# ATTACHMENT 4 - ITEM 3

**Appendix C – Options/Alternatives**

Option	Description	Pros	Cons	Selection Outcome & Heritage Impact
Asymmetrical double doors	Remove, wrap and store heritage doors; replace with new timber-framed doors (matching existing mouldings and colour)	<ul style="list-style-type: none"> <li>Preserves original doors for future reinstatement</li> <li>Reversible solution preserving original doors</li> <li>Allows installation of lightweight, accessible doors</li> <li>New doors can complement heritage character</li> <li>Meets accessibility requirements with compliant door leaf width</li> <li>Compatible with heritage character using brass-coloured hardware</li> </ul>	<ul style="list-style-type: none"> <li>Heritage doors removed from active use</li> <li>Requires secure storage</li> <li>May be viewed as loss of original fabric</li> <li>Requires fabrication and careful detailing</li> <li>Sourcing appropriate hardware may be challenging</li> </ul>	<p><b>Yes</b> – This option allows for the retention and protection of the original heritage doors by removing and storing them securely, while installing new timber-framed doors that match the existing detailing and colour. It provides a reversible solution that meets accessibility requirements and maintains compatibility with the building’s heritage character. This solution can be applied to all four sets of doors.</p>
Automate	Automate existing doors with audible alarm mechanism	<ul style="list-style-type: none"> <li>Provides fully accessible entry</li> <li>Retains original doors</li> <li>Can integrate with access control systems</li> </ul>	<ul style="list-style-type: none"> <li>High installation and maintenance costs</li> <li>May require structural changes</li> <li>Mechanisms may clash with Federation era aesthetics</li> </ul>	<p><b>No</b> – Although automation retains the original doors and improves accessibility, the high cost, potential structural modifications, ongoing maintenance and visual impact of modern mechanisms on the Federation era aesthetic make this option unsuitable for this heritage context.</p>
Modify Existing Doors to One Large Leaf	Join existing doors to create one large door opening	<ul style="list-style-type: none"> <li>Improves accessibility with a single wide opening</li> <li>Retains some original material</li> </ul>	<ul style="list-style-type: none"> <li>Irreversible change to original door configuration</li> <li>Loss of heritage significance and detailing</li> <li>May not meet conservation principles</li> </ul>	<p><b>No</b> – This option would result in irreversible changes to the original door configuration and a significant loss of heritage detailing. It does not align with conservation principles and is therefore not appropriate for a heritage-listed building.</p>

**ATTACHMENT 4 - ITEM 3**

Fixed Open	Keep doors in a fixed open position (not suitable for entry doors)	<ul style="list-style-type: none"> <li>Retains original doors</li> <li>No structural changes</li> <li>Improves movement between spaces</li> <li>Cost-effective and simple to implement</li> </ul>	<ul style="list-style-type: none"> <li>Unsuitable for entry doors due to weather/security</li> <li>Reduces acoustic separation</li> <li>May conflict with fire safety or energy efficiency</li> <li>Impacts thermal comfort and security</li> <li>Not suitable for all operational scenarios</li> </ul>	<p>The one large door will be difficult for someone with mobility issues to operation due to its weight.</p> <p><b>No</b> – While cost effective and non invasive, this option is unsuitable for the main entry due to weather exposure and security concerns, this option has acoustic impacts on hall users. It may also conflict with fire safety and energy efficiency requirements.</p>
Bifold Configuration	Modify existing doors into bifold configuration (not suitable for entry doors)	<ul style="list-style-type: none"> <li>Retains original door material</li> <li>Improves accessibility and space efficiency</li> </ul>	<ul style="list-style-type: none"> <li>Unsuitable for entry doors</li> <li>Significant alteration to original structure</li> <li>May compromise heritage integrity</li> </ul>	<p><b>No</b> – The existing doors are too heavy to be operated easily by individuals with mobility issues. Additionally, the bifold modification would be costly and would significantly alter the original structure, compromising heritage integrity.</p>
Barn Door Configuration	Using original doors, install either two separate sliding barn style doors or join the two existing doors to create one large sliding barn door (not suitable for entry doors. May not be suitable for Vestibule doors)	<ul style="list-style-type: none"> <li>Improves accessibility with smooth sliding mechanism</li> <li>Minimises swing clearance issues in tight spaces</li> <li>Can retain original door material in modified form</li> </ul>	<ul style="list-style-type: none"> <li>Unsuitable for entry doors</li> <li>May not be suitable for Vestibule doors</li> <li>Requires installation of overhead track system</li> <li>May significantly alter original door appearance and operation</li> <li>Sliding mechanism may conflict with heritage aesthetics</li> <li>May not be visually</li> </ul>	<p><b>No</b> – Physical constraints such as existing pillars and control panels prevent the installation of a sliding barn door mechanism. Furthermore, the visual and structural impact of this configuration is incompatible with the Federation era architectural style.</p>

# ATTACHMENT 4 - ITEM 3

New Entry Doors	Fix existing entry doors open and install new doors within the portico area (in front of existing doors)	<ul style="list-style-type: none"> <li>Retains original doors visibly</li> <li>Allows accessible, secure entry</li> <li>Minimises impact on original fabric</li> </ul>	<p>compatible with Federation era architecture</p> <ul style="list-style-type: none"> <li>Requires new construction in heritage setting</li> <li>Alters visual presentation of entry façade</li> <li>Additional cost for new doors and structural work</li> </ul>	<p><b>NO</b> – The portico area does not have sufficient space to accommodate a second set of doors due to the outward swing of the existing doors. This option would also alter the visual presentation of the heritage façade and introduce new construction within a sensitive heritage setting.</p>
-----------------	--	--	---	---

# ATTACHMENT 4 - ITEM 3

**ATTACHMENT/S**

**REPORT NO. LPP6/26**

**ITEM 4**

- 1. CLAUSE 4.6 REQUEST**
- 2. ARCHITECTURAL PLANS**



planning consultants

5 January 2026  
 Our Ref: 22444A.1TW\_CI 4.6

**WRITTEN REQUEST FOR EXCEPTION TO A DEVELOPMENT STANDARD  
 CLAUSE 4.3 - HEIGHT OF BUILDINGS  
 PROPOSED ALTERATIONS AND ADDITIONS TO A DWELLING HOUSE  
 27 BELINDA STREET, NORTH EPPING**

**1.0 Introduction**

DFP has been commissioned by Pedram Heshmati to prepare a request pursuant to clause 4.6 of *Hornsby Local Environmental Plan 2013* (the LEP) in respect of the proposed alterations and additions to a dwelling house development at 27 Belinda Street, North Epping.

The proposed development has a height of buildings of 9.365m which exceeds the maximum height development standard of 8.5m of the LEP, requiring a clause 4.6 variation request. Notwithstanding the contravention of the development standard, this written cl4.6 request demonstrates that:

- Compliance with the standard is unreasonable and unnecessary in the circumstances of the case (cl4.6(3)(a)); and
- There are sufficient environmental planning grounds to justify the contravention (cl4.6(3)(b)).

**2.0 The Nature of the Variation**

Clause 4.3 and the Height of Buildings Map of the LEP identify a maximum height of buildings of 8.5m for the Site (**Figure 1**).



Figure 1 Height of Buildings Map

Suite 2.01, 1A Eden Park Drive  
 Macquarie Park NSW 2113  
 PO Box 230 North Ryde BC NSW 1670

P 02 9980 6933  
[www.dfpplanning.com.au](http://www.dfpplanning.com.au)

DFP Planning Pty Limited  
 ACN 002 263 998

22444A 27 Belinda Street, North Epping/Letters/22444A.2TW\_CI 4.6.docx



**ATTACHMENT 1 - ITEM 4**

The architectural drawings which accompany the development application show that the proposed development will have a height of 9.365m which exceeds the maximum height of buildings development standard by 0.865m or 10.2%.

At **Point A** in **Figure 2** the height of building is measured from the top of the parapet at the rear of the northern corner balcony being RL 81.215m, less existing ground level immediately below to the underside of the existing garage slab (with an assumed thickness of 150mm) and driveway at RL 71.850m = 9.365m (i.e. an exceedance of 0.865m or 10.2% to the 8.5m development standard). This location represents the maximum extent of the proposed development's exceedance of the 8.5-metre height limit.

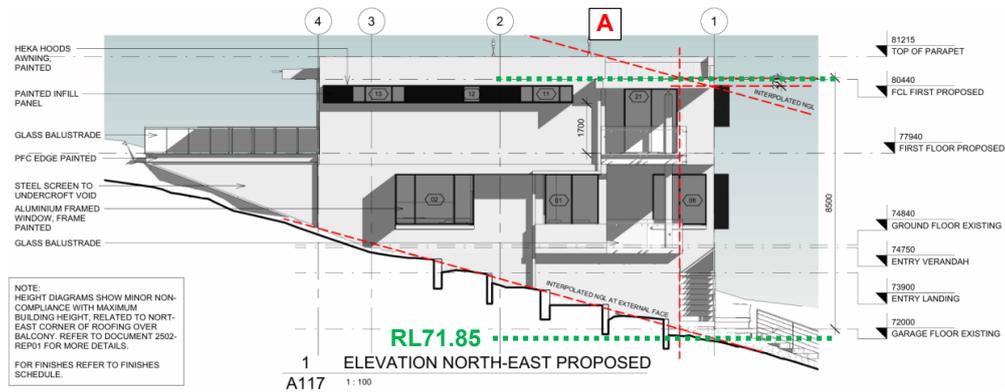


Figure 2 North East Elevation (Source: Artin Design)

The horizontal extent of non-compliance is shown within **Figure 3**. Notably, the non-compliance is limited to the area shaded red which corresponds with the existing sub-floor car parking area and a portion of the driveway which has been historically excavated.

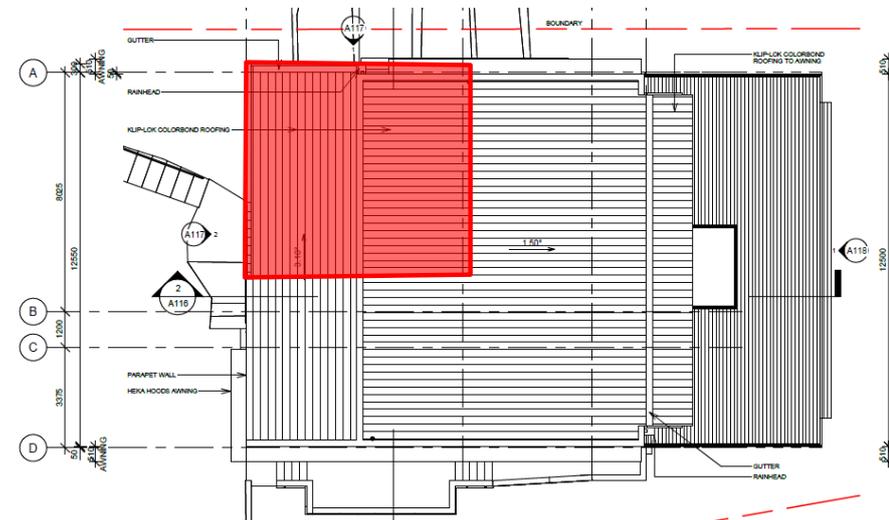


Figure 3 Extent of Non-Compliance against Roof Plan

It is noted that if the interpolated natural ground line is used, as shown on the architectural plans, the proposed development would result in a smaller area of height exceedance limited to the north-western portion of balcony roof and parapet.

22444A 27 Belinda Street, North Epping/Letters/22444A.2TW\_CI 4.6.docx



It is also noted that the balcony roof design has been sloped down towards the north-western corner of the first floor balcony to minimise the height exceedance in this location as shown in **Figure 4**. **Point B** has a maximum height of 8.89 metres being approximately RL 80.44 over a ground level (existing) of RL 71.55. **Point A** remains the location of the maximum height exceedance as previously shown in **Figure 2** and as also shown in **Figure 4**.

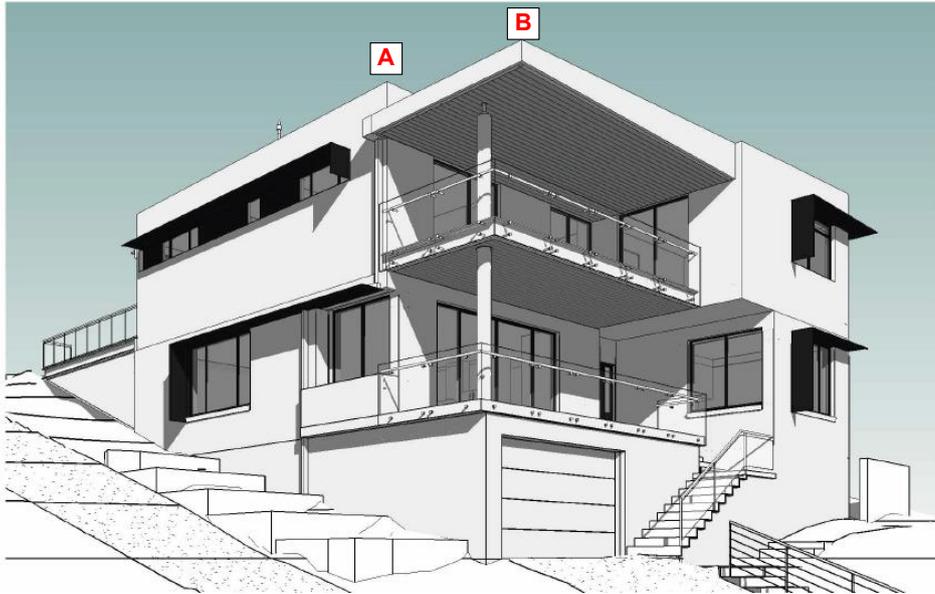


Figure 4 Sloped Balcony Roof

### 3.0 Clause 4.6 Assessment

#### 3.1 Clause 4.6(1) – Objectives of Clause 4.6

Subclause 4.6(1) of the LEP states the objectives of the clause as follows:

- (a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,
- (b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.

In the Judgment of *Initial Action Pty Ltd v Woollahra Municipal Council [2018] NSWLEC 118* (“Initial Action”), Preston CJ ruled that there is no statutory provision that requires the applicant to demonstrate compliance with these objectives or that the consent authority be satisfied that the development achieves these objectives. Furthermore, cl4.6(3) does not expressly or impliedly require that development that contravenes a development standard “achieve better outcomes for and from development”.

Accordingly, the remaining subclauses of cl4.6 provide the preconditions which must be satisfied before a consent authority or the Court may grant development consent to a development that contravenes a development standard imposed by an environmental planning instrument. These preconditions are discussed hereunder.

22444A 27 Belinda Street, North Epping/Letters/22444A.2TW\_CI 4.6.docx



### 3.2 Clause 4.6(2) – Consent may be granted

Subclause 4.6(2) provides that:

- (2) *Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.*

The height of buildings development control in cl4.3 of the LEP is a development standard, defined in Section 1.4 of the EP&A Act as follows:

**development standards** means provisions of an environmental planning instrument or the regulations in relation to the carrying out of development, being provisions by or under which requirements are specified or standards are fixed in respect of any aspect of that development, including, but without limiting the generality of the foregoing, requirements or standards in respect of:

- ...
- (a) *the area, shape or frontage of any land, the dimensions of any land, buildings or works, or the distance of any land, building or work from any specified point,*
  - (b) *the proportion or percentage of the area of a site which a building or work may occupy,*
  - (c) *the character, location, siting, bulk, scale, shape, size, height, density, design or external appearance of a building or work,*
  - (d) *the cubic content or floor space of a building,*
  - (e) *the intensity or density of the use of any land, building or work,*
  - (f) *the provision of public access, open space, landscaped space, tree planting or other treatment for the conservation, protection or enhancement of the environment,*
  - (g) *the provision of facilities for the standing, movement, parking, servicing, manoeuvring, loading or unloading of vehicles,*
  - (h) *the volume, nature and type of traffic generated by the development,*
  - (i) *road patterns,*
  - (j) *drainage,*
  - (k) *the carrying out of earthworks,*
  - (l) *the effects of development on patterns of wind, sunlight, daylight or shadows,*
  - (m) *the provision of services, facilities and amenities demanded by development,*
  - (n) *the emission of pollution and means for its prevention or control or mitigation; and*
  - (o) *such other matters as may be prescribed.*

Furthermore, the height of buildings development standard is not expressly excluded from the operation of cl4.6 (see **Section 3.5** below).

### 3.3 Clause 4.6(3) – Consent Authority Considerations

Subclause 4.6(3) outlines the matters that a consent authority must be satisfied of, when consideration a development that seeks to contravene a development standard and states:

- (3) *Development consent must not be granted to development that contravenes a development standard unless the consent authority is satisfied the applicant has demonstrated that–*
- (a) *compliance with the development standard is unreasonable or unnecessary in the circumstances, and*
  - (b) *there are sufficient environmental planning grounds to justify the contravention of the development standard.*

This report constitutes a written request for the purposes of the EP&A Regulation 2021 and the following subsections address the justifications required under subclause 4.6(3).

22444A 27 Belinda Street, North Epping/Letters/22444A.2TW\_CI 4.6.docx



### 3.3.1 Clause 4.6(3)(a) - Compliance is Unreasonable or Unnecessary

In his Judgment of *Randwick City Council v Micaul Holdings Pty Ltd [2016] NSWLEC 7* ('Micaul') Preston CJ confirmed that an established means of demonstrating that compliance with a development standard is unreasonable or unnecessary is to establish that a development would not cause environmental harm and is consistent with the objectives of the development standard.

It is considered that the environmental impacts of the proposed development, and specifically the component/s of the proposal that contravene the development standard, are appropriately avoided, minimised or mitigated as described below:

- **Visual privacy** - The area of height exceedance is limited to a parapet wall and a small portion of the roof towards the north-western section of the building. Notably, no windows or balconies are proposed within these areas. As a result, the height exceedance will not give rise to any adverse visual privacy impacts including the overlooking of adjoining properties;
- **Overshadowing** – The proposed development will not result in any overshadowing of neighbouring properties due to building setbacks and the topography of the site and surrounding land. While the southern adjoining property at 29 Belinda Street would typically be most susceptible to overshadowing, it is located approximately 6 metres higher in elevation, allowing it to maintain solar access;
- **Scale and Built Form** – The design of the proposed development is not excessive in scale and built form as demonstrated by the flat roof and a floor to ceiling height of 2.7m at the ground floor and 2.5m at the first floor. Furthermore, the area of building height exceedance does not excessively contribute to additional bulk and scale of the development as the proposed height is to exceed by a maximum of 0.865m or 10.2% within a small section of the parapet wall and roof largely resultant from historic excavation; and
- **Streetscape and character** – The proposed development retains various existing external walls as well as the existing building platform. This provides that the development will remain consistent with the established location of the existing building.

Furthermore, the proposed development is considered to be consistent with the objectives of the R2 Low Density Residential Zone development standard as described below.

Objectives of the R2 Development Standard	Assessment
• <i>To provide for the housing needs of the community within a low density residential environment.</i>	The proposed development is for alterations and additions to a dwelling house. The proposed dwelling house would be suitable and consistent with a low density residential environment.
• <i>To enable other land uses that provide facilities or services to meet the day to day needs of residents.</i>	The proposed development does not offend this objective.

Accordingly, for the reasons identified above it is considered that strict compliance with the height of buildings development standard is unreasonable or unnecessary as the non-compliance will not cause environmental harm and the proposed development is consistent with the objectives of the R2 Low Density Residential Zone development standard, notwithstanding the non-compliance.

22444A 27 Belinda Street, North Epping/Letters/22444A.2TW\_CI 4.6.docx



### 3.3.2 Clause 4.6(3)(a) - Sufficient Environmental Planning Grounds

In the Judgment of *Four2Five Pty Ltd v Ashfield Council [2015] NSWLEC 1009* (“Four2Five”) Pearson C indicated there is an onus on the applicant to demonstrate, through the written request, that there are “*sufficient environmental planning grounds*” such that compliance with the development standard is unreasonable or unnecessary. Furthermore, that the environmental planning grounds must be particular to the circumstances of the proposed development rather than public benefits that could reasonably arise from a similar development on other land.

In Initial Action, Preston CJ indicated that it is reasonable to infer that “*environmental planning grounds*” as stated in under cl4.6(3)(b), means grounds that relate to the subject matter, scope and purpose of the EPA Act, including the objects in s1.3 of the EP&A Act.

The site-specific environmental planning grounds that support the proposed variation to the building height development standard in this circumstance include the following:

- **Historic Excavation:** the variation results from historic excavation, and the proposed development would provide a lesser exceedance if an interpolated ground level were used as documented on the submitted architectural plans;
- **Responding to Topography:** the historic excavation and current design responds to the site’s steep topography;
- **Sustainability:** the utilisation of the existing building promotes sustainable development objectives by minimising use of materials;
- **Site Coverage:** the provision of an upper floor addition minimises the building platform extent which improves the environmental performance of the site including minimising site coverage;
- **Minor Nature of Variance:** minor nature of the variance;
- **Streetscape:** being consistent with the prevailing streetscape pattern;
- **Interface with 25 Belinda Street:** Rear and side boundary interfaces to the adjoining property at 25 Belinda Street are to internal access driveways only resulting in nil or negligible amenity impacts; and
- **Interface with Lane Cove National Park:** There are no residential properties on the other side of Belinda Street minimising the visual impact. The interface with Lane Cove National Park is considered acceptable and the dwelling house appropriately setback in line with existing residential development.

In Micaul and Initial Action, Preston CJ also clarified that sufficient environmental planning grounds may also include demonstrating a lack of adverse amenity impacts. As summarised above, the proposal satisfactorily avoids, manages or mitigates adverse amenity impacts.

Accordingly, it is considered that there are sufficient environmental planning grounds to justify the contravention of the height of buildings development standard in this instance.

### 3.4 Clause 4.6(6) – Subdivision on Certain Land

Clause 4.6(6) is not relevant to the proposed development as it does not relate to subdivision of land.

22444A 27 Belinda Street, North Epping/Letters/22444A.2TW\_CI 4.6.docx



### 3.5 Clause 4.6(8) – Restrictions on use of cl4.6

Clause 4.6(8) of the LEP states as follows:

- (8) *This clause does not allow development consent to be granted for development that would contravene any of the following—*
- (a) *a development standard for complying development,*
  - (b) *a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 applies or for the land on which such a building is situated,*
  - (c) *clause 5.4,*
  - (caa) *clause 5.5,*

Clause 4.6(8) is not relevant to the proposed development as it is subject to a DA and does not constitute Complying Development, the proposal does not contravene a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which SEPP BASIX applies for the land. The proposal also does not relate to a standard under Clause 5.4 or Clause 5.5 of the LEP.

### 4.0 Conclusion and Recommendations

The proposed development contravenes the height of buildings development standard under cl4.3 of the LEP as the proposed development provides a height of 9.365m which exceeds the maximum height development standard of 8.5m by 0.865m or 10.2%.

This written request to vary the development standard has been prepared in accordance with cl4.6(3) of the LEP and demonstrates that the preconditions under cl4.6 for granting of development consent have been met.

The height of buildings control under cl4.3 of the LEP is a development standard and is not excluded from the application of cl4.6 (cl4.6(2)).

Strict compliance with the development standard is unreasonable and unnecessary (cl4.6(3)(a)) because, notwithstanding the contravention of the height of buildings development standard, the proposed development:

- will not result in environmental harm; and
- is consistent with the objectives of the height of buildings development standard pursuant to cl4.3 of the LEP;

There are sufficient environmental planning grounds (cl4.6(3)(a)) to justify the contravention of the height of buildings development standard including:

- the sloping site topography;
- the minor nature and location of the departures in the context of the scale of the building;
- the variation being the result of historic excavation and otherwise being compliant with an interpolated natural ground line;
- the environmental benefits of utilising the existing structure and minimising building platform extent; and
- the lack of significant adverse environmental amenity impacts arising from the proposal.

Accordingly, this written request can be relied upon by the consent authority when documenting that it has formed the necessary opinions of satisfaction under cl4.6(3) of the LEP.

22444A 27 Belinda Street, North Epping/Letters/22444A.2TW\_CI 4.6.docx



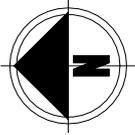
**Prepared by:** Emma Calvar, Assistant Project Planner

**Reviewed by:** Henry Burnett, Director

# ATTACHMENT 1 - ITEM 4

CLIENT:  
**PEDRAM HESHMATI AND FARIN NAAD 27 BELINDA CRESCENT, NORTH EPPING NSW 2121**

Artin Design  
 NSW ARB No. 8459  
 32/59a Castle Street  
 Castle Hill NSW 2154  
 Ph: 02 9659 5499  
 Mob: 0407660173  
 artindesign97@gmail.com



PROJECT:  
**ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE  
 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 101-DP/211420**



**AERIAL VIEW NTS**

**DESIGN DATA**

EXISTING SITE AREA - 777.8 m<sup>2</sup>  
 EXISTING SITE COVER - 70.2 m<sup>2</sup>  
 EXISTING LANDSCAPE AREA - 46.817 m<sup>2</sup> (18.87% OF SITE AREA)  
 EXISTING LANDSCAPE AREA - 528.95 m<sup>2</sup> (68% OF SITE AREA)  
 EXISTING MIN SETBACKS:  
 NORTH - EAST BOUNDARY, SIDE: 1.458 m  
 NORTH-WEST BOUNDARY, FRONT: 9.94 m  
 SOUTH-WEST, SIDE: 2.814 m  
 SOUTH-EAST BOUNDARY, REAR: 23.209 m  
 EXISTING MAX. HEIGHT OF THE BUILDING (INTERPOLATED, BELOW THE RIDGE LINE): 5.154 m  
 EXISTING SITE FRONTAGE WIDTH (BOUNDARY LINE) : 21 m  
 CONNECTED TO EXISTING MUNICIPAL SERVICES  
 EXISTING FOOTING AREA (PROJECTIONS INCLUDING GUTTERS) : -179 m<sup>2</sup>  
 EXISTING FLOOR AREA (INCLUDING GUTTERS) : 130.17 m<sup>2</sup> (FSR)  
 FLOOR AREA VERANDAH EXISTING - 24.16 m<sup>2</sup>  
 FLOOR AREA EXISTING GARAGE - 34.84 m<sup>2</sup>  
 FLOOR AREA EXISTING TOTAL - 176.17 m<sup>2</sup>  
 SITE AREA TOTAL - 777.8 m<sup>2</sup>  
 FSR EXISTING - 0.231

**PLANNING PROPERTY DETAILS**

ADDRESS: 27 BELINDA CRESCENT, NORTH EPPING 2121  
 LEP: HORNSBY LOCAL ENVIRONMENTAL PLAN 2013  
 (LUB: 27.09.2013)  
 ZONING: R2 - LOW DENSITY RESIDENTIAL (LUB)  
 HEIGHT OF BUILDING: 8.5 m  
 FSR: NA  
 MINIMUM LOT SIZE: 500 m<sup>2</sup>  
 HERITAGE: NA  
 LAND RESERVATION ACQUISITION: NA  
 FORESHORE BUILDING LINE: NA  
 BUSHFIRE PRONE LAND: VEGETATION BUFFER

**SHEET LIST**

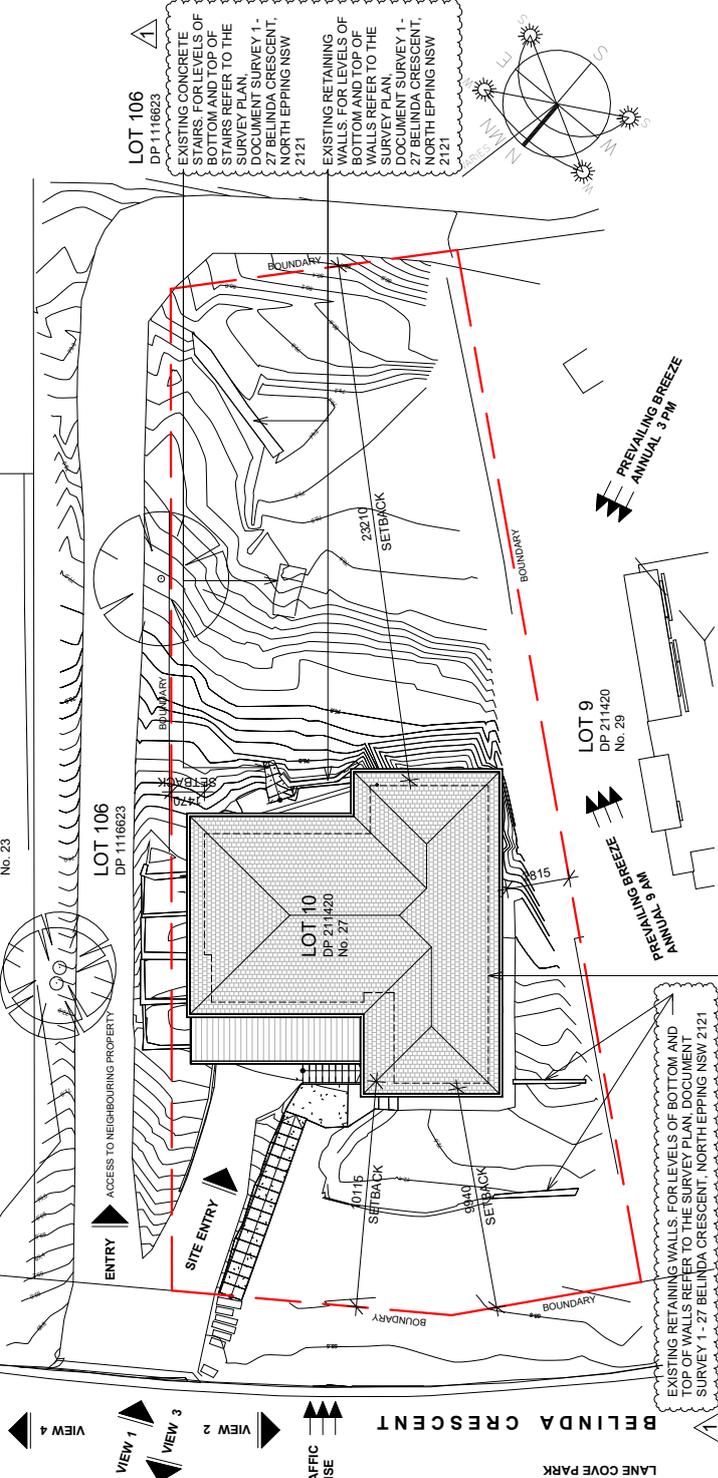
NO.	NAME	REV.
A100	COVER SHEET	C
A101	SITE ANALYSIS	C
A102	GARAGE FLOOR PLAN EXISTING	C
A103	GROUND FLOOR PLAN EXISTING	C
A104	ROOF PLAN EXISTING	C
A105	SECTION 1 AND SECTION 2 EXISTING	C
A106	ELEVATIONS EXISTING	C
A107	ELEVATIONS EXISTING	C
A108	PLAN AND SECTION 2 DEMOLITION	C
A109	SEDIMENT, EROSION AND WASTE MANAGEMENT PLAN	C
A110	PROPOSED SITE AND LANDSCAPE AREA ANALYSIS	C
A111	STORM WATER MANAGEMENT PLAN	C
A112	GROUND FLOOR PLAN PROPOSED	C
A113	FIRST FLOOR PLAN PROPOSED	C
A114	ROOM AREAS	C
A115	ROOF PLAN PROPOSED	C
A116	SECTION 1, SECTION 2 PROPOSED	C
A117	ELEVATIONS PROPOSED	C
A118	ELEVATIONS PROPOSED	C
A119	SHADOW DIAGRAMS	C
A120	FINISHES SCHEDULE	C
A121	SCHEDULES	C
A122	BASIS COMMITMENTS	C
A123	PERSPECTIVE VIEWS	C
A124	NOTIFICATION	C

**COMPLIANCE NOTE**

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH NCC PART 3.4 VOLUME 2 AND SAA TIMBER FRAMING CODE (AS 1684).  
 ALL WINDOWS AND DOORS TO BE IN ACCORDANCE WITH NCC PART 2 VOLUME 2, AS 4420 AND AS1288.  
 EARTHWORKS TO BE IN ACCORDANCE WITH ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979, CONDITIONS OF AUTHORITIES CONSENT AND NCC PART 3.1 VOLUME 2.  
 STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH NCC PART 3.1.3 VOLUME 2, AS/NZS 3500.  
 TERMITE PROTECTION TO BE IN ACCORDANCE WITH NCC PART 3.1.4 VOLUME 2 AND AS 3860.  
 FOOTINGS AND SLABS TO BE IN ACCORDANCE WITH NCC PART 3.2 VOLUME 2, AS 3600 AND STRUCTURAL ENGINEER DOCUMENTATION.  
 FIRE RESISTANCE LEVEL (FRL) OF CONSTRUCTION TO BE IN ACCORDANCE WITH NCC VOL. 2 PART 3.7.  
 MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH NCC PART 3.3 VOLUME 2 AND AS 2699 AND STRUCTURAL ENGINEER DOCUMENTATION.  
 LINTELS IN MASONRY TO BE IN ACCORDANCE WITH NCC PART 3.3 VOLUME 2, AS 2699 AND STRUCTURAL ENGINEER DOCUMENTATION.  
 STRUCTURAL STEEL MEMBERS TO BE IN ACCORDANCE WITH NCC PART 3.4 VOLUME 2, AS 4100 AND STRUCTURAL ENGINEER DOCUMENTATION.  
 METAL ROOF SHEETING TO BE IN ACCORDANCE WITH NCC PART 3.5 VOLUME 2.  
 GUTTERS AND DOWNPIPES TO BE IN ACCORDANCE WITH NCC PART 3.5 VOLUME 2, AS/NZS 3500.  
 WALL CLADDING TO BE IN ACCORDANCE WITH NCC PART 3.5 VOLUME 2.  
 GLAZING TO BE IN ACCORDANCE WITH NCC PART 3.6 VOLUME 2, AS 1288 AND AS 4420.  
 SMOKE ALARMS TO BE IN ACCORDANCE WITH NCC PART 3.7 VOLUME 2 AND AS ISO 7240.  
 HEATING APPLIANCES TO BE IN ACCORDANCE WITH NCC PART 3.7 VOLUME 2, AS/NZS 5263 AND AS/NZS 6035.  
 WET AREAS TO BE IN ACCORDANCE WITH NCC PART 3.8 VOLUME 2 AND AS 3740.  
 ROOM HEIGHTS TO BE IN ACCORDANCE WITH NCC PART 3.8 VOLUME 2.  
 KITCHEN, SANITARY AND WASHING FACILITIES TO BE IN ACCORDANCE WITH NCC PART 3.8 VOLUME 2.  
 NATURAL LIGHT AND ARTIFICIAL LIGHT TO BE IN ACCORDANCE WITH NCC PART 3.8 VOLUME 2.  
 VENTILATION TO BE IN ACCORDANCE WITH NCC PART 3.8 VOL. 2.  
 STAIR CONSTRUCTION AND BALUSTRADES TO BE IN ACCORDANCE WITH NCC PART 3.9 VOLUME 2.  
 SLIP RESISTANCE OF SURFACE TO BE IN ACCORDANCE WITH AS 4586.  
 ELECTRICAL WORK TO BE IN ACCORDANCE WITH AS/NZS 3000.  
 TOLERANCES AND STANDARDS TO BE IN ACCORDANCE WITH NEW SOUTH WALES GUIDE TO STANDARDS AND TOLERANCES CURRENT EDITION.  
 ASBESTOS REMOVAL AND HANDLING TO BE IN ACCORDANCE WITH WORK HEALTH AND SAFETY ACT, CODE OF PRACTICE OF SAFE WORK AUSTRALIA AND WORK HEALTH AND SAFETY REGULATION.  
 ENERGY EFFICIENCY TO BE IN ACCORDANCE WITH BASIX CERTIFICATE No. XXX AND APPLICABLE PARTS OF NCC.  
 NOTE:  
 REFERENCES ARE TO THE CURRENT STANDARDS AND REGULATIONS.

**ATTACHMENT 2 - ITEM 4**

CLIENT: PEDRAM HESHMATI AND FARIN NAAD 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: artin Design NSW ARB No. 8459 32/598 Castle Street Castle Hill NSW 2154 Ph: 02 9659 5499 Mob: 0407660173 artindesign97@gmail.com	
CONSULTANT 1:	ENG LAND SERVICES
CONSULTANT 2:	EXACT ENGINEERS
CONSULTANT 3:	
PROJECT:	ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-DP211420
DRAWING TITLE:	SITE ANALYSIS
DRAWING No.:	A101
STAGE:	DA
PROJECT No.:	2502
DATE CREATED:	25.05.2025
SIGNED:	
DATE PLOTTED:	11.01.2026
DRAWN BY:	S.S.
SIZE:	A3
SCALE:	1 : 200
ISSUE:	D
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT OR SITE REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. WITHOUT PERMISSION FROM ARTIN DESIGN.	



**LEGEND**

- VIEW
- TRAFFIC NOISE
- PREVAILING BREEZE ANNUAL
- BREEZE 9AM ANNUAL
- BREEZE 3PM ANNUAL

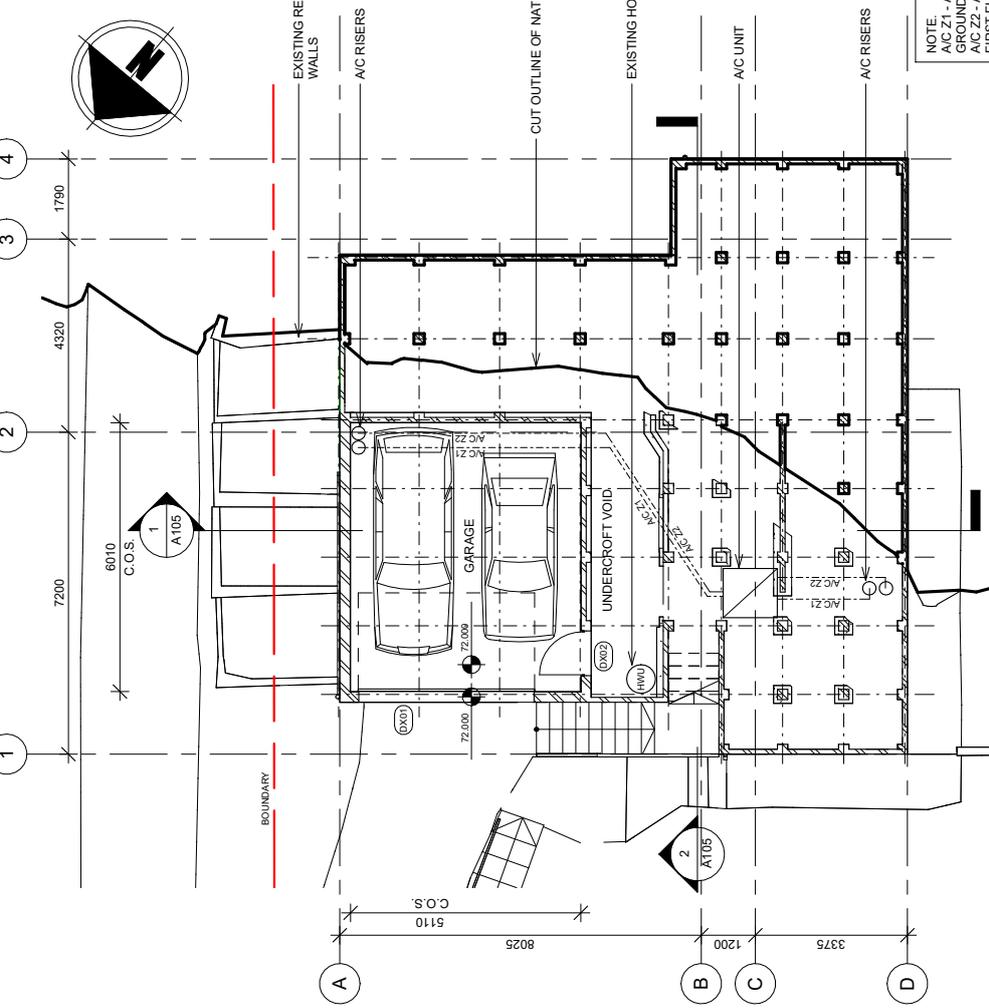
**1 SITE EXISTING**  
A101 1 : 200

**NOTE:**  
 THE PROPERTY IS LOCATED IN QUIET RESIDENTIAL AREA OF LOW TRAFFIC, ADJACENT LANE COVE PARK PROVIDES RELAXING RETREAT IN PRISTINE NATURAL ENVIRONMENT.  
 EXISTING BUILDING IS BRICK VENEER CONSTRUCTION WITH TILED CERAMIC ROOF. THE PROPOSED DEVELOPMENT RESPECTS EXISTING ENVIRONMENT AND DRAWS ON PROVIDED BY IT OPPORTUNITIES.  
 THE SUBJECT OF THE PROPOSED DEVELOPMENT IS FIRST FLOOR EXTENSION OVER THE EXISTING GROUND FLOOR DWELLING, WITH ADDITION OF REAR DECK WHICH IS LEVEL AND CONNECTED DIRECTLY WITH FIRST FLOOR. NEW FIRST FLOOR BALCONY FACING BELINDA CRESCENT AND LANE COVE PARK PROVIDES VISTAS AND DIRECT VISUAL CONNECTION WITH NATURAL ENVIRONMENT OF THE PARK.  
 ORIENTATION OF THE EXISTING BUILDING, AND SUBSEQUENTLY ITS FIRST FLOOR EXTENSION, PROVIDES OPPORTUNITY TO USE EXISTING CONDITIONS TO FACILITATE NATURAL CROSS VENTILATION AND FUTURE INSTALLATION OF NATURAL ENERGY HARVESTING TECHNOLOGY LIKE SOLAR PANELS.  
 THE SITE CONFIGURATION, STEEPLY STEPPING DOWN TOWARDS THE STREET, WITH ROCKY OUTCROPS, CALLS FOR CAREFUL CONSIDERATION REGARDING STORM WATER DRAINAGE. PROPOSED DOWNPIPES ARE CONNECTED TO EXISTING DOMESTIC STORM WATER SYSTEM AND THROUGH IT TO MUNICIPAL KERB GUTTER.



# ATTACHMENT 2 - ITEM 4

<b>CLIENT:</b> PEDRAM HESHMATI AND FARIN NAAD 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
<b>ARCHITECT:</b> Artin Design NSW ARE No. 8459 3/259a Castle Street Castle Hill NSW 2154 Phone: 0472660174 Mobile: 0407660173 artindesign97@gmail.com	
<b>CONSULTANT 1:</b> ENG LAND SERVICES	
<b>CONSULTANT 2:</b> EXACT ENGINEERS	
<b>CONSULTANT 3:</b>	
<b>PROJECT:</b> ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP211420	
<b>DRAWING TITLE:</b> GARAGE FLOOR PLAN EXISTING	
<b>DRAWING No.:</b> A102	<b>STAGE:</b> DA
<b>PROJECT No.:</b> 2502	<b>DATE CREATED:</b> 25.05.2025
<b>SIGNED:</b>	<b>DATE PLOTTED:</b> 10.09.2025
<b>DRAWN BY:</b> S.S.	<b>SIZE:</b> A3
<b>SCALE:</b> 1:100	<b>ISSUE:</b> C
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL CONTRACTS, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REUSE OR REPRODUCTION WITHOUT PERMISSION FROM ARTIN DESIGN.	

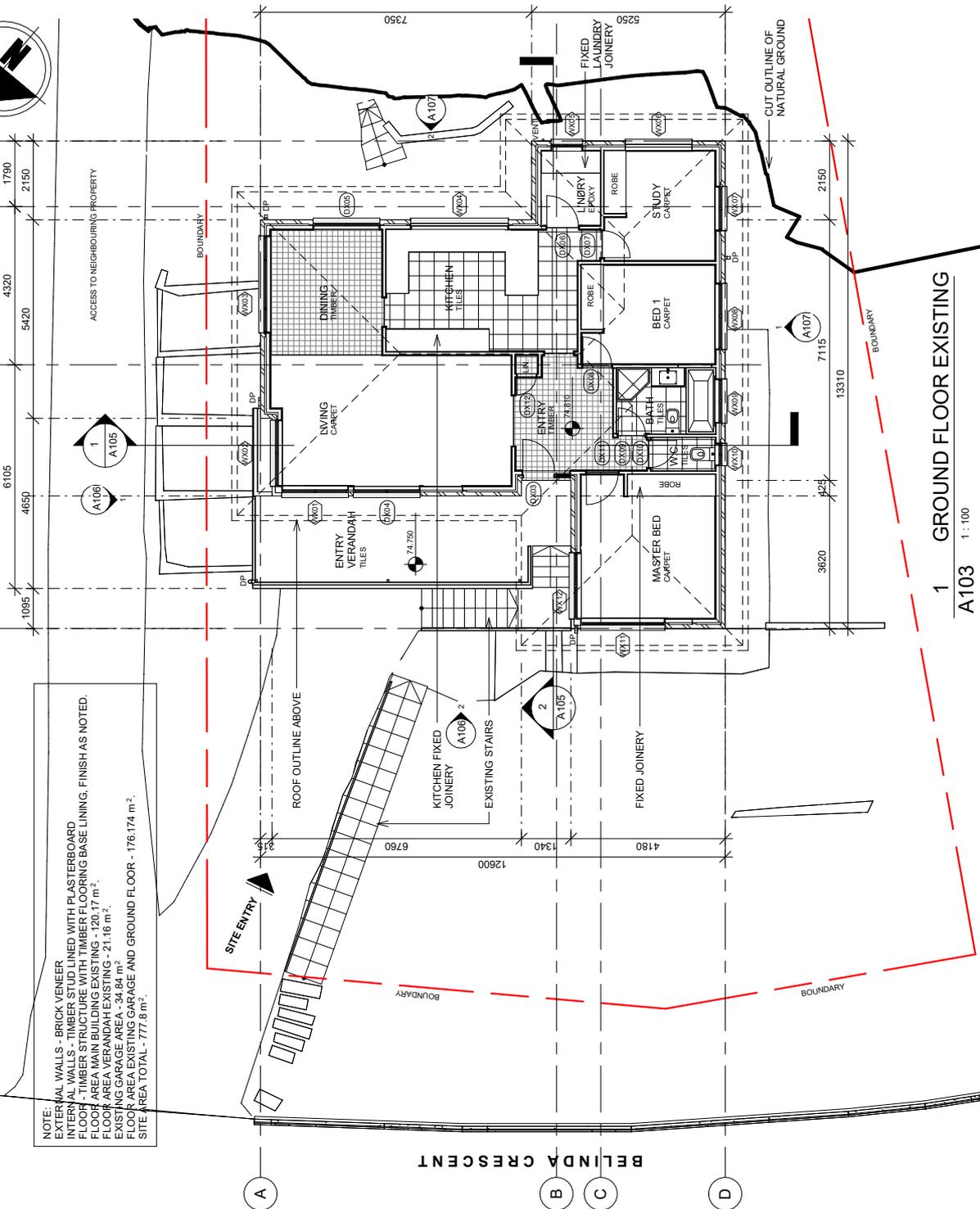


**NOTE.**  
 A/C Z1 - AIR CONDITION DUCT ZONE 1,  
 GROUND FLOOR  
 A/C Z2 - AIR CONDITION DUCT ZONE 2,  
 UNDERCROFT  
 EXACT LOCATION OF AIR CONDITIONING  
 SYSTEM ELEMENTS TO BE CONFIRMED.  
 EXISTING DIMENSIONS TO BE CONFIRMED  
 ON SITE.  
 UNDERCROFT SUPPORTING STRUCTURE  
 IS APPROXIMATE BASED ON LIMITED SITE  
 VISUAL SURVEY AND MAY NOT REFLECT  
 TRUE SITE CONDITIONS. TO BE  
 CONFIRMED ON SITE.  
 GARAGE AREA EXISTING (FSR) - 34.84 m<sup>2</sup>

**1 GARAGE FLOOR EXISTING**  
 A102 1:100

# ATTACHMENT 2 - ITEM 4

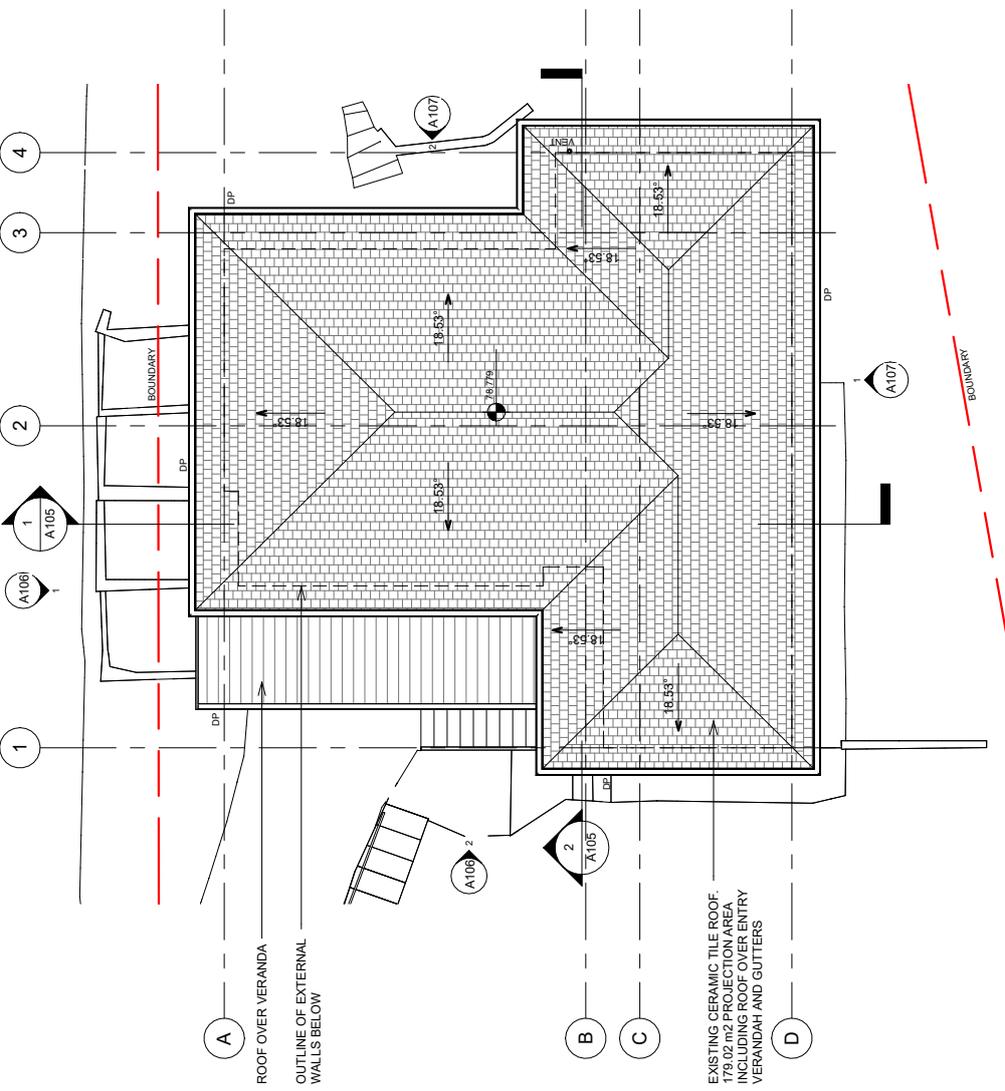
CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artin</b> Artin Design NSW ARE No. 8459 32/59a Castle Street Castle Hill NSW 2154 Ph: 02 9659 5499 Mob: 0407660173 artindesign87@gmail.com	CONSULTANT 1: <b>ENG LAND SERVICES</b>
CONSULTANT 2: <b>EXACT ENGINEERS</b>	CONSULTANT 3:
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-/DP 211420	
DRAWING TITLE: <b>GROUND FLOOR PLAN                  EXISTING</b>	
DRAWING No.: <b>A103</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S S</b>	SCALE: <b>1:100</b>
SIZE: <b>A3</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. ANY DISCREPANCIES TO BE REPORTED TO THE DESIGNER. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REPRODUCTION OR DISTRIBUTION IS PERMITTED WITHOUT PERMISSION FROM ARTIN DESIGN.	



**ATTACHMENT 2 - ITEM 4**



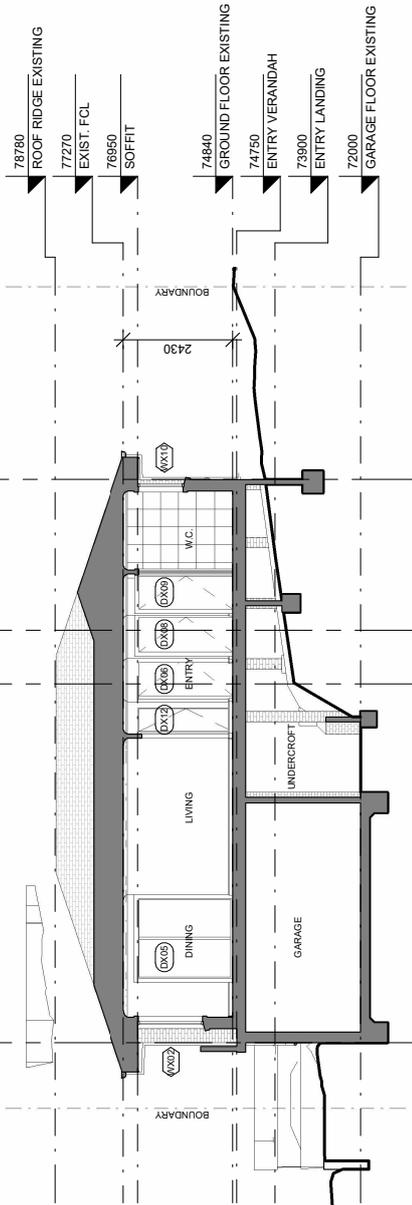
CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT:  Artin Design NSW ARE No. 8459 3/259a Castle Street Parramatta NSW 2154 Phone: 02 9639 4444 Mobile: 0407 660173 artin.design@artindesign.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-/DP-211420	
DRAWING TITLE: <b>ROOF PLAN EXISTING</b>	
DRAWING No.: <b>A104</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE: <b>1:100</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. REPRODUCED WITHOUT PERMISSION FROM ARTIN DESIGN.	



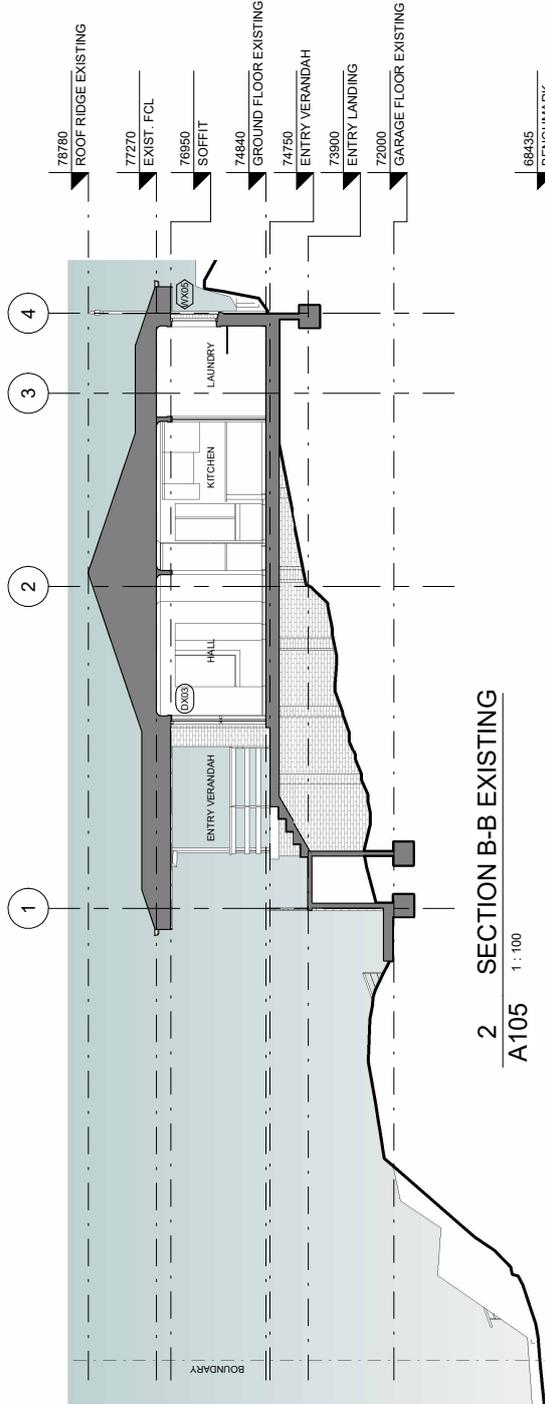
**1** ROOF PLAN EXISTING  
A104 1:100

# ATTACHMENT 2 - ITEM 4

CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artin</b> Artin Design NSW ARE No. 8459 3/259a Castle Street Castle Hill NSW 2154 Phone: 0407660173 Mobile: 0407660173 artindesign97@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE                  27 BELINDA CRESCENT, NORTH                  EPPING NSW 2121, 10/DP211420</b>	
DRAWING TITLE: <b>SECTION 1 AND SECTION                  2 EXISTING</b>	
DRAWING No.: <b>A105</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE: <b>1:100</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REUSE OR REPRODUCTION IS PERMITTED WITHOUT PERMISSION FROM ARTIN DESIGN.	



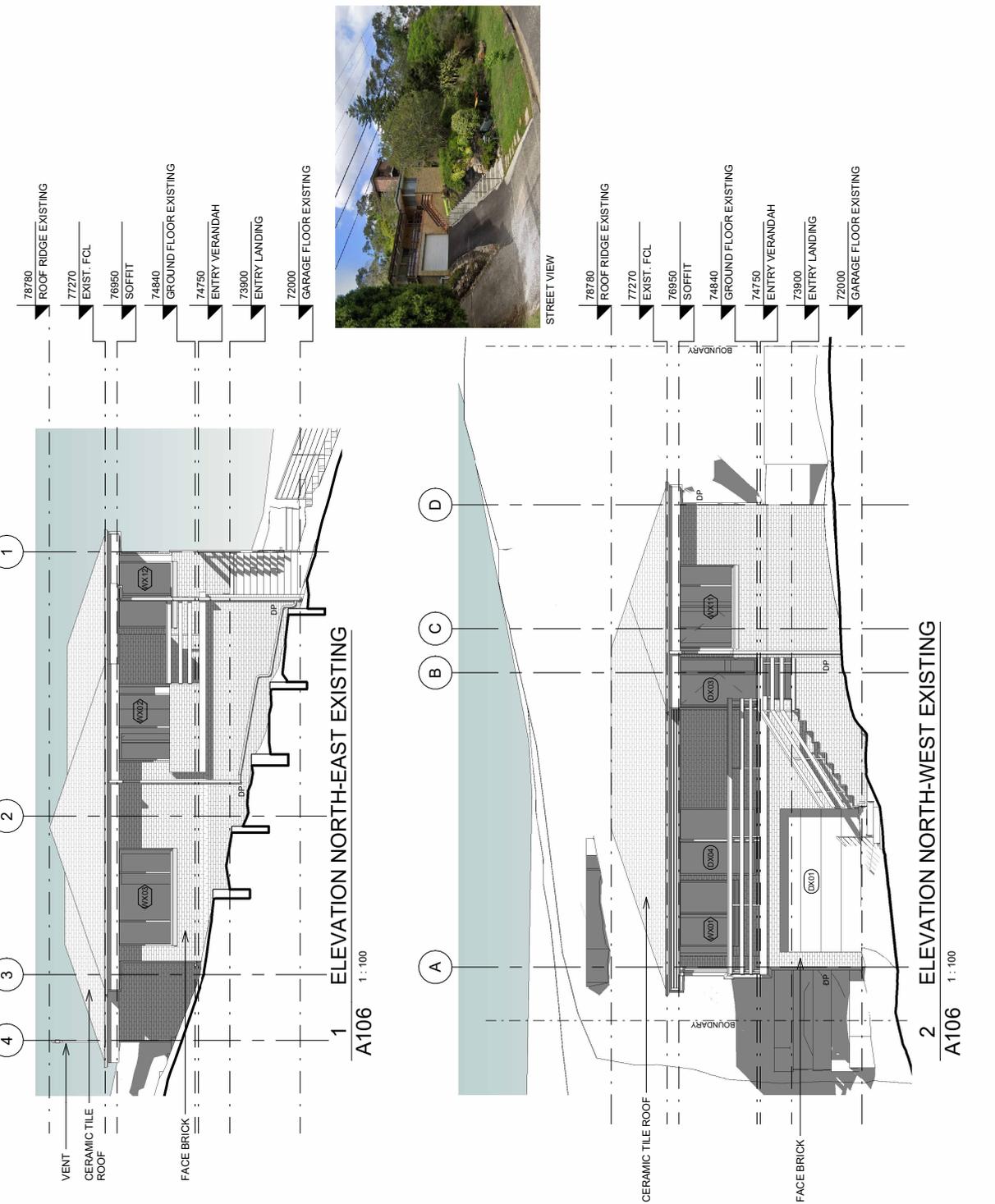
**1 SECTION A-A EXISTING**  
A105 1:100



**2 SECTION B-B EXISTING**  
A105 1:100

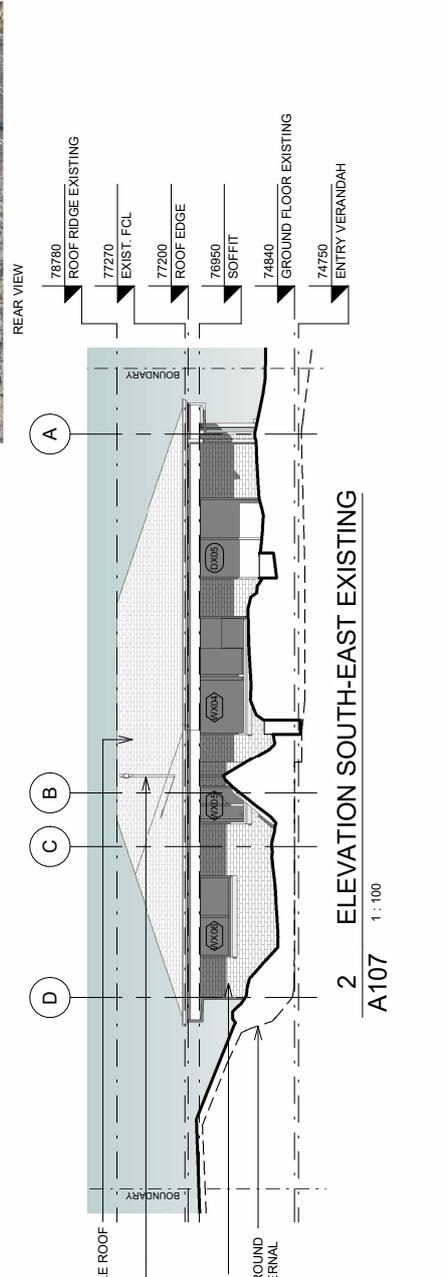
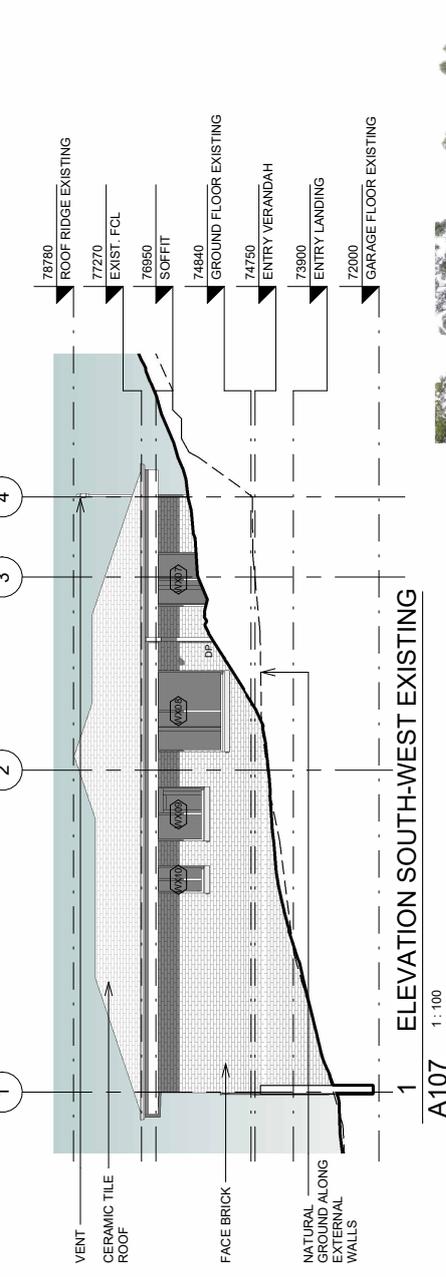
# ATTACHMENT 2 - ITEM 4

CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT:  Artin Design NSW ARB No. 8469 3/259a Castle Street Parramatta NSW 2124 Ph: (02) 9691 1733 M: (040) 266 0173 artindesign97@gmail.com	
CONSULTANT 1:	<b>ENG LAND SERVICES</b>
CONSULTANT 2:	<b>EXACT ENGINEERS</b>
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-DP-211420	
DRAWING TITLE: <b>ELEVATIONS EXISTING</b>	
DRAWING No.:	STAGE: <b>A106 DA</b>
PROJECT No.:	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY:	SCALE: <b>S.S. A3 1:100</b>
ISSUE:	<b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. ALL RIGHTS RESERVED. WITHOUT PERMISSION FROM ARTIN DESIGN.	



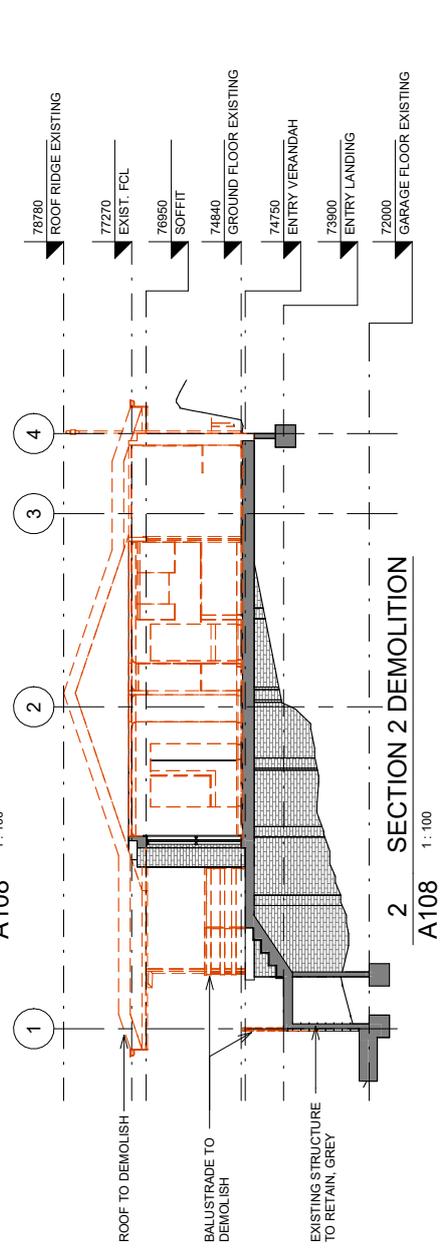
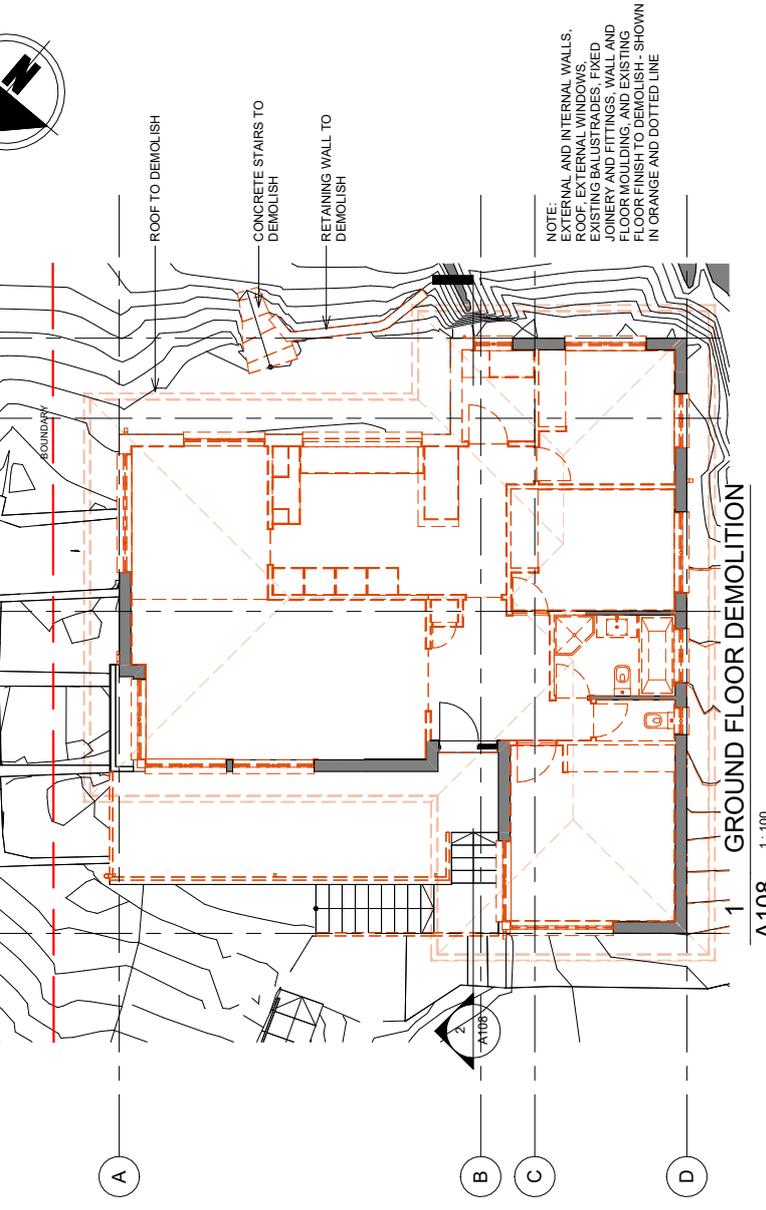
**ATTACHMENT 2 - ITEM 4**

CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artim</b> Artin Design NSW ABE No. 8439 3/259a Castle Street Parramatta NSW 2154 Phone: 02 9669 1734 Mobile: 0402660173 artindesign97@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	CONSULTANT 2: <b>EXACT ENGINEERS</b>
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP-211420	
DRAWING TITLE: <b>ELEVATIONS EXISTING</b>	
DRAWING No.: <b>A107</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE: <b>1:100</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE PROJECT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NOT TO BE REPRODUCED OR COPIED WITHOUT PERMISSION FROM ARTIN DESIGN.	



**ATTACHMENT 2 - ITEM 4**

CLIENT: <b>PEDRAM HESHMATTI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artim</b> Artin Design NSW ARE No. 8439 3/259a Castle Street Parramatta NSW 2154 Phone: 02 9639 4444 Fax: 02 9639 4444 Mobs: 0407660173 artindesign97@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP211420	
DRAWING TITLE: <b>PLAN AND SECTION 2                  DEMOLITION</b>	
DRAWING No.: <b>A108</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE: <b>1: 100</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY TO THE DESIGNER. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REUSE OR REPRODUCTION OF THIS DRAWING IS PERMITTED WITHOUT PERMISSION FROM ARTIN DESIGN.	



**ATTACHMENT 2 - ITEM 4**

<p><b>CLIENT:</b> PEDRAM HESHMATI AND FARIN NAAD 27 BELINDA CRESCENT, NORTH EPPING NSW 2121</p> <p><b>ARCHITECT:</b> artlin Artlin Design NSW ABN No. 8459 32/58a Castle Street Castle Hill NSW 2154 Ph: 02 9659 5499 Mob: 0407660173 a.r.lin.design@gmail.com</p>	
<p><b>CONSULTANT 1:</b> <b>ENG LAND SERVICES</b></p>	<p><b>CONSULTANT 2:</b> <b>EXACT ENGINEERS</b></p>
<p><b>CONSULTANT 3:</b></p>	
<p><b>PROJECT:</b> <b>ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE 27 BELINDA CRESCENT, NORTH, EPPING NSW 2121, 104/DP211420</b></p>	
<p><b>DRAWING TITLE:</b> <b>SEDIMENT, EROSION AND WASTE MANAGEMENT PLAN</b></p>	
<p><b>DRAWING No.:</b> <b>A109</b></p>	<p><b>STAGE:</b> <b>DA</b></p>
<p><b>PROJECT No.:</b> <b>2502</b></p>	<p><b>DATE CREATED:</b> <b>25.05.2025</b></p>
<p><b>SIGNED:</b></p>	<p><b>DATE PLOTTED:</b> <b>10.09.2025</b></p>
<p><b>DRAWN BY:</b> AS <b>SCALE:</b> As <b>ISSUE:</b> C</p>	<p><b>PROJECT No.:</b> <b>2502</b></p>
<p><b>THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS AND DIMENSIONS TO BE CONFIRMED ON SITE. REPORT DISCREPANCIES TO DESIGNER.</b></p> <p><b>COPYRIGHT IS PROPERTY OF ARTLIN DESIGN DO NOT REPRODUCE WITHOUT PERMISSION FROM ARTLIN DESIGN.</b></p>	

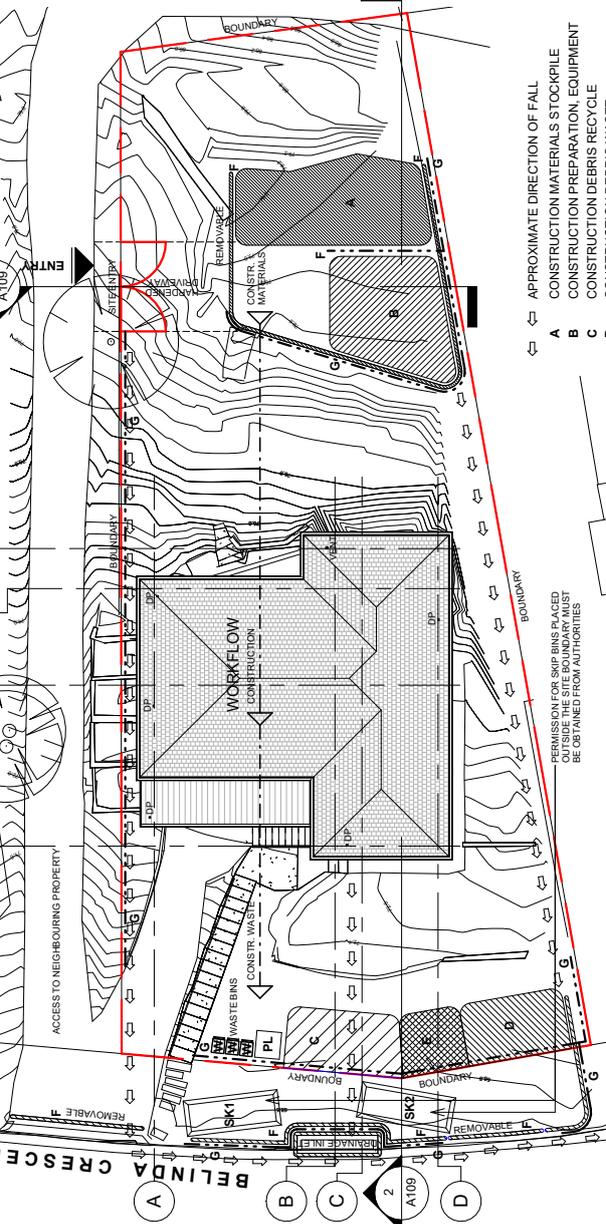
**EROSION SEDIMENT AND WASTE CONTROL NOTES:**

- EXISTING ENTRY/EXIT TO THE SITE FROM BELINDA CRESCENT IS HARD CONCRETE SURFACE. NEW FORMED SITE ENTRY/EXIT, FROM DRIVEWAY TO NEIGHBOURING PROPERTY, TO BE PROTECTED WITH TRAFFICABLE HEAVY DUTY BOOPAVE MESH OR SIMILAR, REMOVED AT COMPLETION. SITE TO BE MADE GOOD. BUILDING DEBRIS REMOVED FROM SITE USING THE BIN SYSTEM. NO WASHING ALLOWED.
- GRAVEL SAUSAGES (TYPE 2) INSTALLED AT THE DOWNSLOPE SIDES OF STOCKPILES, ALONG THE SITE BOUNDARY AND STREET DRAIN INLETS, AS SHOWN.
- EXISTING NEW DOWNPIPES ENTRY POINTS AT GROUND LEVEL TO BE CAPPED DURING CONSTRUCTION. WHEN THE NEW DOWNPIPER CONNECTED, POSSIBLE BY TEMPORARY OR PERMANENT DOWNPIPES (TYPE 3).
- SEDIMENT FENCE (TYPE 1) INSTALLED ALONG DOWNSLOPE SITE BOUNDARY AND STOCKPILES, AS INDICATED.
- REMOVABLE GRAVEL SAUSAGES INSTALLED AT THE SITE ENTRY/EXIT POINTS.
- EXISTING LANDSCAPE AREA ACTS AS A SEDIMENT FILTER. TO BE MAINTAINED. CONSTRUCTION TO BE LIMITED TO THIS AREA TO ENSURE REGULARITY TO ENSURE THEIR EFFECTIVENESS.
- STOCKPILES OF CONSTRUCTION MATERIALS OR DEBRIS TO BE PROTECTED WITH WATERPROOF COVER.
- RECYCLING AND NON-RECYCLING WASTE BINS TO BE PROVIDED FOR USE BY CONSTRUCTION STAFF.
- PORTALOOS FOR CONSTRUCTION STAFF USE TO BE MAINTAINED REGULARLY AS WASTE RESULTING FROM DEMOLITION OR CONSTRUCTION, IF NOT SUITABLE FOR REUSE WILL BE SHORT TERM STORED ON SITE AS INDICATED, AND REMOVED REGULARLY BY SEPARATE CONTRACTOR.
- PROPOSED DEVELOPMENT DOES NOT RESULT IN INCREASE IN GENERATING OF WASTE AND EXISTING WASTE STORAGE AND WASTE COLLECTION ONGOING ARRANGEMENTS ARE MAINTAINED.
- FOR ASSESSMENT OF SOIL STABILITY, REFER TO GEOTECHNICAL REPORT S2526 \_S05\_01\_Rev0 BY FORTIFY GEOTECH.

www.dialbeforeyoudig.com.au



VERIFY EXISTENCE OF UNDERGROUND SERVICES BY POT-HOLING USING APPROPRIATE METHODS OF EXCAVATION TO AVOID DAMAGE TO SERVICES. OBTAIN FROM "CALL DIAL BEFORE YOU DIG" UPDATE OF LOCATION OF SERVICES BEFORE COMMENCEMENT OF EARTHWORKS.



**1 SEDIMENT EROSION AND WASTE MANAGEMENT PLAN**

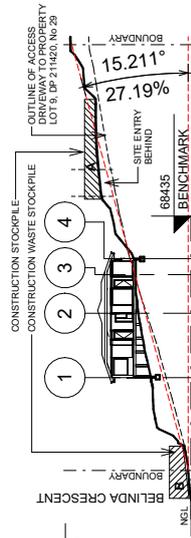
A109 1:200



KERB GUTTER

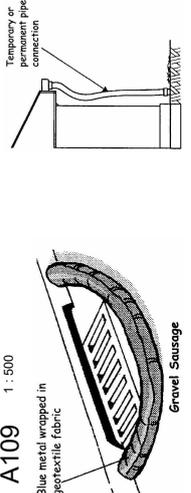
**NOTE:**  
THE PLAN IS BASED ON TOPOGRAPHY DRAWING 24/03/2024 PROVIDED ON SURVEY SERVICES. 200mm INTERVALS BY 200mm INTERVALS. CONTOURS ST AT 200 mm INTERVALS.  
ALL CONDITIONS MUST BE VERIFIED ON SITE.

- ⇔ APPROXIMATE DIRECTION OF FALL
- A CONSTRUCTION MATERIALS STOCKPILE
- B CONSTRUCTION PREPARATION, EQUIPMENT
- C CONSTRUCTION DEBRIS RECYCLE
- D CONSTRUCTION DEBRIS WASTE
- E CONSTRUCTION DEBRIS SORTING
- F GRAVEL SAUSAGE, TYPE 2
- G SEDIMENT FENCE, TYPE 1
- SK1 SKIP BIN RECYCLE
- SK2 SKIP BIN WASTE
- PL PORTALOO
- W WASTE BINS GENERAL AND RECYCLE WASTE

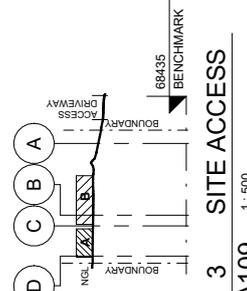


**2 LONG SECTION**

A109 1:500



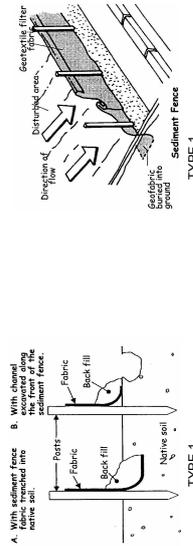
Gravel Sausage TYPE 2



**3 SITE ACCESS**

A109 1:500

**SEDIMENT AND EROSION CONTROL MEASURES**





**STORM WATER MANAGEMENT PLAN NOTES**

THE OUTLINES OF ROOFS ARE PLAN PROJECTIONS OF THE ROOF AREAS INCLUDING GUTTERS (RAIN WATER COLLECTING SURFACE).

EXISTING ROOF AREA, INCLUDING AWNING OVER FRONT VERANDAH - 179.02 m<sup>2</sup>

PROPOSED ROOF AREA, INCLUDING PARAPET WALLS, SERVED BY STORM WATER SYSTEM - 169.2 m<sup>2</sup>

AREA OF AWNING OVER DECK, NOT SERVED BY STORM WATER SYSTEM - 14.76 m<sup>2</sup>

TOTAL ROOF AREA EXISTING - 179.02 m<sup>2</sup>

TOTAL PROPOSED ROOF AREA - 183.96 m<sup>2</sup>

THE TOTAL PROPOSED ROOF AREA IS ONLY SLIGHTLY BIGGER THAN THE EXISTING ROOF AREA, THEREFORE IT IS NOT ANTICIPATED TO CAUSE AN INCREASE IN LOAD ON EXISTING MUNICIPAL STORM WATER SYSTEM.

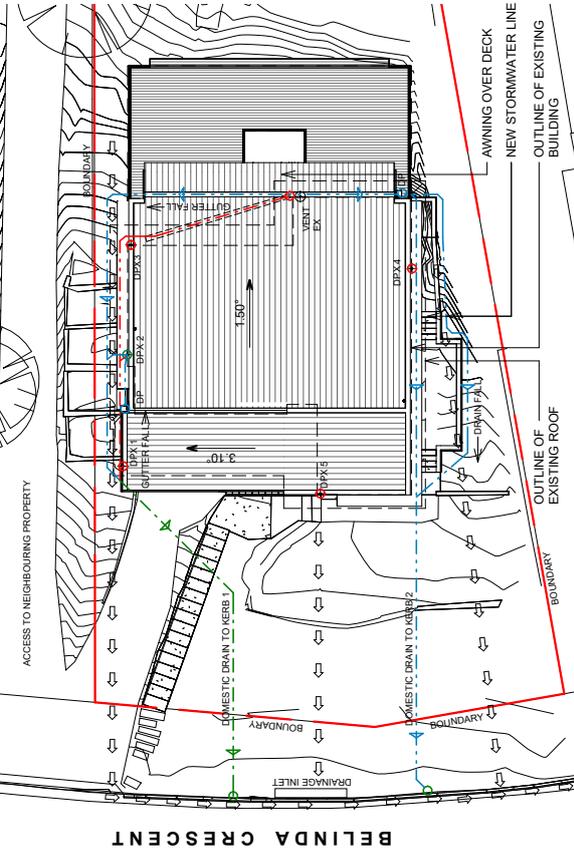
ONLY EXISTING DOWNPIPES DPX 1, DPX 2 AND DPX 4 SEEM TO BE CONNECTED TO UNDERGROUND STORM WATER SYSTEM. REMAINING EXISTING DOWNPIPES ARE TERMINATED ABOVE GROUND AND SHED WATER TO THE SURFACE.

EXISTING STORM WATER SYSTEM TO BE DEMOLISHED AND DISCONNECTED. NEW SUBSURFACE DRAIN AND DOWNPIPE FROM GUTTERS OF NEW ROOF TO BE CONNECTED TO EXISTING UNDERGROUND STORM WATER SYSTEM AND DIRECTED TO KERB GUTTER ALONG BELINDA CRESCENT.

AWNING OVER PROPOSED DECK IS OF SMALL AREA AND IS NOT FITTED WITH GUTTERING SYSTEM. SHEDDING WATER DIRECTLY TO THE DECK BELOW, AND FROM THERE DOWN TO THE A/G DRAIN BELOW.

EXISTING LANDSCAPING IS ESTABLISHED AND DOES NOT GREAT RISK OF SOIL EROSION CAUSED BY RAIN. AREA OF SOIL AT THE BACK AND CLOTHES DRYING AREA IS SERVED BY PROPOSED SUBSURFACE DRAIN, CONNECTED TO THE NEW SUBSURFACE DRAIN SYSTEM. REFER TO THE GUTTER ALONG THE BELINDA CRESCENT. REFER TO GEOTECHNICAL REPORT S2636\_SCS\_01\_Rev0, BY FORTIFY GEOTECH.

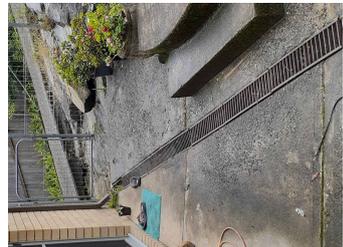
STORM WATER DISPOSAL SYSTEM TO BE VERIFIED AND DESIGNED BY HYDRAULIC ENGINEER.



**1 STORM WATER MANAGEMENT PLAN**

A111 1:200

- ↔ APPROXIMATE DIRECTION OF FALL
- EXISTING DOWNPIPES AND ASSUMED UNDERGROUND STORMWATER LINE. TO BE DISCONNECTED.
- NEW DOWNPIPES AND PROPOSED STORMWATER LINE
- EXISTING DOWNPIPES AND STORMWATER LINE TO RETAIN, RECONNECT TO NEW STORM WATER LINE
- DPX EXISTING DOWNPIPES
- DP NEW DOWNPIPES



DPX 1



DPX 2



DPX 5



DPX 4

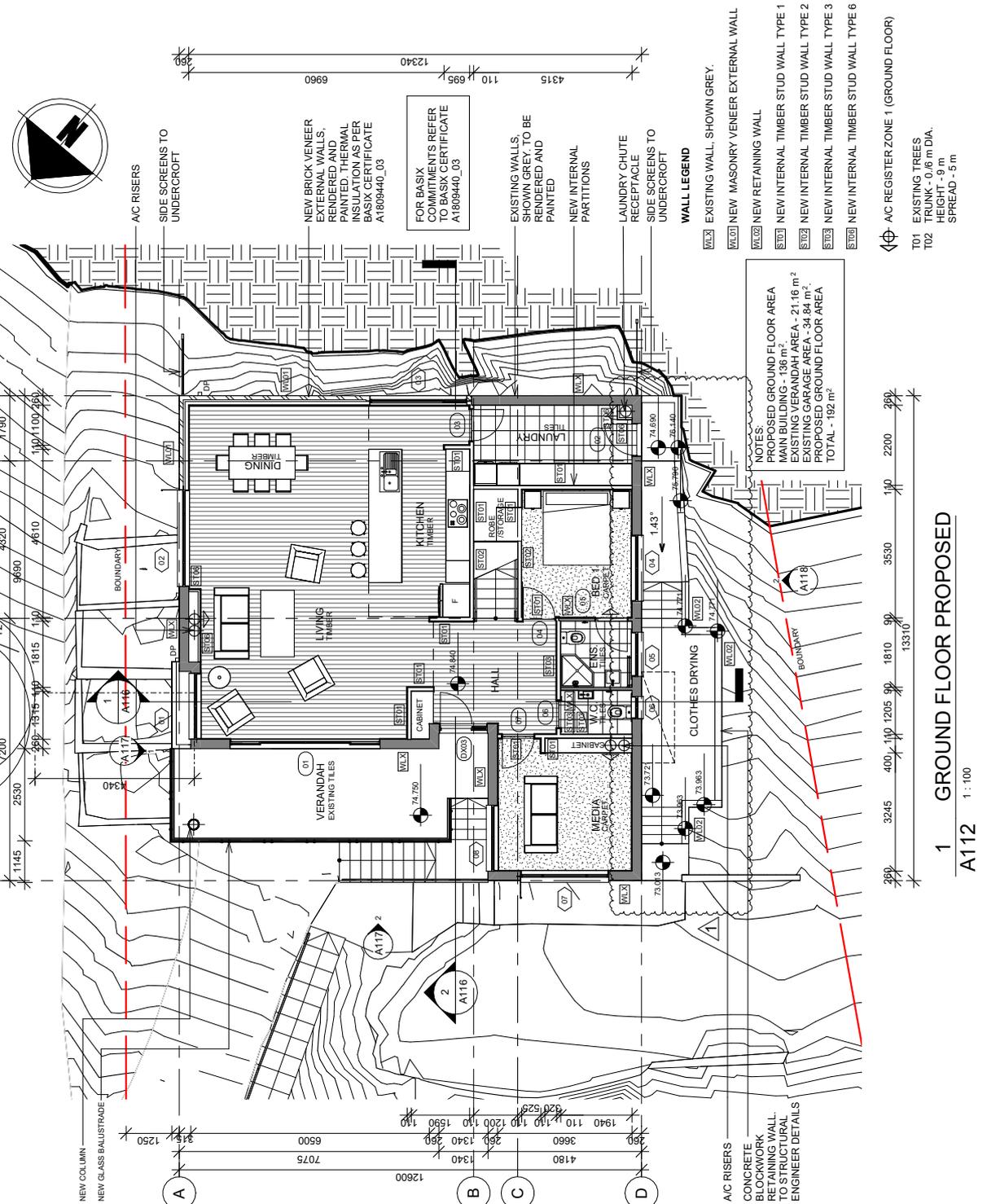


DPX 3

CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artim</b> Artin Design NSW ARB No. 8459 3/259a Castle Street Parramatta NSW 2154 Phone: 0407669173 Mobs: 0407669173 artin@design97@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-/DP-211420	
DRAWING TITLE: <b>STORM WATER                  MANAGEMENT PLAN</b>	
DRAWING No.:	STAGE:
<b>A111</b>	<b>DA</b>
PROJECT No.:	DATE CREATED:
<b>2502</b>	<b>25.05.2025</b>
SIGNED:	DATE PLOTTED:
<i>[Signature]</i>	<b>10.09.2025</b>
DRAWN BY:	SCALE:
<b>S.S.</b>	<b>1:200</b>
SIZE:	ISSUE:
<b>A3</b>	<b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIM DESIGN. NO REUSE OR REPRODUCTION IS PERMITTED WITHOUT PERMISSION FROM ARTIM DESIGN.	

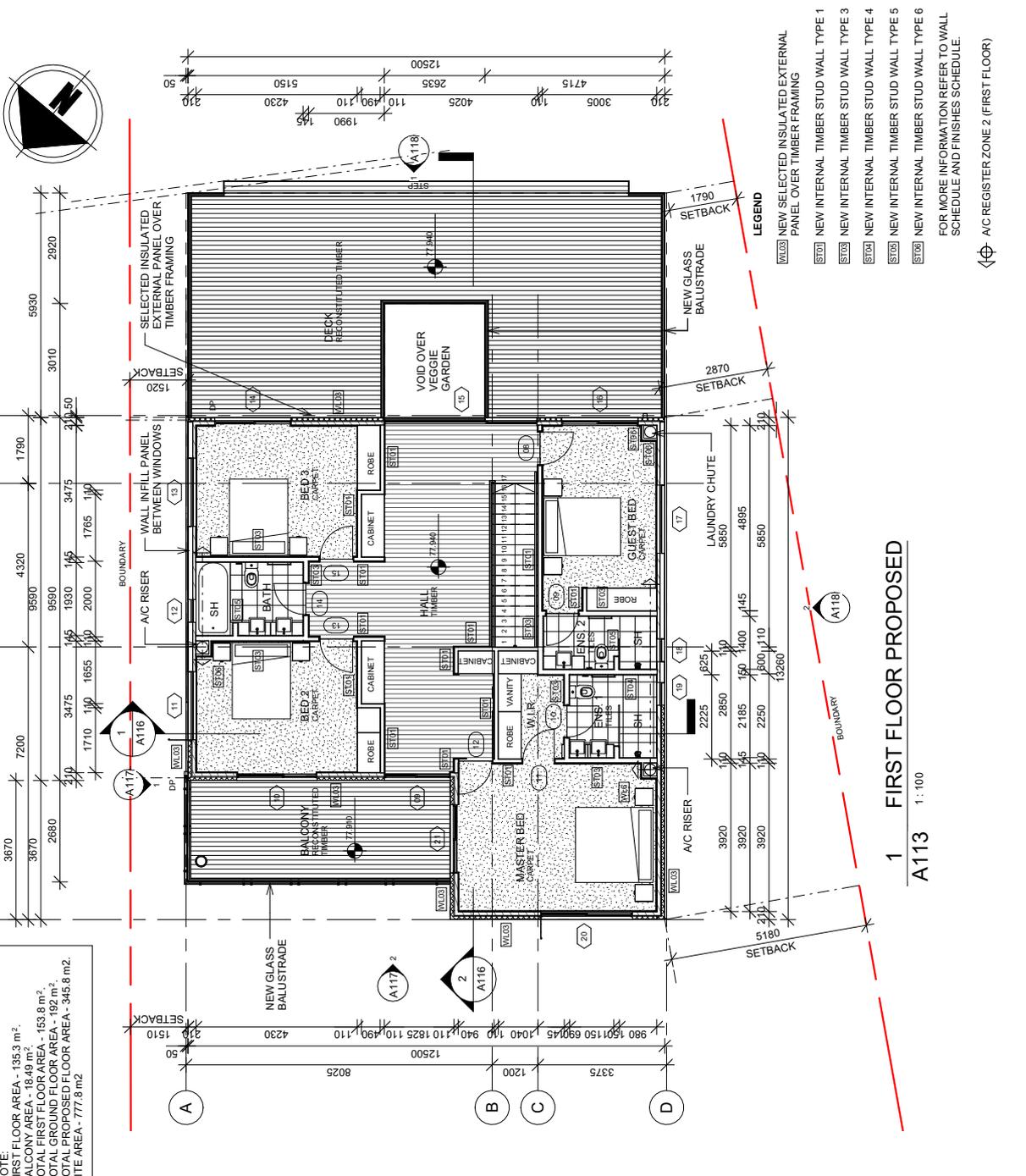
ATTACHMENT 2 - ITEM 4

CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artin</b> Artin Design NSW ARE No. 8459 32/59a Castle Street Castle Hill NSW 2154 Ph: 02 9659 5499 Mob: 0407660173 artindesign87@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP-211420	
DRAWING TITLE: <b>GROUND FLOOR PLAN                  PROPOSED</b>	
DRAWING No.: <b>A112</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: 11.01.2026
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE: <b>1:100</b>	ISSUE: <b>D</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT PERMISSION FROM ARTIN DESIGN.	



ATTACHMENT 2 - ITEM 4

CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artin</b> Artin Design NSW ARE No. 8459 32/59a Castle Street Castle Hill NSW 2154 Ph: 02 9659 5499 Mob: 0407660173 artindesign87@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP-211420	
DRAWING TITLE: <b>FIRST FLOOR PLAN                  PROPOSED</b>	
DRAWING No.: <b>A113</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SCALE: <b>1 : 100</b>
SIZE: <b>A3</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REUSE OR REPRODUCTION OF THIS DRAWING IS PERMITTED WITHOUT PERMISSION FROM ARTIN DESIGN.	

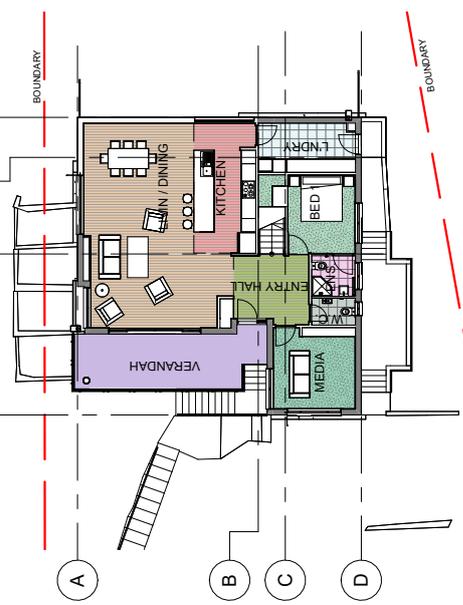


# ATTACHMENT 2 - ITEM 4

<b>ROOM SCHEDULE</b> <table border="1"> <thead> <tr> <th>NAME</th> <th>LEVEL</th> <th>AREA</th> </tr> </thead> <tbody> <tr><td>LIVIN / DINING</td><td>GROUND FLOOR</td><td>48.58 m<sup>2</sup></td></tr> <tr><td>EXISTING</td><td>EXISTING</td><td></td></tr> <tr><td>ENTRY HALL</td><td>GROUND FLOOR</td><td>11.81 m<sup>2</sup></td></tr> <tr><td>EXISTING</td><td>EXISTING</td><td></td></tr> <tr><td>BED 1</td><td>GROUND FLOOR</td><td>13.88 m<sup>2</sup></td></tr> <tr><td>EXISTING</td><td>EXISTING</td><td></td></tr> <tr><td>L'NDRY</td><td>GROUND FLOOR</td><td>9.33 m<sup>2</sup></td></tr> <tr><td>EXISTING</td><td>EXISTING</td><td></td></tr> <tr><td>MEDIA</td><td>GROUND FLOOR</td><td>13.35 m<sup>2</sup></td></tr> <tr><td>EXISTING</td><td>EXISTING</td><td></td></tr> <tr><td>W.C.</td><td>GROUND FLOOR</td><td>2.34 m<sup>2</sup></td></tr> <tr><td>EXISTING</td><td>EXISTING</td><td></td></tr> <tr><td>ENS.</td><td>GROUND FLOOR</td><td>3.52 m<sup>2</sup></td></tr> <tr><td>EXISTING</td><td>EXISTING</td><td></td></tr> <tr><td>KITCHEN</td><td>GROUND FLOOR</td><td>15.99 m<sup>2</sup></td></tr> <tr><td>EXISTING</td><td>EXISTING</td><td></td></tr> <tr><td>VERANDAH</td><td>GROUND FLOOR</td><td>21.11 m<sup>2</sup></td></tr> <tr><td>EXISTING</td><td>EXISTING</td><td></td></tr> <tr><td>HALL</td><td>FIRST FLOOR</td><td>33.32 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>MASTER BED</td><td>FIRST FLOOR</td><td>20.24 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>W.I.R.</td><td>FIRST FLOOR</td><td>4.50 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>GUEST BED</td><td>FIRST FLOOR</td><td>14.54 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>BED 2</td><td>FIRST FLOOR</td><td>15.56 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>BED 3</td><td>FIRST FLOOR</td><td>15.72 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>ENS. 1</td><td>FIRST FLOOR</td><td>4.98 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>ENS. 2</td><td>FIRST FLOOR</td><td>4.16 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>BATH</td><td>FIRST FLOOR</td><td>5.41 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>BALCONY</td><td>FIRST FLOOR</td><td>18.20 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> <tr><td>DECK</td><td>FIRST FLOOR</td><td>66.78 m<sup>2</sup></td></tr> <tr><td>PROPOSED</td><td>PROPOSED</td><td></td></tr> </tbody> </table>		NAME	LEVEL	AREA	LIVIN / DINING	GROUND FLOOR	48.58 m <sup>2</sup>	EXISTING	EXISTING		ENTRY HALL	GROUND FLOOR	11.81 m <sup>2</sup>	EXISTING	EXISTING		BED 1	GROUND FLOOR	13.88 m <sup>2</sup>	EXISTING	EXISTING		L'NDRY	GROUND FLOOR	9.33 m <sup>2</sup>	EXISTING	EXISTING		MEDIA	GROUND FLOOR	13.35 m <sup>2</sup>	EXISTING	EXISTING		W.C.	GROUND FLOOR	2.34 m <sup>2</sup>	EXISTING	EXISTING		ENS.	GROUND FLOOR	3.52 m <sup>2</sup>	EXISTING	EXISTING		KITCHEN	GROUND FLOOR	15.99 m <sup>2</sup>	EXISTING	EXISTING		VERANDAH	GROUND FLOOR	21.11 m <sup>2</sup>	EXISTING	EXISTING		HALL	FIRST FLOOR	33.32 m <sup>2</sup>	PROPOSED	PROPOSED		MASTER BED	FIRST FLOOR	20.24 m <sup>2</sup>	PROPOSED	PROPOSED		W.I.R.	FIRST FLOOR	4.50 m <sup>2</sup>	PROPOSED	PROPOSED		GUEST BED	FIRST FLOOR	14.54 m <sup>2</sup>	PROPOSED	PROPOSED		BED 2	FIRST FLOOR	15.56 m <sup>2</sup>	PROPOSED	PROPOSED		BED 3	FIRST FLOOR	15.72 m <sup>2</sup>	PROPOSED	PROPOSED		ENS. 1	FIRST FLOOR	4.98 m <sup>2</sup>	PROPOSED	PROPOSED		ENS. 2	FIRST FLOOR	4.16 m <sup>2</sup>	PROPOSED	PROPOSED		BATH	FIRST FLOOR	5.41 m <sup>2</sup>	PROPOSED	PROPOSED		BALCONY	FIRST FLOOR	18.20 m <sup>2</sup>	PROPOSED	PROPOSED		DECK	FIRST FLOOR	66.78 m <sup>2</sup>	PROPOSED	PROPOSED	
NAME	LEVEL	AREA																																																																																																																										
LIVIN / DINING	GROUND FLOOR	48.58 m <sup>2</sup>																																																																																																																										
EXISTING	EXISTING																																																																																																																											
ENTRY HALL	GROUND FLOOR	11.81 m <sup>2</sup>																																																																																																																										
EXISTING	EXISTING																																																																																																																											
BED 1	GROUND FLOOR	13.88 m <sup>2</sup>																																																																																																																										
EXISTING	EXISTING																																																																																																																											
L'NDRY	GROUND FLOOR	9.33 m <sup>2</sup>																																																																																																																										
EXISTING	EXISTING																																																																																																																											
MEDIA	GROUND FLOOR	13.35 m <sup>2</sup>																																																																																																																										
EXISTING	EXISTING																																																																																																																											
W.C.	GROUND FLOOR	2.34 m <sup>2</sup>																																																																																																																										
EXISTING	EXISTING																																																																																																																											
ENS.	GROUND FLOOR	3.52 m <sup>2</sup>																																																																																																																										
EXISTING	EXISTING																																																																																																																											
KITCHEN	GROUND FLOOR	15.99 m <sup>2</sup>																																																																																																																										
EXISTING	EXISTING																																																																																																																											
VERANDAH	GROUND FLOOR	21.11 m <sup>2</sup>																																																																																																																										
EXISTING	EXISTING																																																																																																																											
HALL	FIRST FLOOR	33.32 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
MASTER BED	FIRST FLOOR	20.24 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
W.I.R.	FIRST FLOOR	4.50 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
GUEST BED	FIRST FLOOR	14.54 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
BED 2	FIRST FLOOR	15.56 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
BED 3	FIRST FLOOR	15.72 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
ENS. 1	FIRST FLOOR	4.98 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
ENS. 2	FIRST FLOOR	4.16 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
BATH	FIRST FLOOR	5.41 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
BALCONY	FIRST FLOOR	18.20 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
DECK	FIRST FLOOR	66.78 m <sup>2</sup>																																																																																																																										
PROPOSED	PROPOSED																																																																																																																											
<b>CLIENT:</b> PEDRAM HESHMATTI AND FARIN NAAD 27 BELINDA CRESCENT, NORTH EPPING NSW 2121																																																																																																																												
<b>ARCHITECT:</b>  Artin Design NSW ABN No. 8469 3/259a Castle Street Parramatta NSW 2154 Phone: 02 9669 1234 Mobile: 0407 669173 artindesign97@gmail.com																																																																																																																												
<b>CONSULTANT 1:</b> ENG LAND SERVICES																																																																																																																												
<b>CONSULTANT 2:</b> EXACT ENGINEERS																																																																																																																												
<b>CONSULTANT 3:</b>																																																																																																																												
<b>PROJECT:</b> ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-DP-211420																																																																																																																												
<b>DRAWING TITLE:</b> ROOM AREAS																																																																																																																												
<b>DRAWING No.:</b> A114	<b>STAGE:</b> DA																																																																																																																											
<b>PROJECT No.:</b> 2502	<b>DATE CREATED:</b> 25.05.2025																																																																																																																											
<b>SIGNED:</b>	<b>DATE PLOTTED:</b> 10.09.2025																																																																																																																											
<b>DRAWN BY:</b> S.S.	<b>SIZE:</b> A3																																																																																																																											
<b>SCALE:</b> 1:200	<b>ISSUE:</b> C																																																																																																																											
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.																																																																																																																												
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REUSE OR REPRODUCTION WITHOUT PERMISSION FROM ARTIN DESIGN.																																																																																																																												

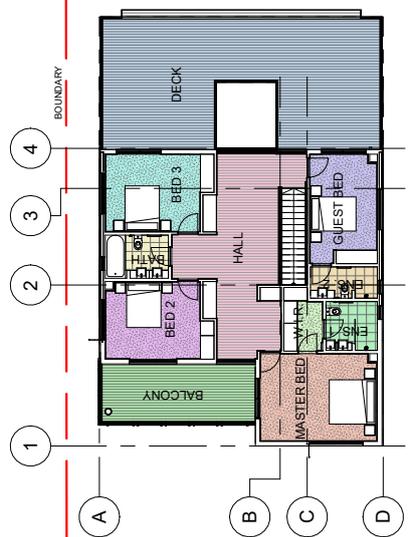
**ROOM SCHEDULE**

**ROOM LEGEND**



1 GROUND FLOOR PROPOSED ROOMS  
A114 1:200

**ROOM LEGEND**

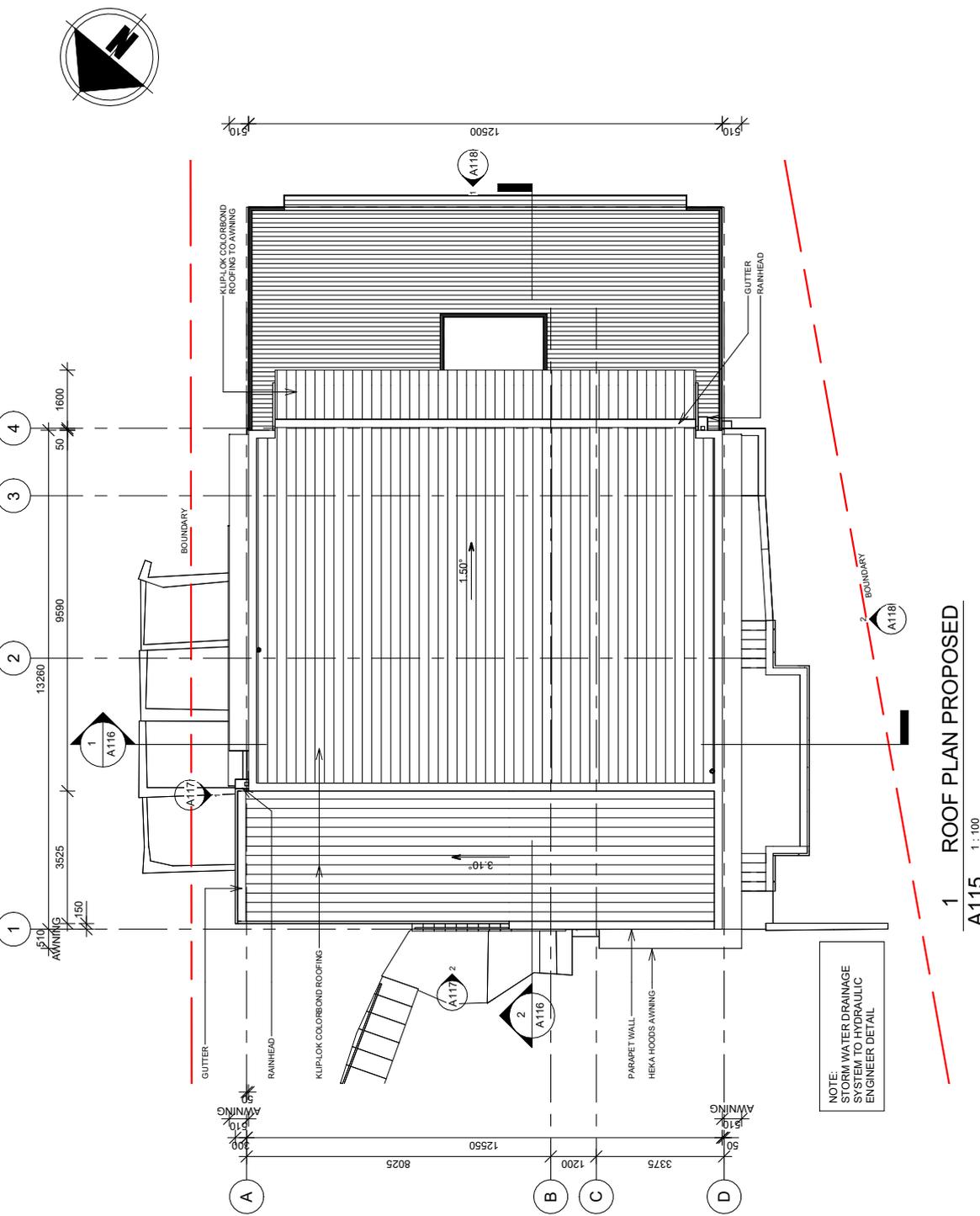


2 FIRST FLOOR PROPOSED ROOMS  
A114 1:200

NOTE:  
ROOM AREAS ARE MEASURED WITHIN  
INTERNAL FACES OF WALLS



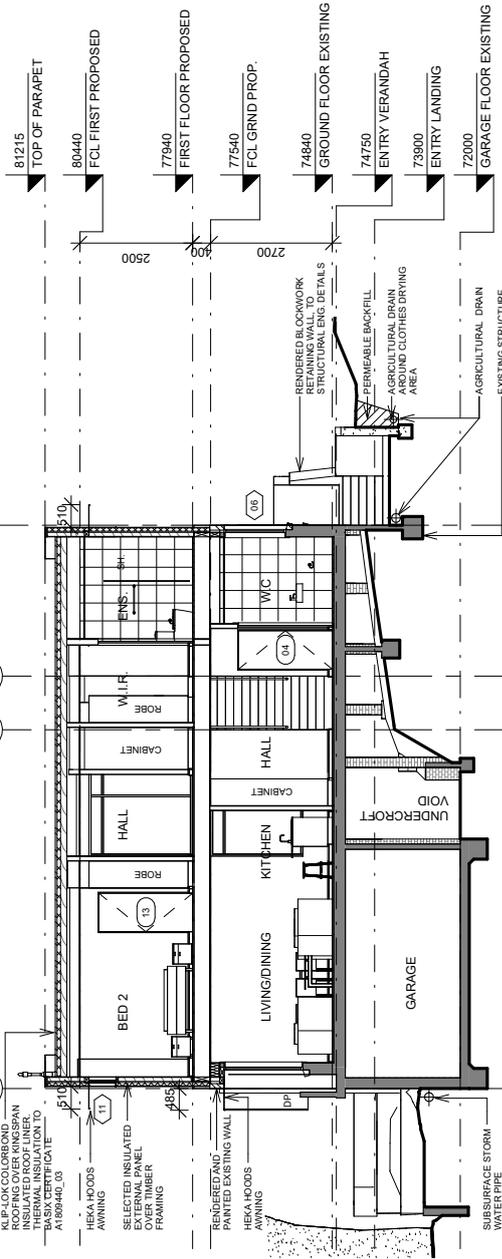
CLIENT: <b>PEDRAM HESHMATTI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT:  Artin Design NSW ARE No. 8489 3/258a Castle Street Castle Hill NSW 2154 Phone: 02 9639 1178 Mobile: 0407660173 artin.design@1@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP-211420	
DRAWING TITLE: <b>ROOF PLAN PROPOSED</b>	
DRAWING No.: <b>A115</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED: 	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE: <b>1:100</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NOT TO BE REPRODUCED OR COPIED WITHOUT PERMISSION FROM ARTIN DESIGN.	



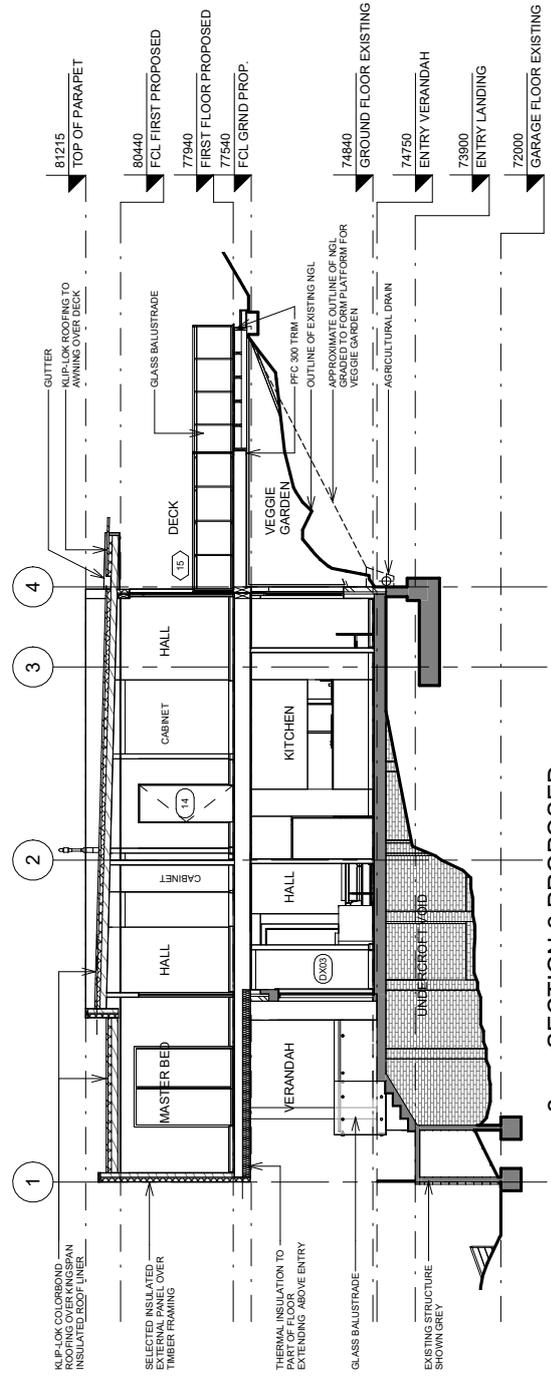
**1 ROOF PLAN PROPOSED**  
**A115** 1:100

# ATTACHMENT 2 - ITEM 4

CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artin</b> Artin Design NSW ABN No. 8459 3/258a Castle Street Castle Hill NSW 2154 Phone: 02 9691 4722 MOb: 0407660173 artindesign97@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP-211420	
DRAWING TITLE: <b>SECTION 1, SECTION 2                  PROPOSED</b>	
DRAWING No.: <b>A116</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SCALE: <b>1:100</b>
SIZE: <b>A3</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NOT TO BE REPRODUCED OR COPIED WITHOUT PERMISSION FROM ARTIN DESIGN.	



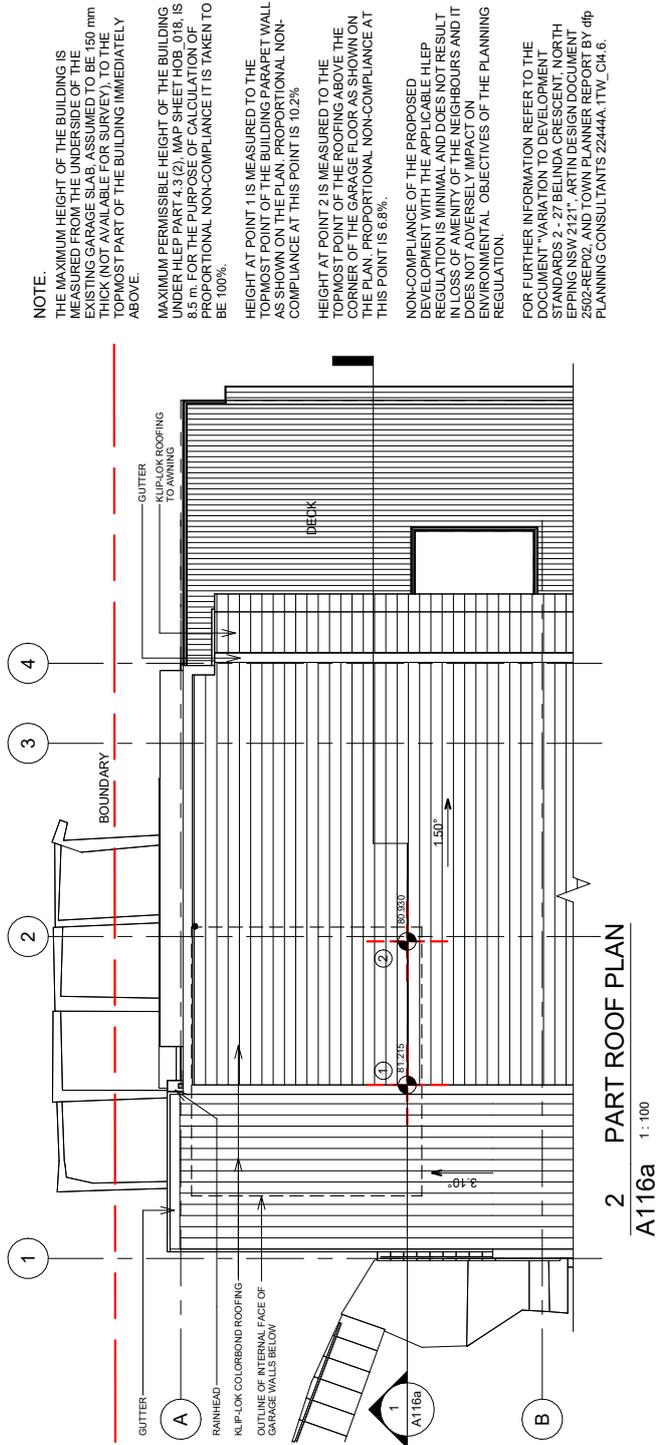
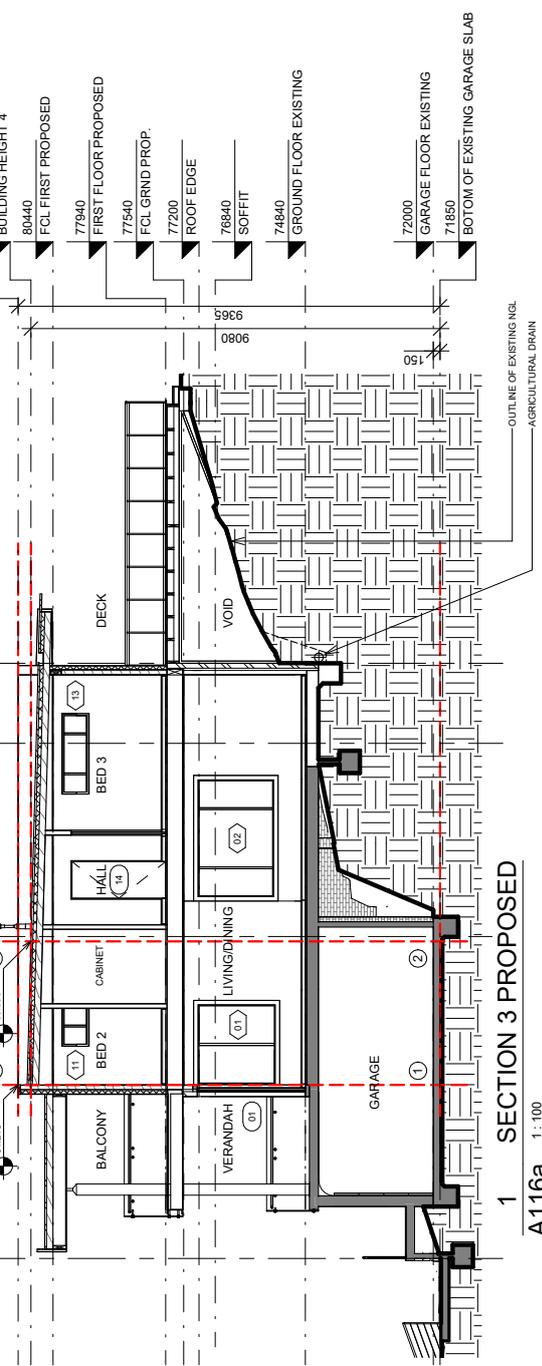
1 SECTION 1 PROPOSED  
A116 1:100



2 SECTION 2 PROPOSED  
A116 1:100

ATTACHMENT 2 - ITEM 4

CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artin</b> Artin Design NSW ARE No. 8459 32/59a Castle Street Castle Hill NSW 2154 Ph: 02 9659 5499 Mob: 0407660173 artindesign87@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP-211420	
DRAWING TITLE: <b>SECTION 3, PART ROOF                  PLAN, HLEP PART 4.3 (2)                  NON-COMPLIANCE</b>	
DRAWING No.: <b>A116a</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>09.01.'26</b>
SIGNED:	DATE PLOTTED: 11.01.2026
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE: <b>1:100</b>	ISSUE: <b>A</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REUSE OR REPRODUCTION WITHOUT PERMISSION FROM ARTIN DESIGN.	



**NOTE:**  
 THE MAXIMUM HEIGHT OF THE BUILDING IS MEASURED FROM THE UNDERSIDE OF THE EXISTING GARAGE SLAB, ASSUMED TO BE 160 mm ABOVE THE FINISHED GROUND LEVEL AT THE TOPMOST PART OF THE BUILDING IMMEDIATELY ABOVE.

MAXIMUM PERMISSIBLE HEIGHT OF THE BUILDING UNDER HLEP PART 4.3 (2), MAP SHEET HOB\_018, IS 8.5 m. FOR THE PURPOSE OF CALCULATION OF PROPORTIONAL NON-COMPLIANCE IT IS TAKEN TO BE 100%.

HEIGHT AT POINT 1 IS MEASURED TO THE TOPMOST POINT OF THE ROOFING ABOVE THE CORNER OF THE GARAGE FLOOR AS SHOWN ON THIS PLAN. PROPORTIONAL NON-COMPLIANCE AT THIS POINT IS 10.2%.

HEIGHT AT POINT 2 IS MEASURED TO THE TOPMOST POINT OF THE ROOFING ABOVE THE CORNER OF THE GARAGE FLOOR AS SHOWN ON THIS PLAN. PROPORTIONAL NON-COMPLIANCE AT THIS POINT IS 6.8%.

NON-COMPLIANCE OF THE PROPOSED DEVELOPMENT WITH THE APPLICABLE HLEP REGULATIONS AND DESIGN OUTCOME RESULT IN LOSS OF VISIBILITY OF THE DECKBOARDS AND IT DOES NOT ADVERSELY IMPACT ON ENVIRONMENTAL OBJECTIVES OF THE PLANNING REGULATION.

FOR FURTHER INFORMATION REFER TO THE DOCUMENT "VARIATION TO DEVELOPMENT STANDARDS 2 - 27 BELINDA CRESCENT, NORTH EPPING NSW 2121", ARTIN DESIGN DOCUMENT 2502-REP02, AND TOWN PLANNER REPORT BY dlp PLANNING CONSULTANTS 22444A-TTW\_C4.6.

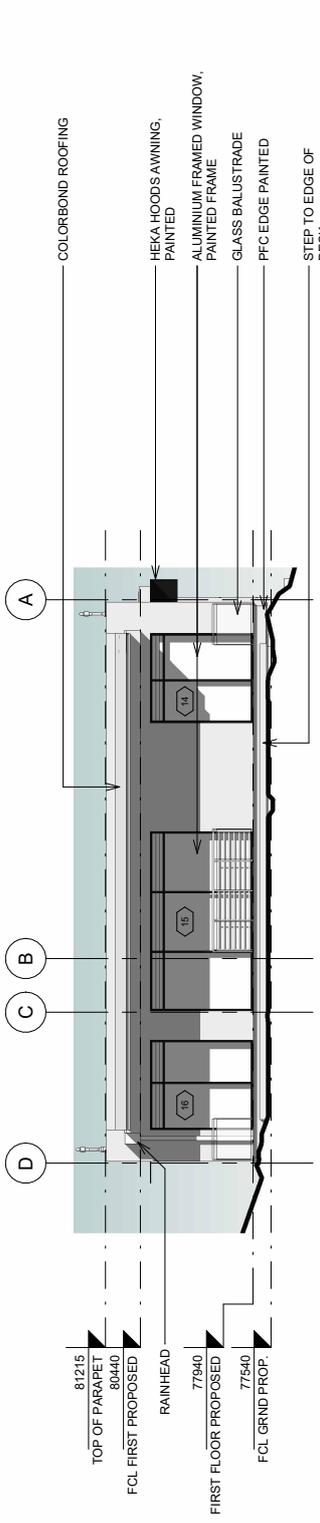
# ATTACHMENT 2 - ITEM 4

CLIENT: <b>PEDRAM HESHMATTI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artim</b> Artin Design NSW ABE No. 8459 3/259a Castle Street Castle Hill NSW 2154 Phone: 02 9661 7134 Mobile: 0407660173 artindesign97@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP211420	
DRAWING TITLE: <b>ELEVATIONS PROPOSED</b>	
DRAWING No.: <b>A117</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: SIZE: <b>S.S. A3</b>	SCALE: <b>1:100</b>
ISSUE: <b>C</b>	
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. REPRODUCED WITHOUT PERMISSION FROM ARTIN DESIGN.	



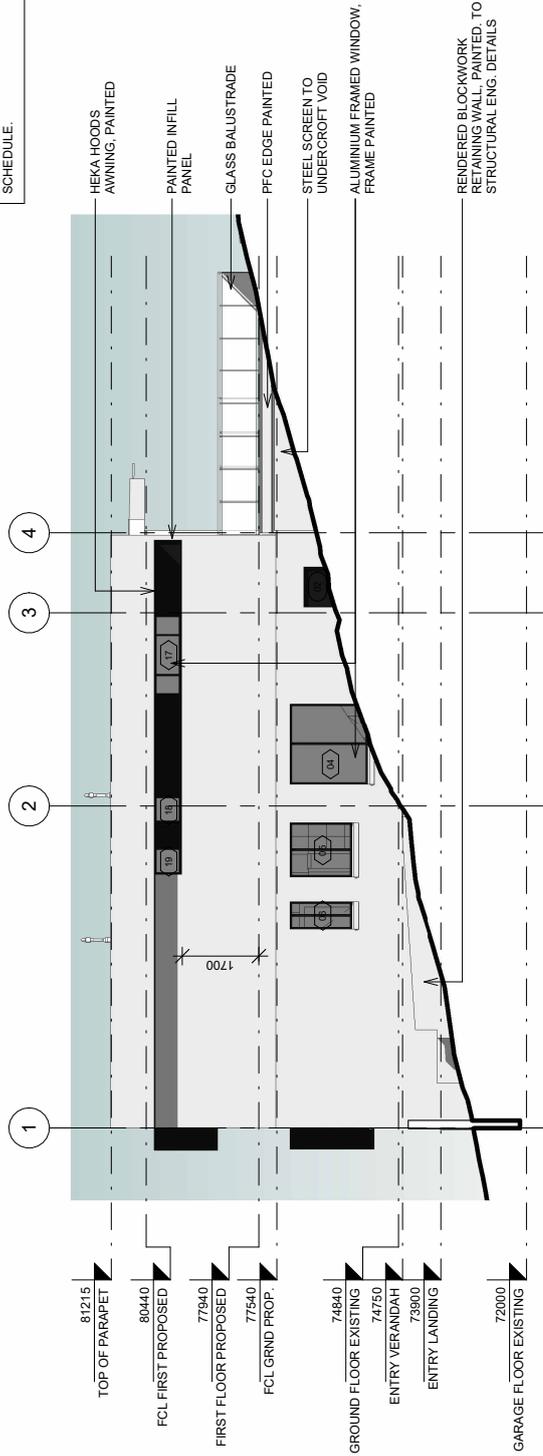
**ATTACHMENT 2 - ITEM 4**

CLIENT: <b>PEDRAM HESHMATTI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT: <b>artim</b> Artin Design NSW ARE No. 8439 3/259a Castle Street Parramatta NSW 2124 Ph: 02 9669 4444 M: 0407660173 artindesign97@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	CONSULTANT 2: <b>EXACT ENGINEERS</b>
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-/DP211420	
DRAWING TITLE: <b>ELEVATIONS PROPOSED</b>	
DRAWING No.: <b>A118</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED:	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE: <b>1: 100</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NOT TO BE REPRODUCED OR COPIED WITHOUT PERMISSION FROM ARTIN DESIGN.	



**1 ELEVATION SOUTH-EAST PROPOSED**  
A118 1: 100

NOTE:  
FOR FINISHES REFER TO FINISHES SCHEDULE.



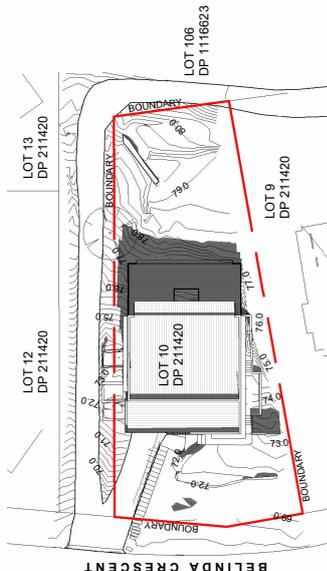
**2 ELEVATION SOUTH-WEST PROPOSED**  
A118 1: 100

**ATTACHMENT 2 - ITEM 4**

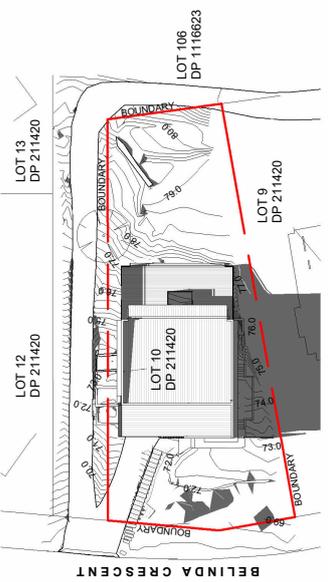
CLIENT: <b>PEDRAM HESHMATTI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT:  Artin Design NSW ARE No. 8459 3/259a Castle Street Castle Hill NSW 2154 Phone: 02 9660 1733 Mobile: 0407 660173 artin.design@artindesign.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-/DP-211420	
DRAWING TITLE: <b>SHADOW DIAGRAMS</b>	
DRAWING No.: <b>A119</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED: 	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE: <b>1:500</b>	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. REPRODUCED HEREIN WITHOUT PERMISSION FROM ARTIN DESIGN.	



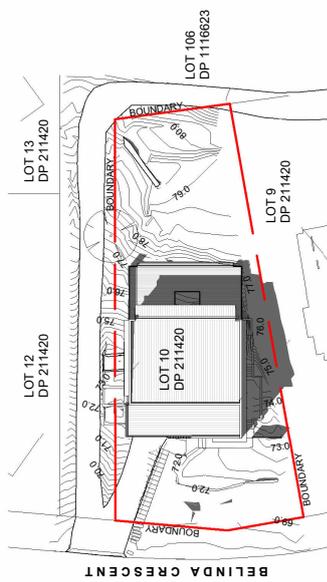
BUILDING ON LOT 9 IS SITTING HIGHER ALONG THE SLOPE OF  
 TERRAIN AND IT IS NOT SUBJECT OF PROPOSED DEVELOPMENT.  
 OVERSHADOWING BY PROPOSED DEVELOPMENT



3 SHADOW 22 JUNE 3 PM  
 A119 1:500



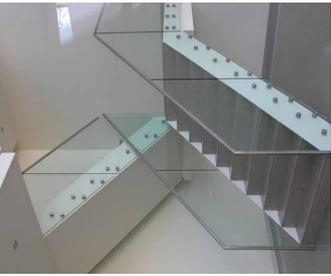
1 SHADOW 22 JUNE 9 AM  
 A119 1:500



2 SHADOW 22 JUNE 12 PM  
 A119 1:500

# ATTACHMENT 2 - ITEM 4

CLIENT: <b>PEDRAM HESHMATTI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT:  Artin Design NSW ABN No. 8459 3/259a Castle Street Castle Hill NSW 2154 Ph: 02 9639 2222 M: 0407660173 artin.design@ gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/DP-211420	
DRAWING TITLE: <b>FINISHES SCHEDULE</b>	
DRAWING No.: <b>A120</b>	STAGE: <b>DA</b>
PROJECT No.: <b>2502</b>	DATE CREATED: <b>25.05.2025</b>
SIGNED: 	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE:	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REUSE OR REPRODUCTION OF THIS DRAWING IS PERMITTED WITHOUT PERMISSION FROM ARTIN DESIGN.	



BALUSTRADE SAMPLE 3 - HANDRAIL ALONG TOP  
EDGE OF GLASS, GLASS FIXED TO STRINGER



EKODECK RECONSTITUTED TIMBER BOARDS OR  
SIMILAR OF EQUAL OR HIGHER PERFORMANCE.  
DESIGNER SERIES, ALPINE ASH.



BALUSTRADE SAMPLE 2 - HANDRAIL FIXED TO GLASS, GLASS FIXED TO  
STRINGER



ELEVATION SAMPLE

**EXTERNAL FINISHES SCHEDULE NOTES.**

ALL FLASHING, PARAPET WALL CAPPING AND THE LIKE TO BE  
COLORBOND DOVER WHITE FINISH.

WINDOW ALUMINIUM PAINT TO MATCH COLORBOND ZEUS MONUMENT  
MATT FINISH.

ALL INSERT PANELS BETWEEN WINDOW FINISH TO MATCH  
COLORBOND ZEUS MONUMENT MATT FINISH.

ALL EXISTING EXTERNAL WALLS GROUND FLOOR TO BE RENDERED  
AND PAINTED TO MATCH COLORBOND DOVER WHITE FINISH.

ALL NEW WALLS OF FIRST FLOOR EXTENSION TO BE FINISHED WITH  
SYSTEM FINISH RECOMMENDED BY MANUFACTURER OF EXTERNAL  
CLADDING, PAINT FINISH TO MATCH COLORBOND DOVER WHITE FINISH.

ALL STAIRS AND BALUSTRADE HANDRAILS, METAL FIXINGS AND THEIR  
COMPONENTS TO BE S/S SATIN FINISH.

ALL STAIRS AND BALUSTRADE GLAZING TO BE CLEAR GLASS, TYPE  
AND THICKNESS TO AS1288.

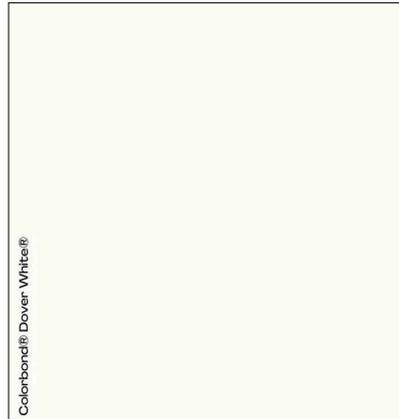
NOTE:  
WHENEVER BRAND NAME OF THE PRODUCT IS INDICATED IT IS A  
PREFERRED BRAND. SIMILAR PRODUCT REGARDING QUALITY AND/OR  
FINISH MAY BE SELECTED SUBJECT OF CLIENT'S APPROVAL.



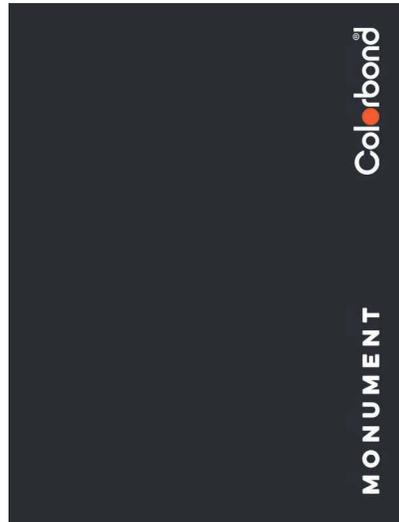
BALUSTRADE SAMPLE 1 - HANDRAIL FIXED TO GLASS, SHORT STANCHIONS FIXED TO FLOOR



BRACKET-LESS WINDOW AWNING FROM HEKA HOODS, HH600 mm WIDE,  
FINISH ZEUS MONUMENT MATT



LYSAGHT KLIPLOK 406 ROOFING, BMT SUITABLE FOR 1  
DEG. SLOPE, FINISH COLORBOND DOVER WHITE.



EXTERNAL PAINT TO ALL WALLS AND COMPONENTS, AS NOTED  
TO MATCH COLORBOND DOVER WHITE, SA 0.28.

PAINT TO INSERTS BETWEEN HEKA HOODS AWNINGS TO MATCH  
ZEUS MONUMENT MATT, AND ALUMINIUM WINDOW, DOOR  
FRAMING, AS NOTED.

**ATTACHMENT 2 - ITEM 4**

**WINDOW SCHEDULE**

No.	HEIGHT	WIDTH	SILL	AREA	LEVEL	QTY	BASIX REQUIREMENTS
GROUND FLOOR EXISTING							
01	1750	1810	650	3.17 m <sup>2</sup>	GROUND FLOOR EXISTING	1	TO BASIX A1809440_03
02	1715	2635	685	4.54 m <sup>2</sup>	GROUND FLOOR EXISTING	1	TO BASIX A1809440_03
03	2050	2635	650	5.40 m <sup>2</sup>	GROUND FLOOR EXISTING	1	TO BASIX A1809440_03
04	1715	1810	685	3.10 m <sup>2</sup>	GROUND FLOOR EXISTING	1	TO BASIX A1809440_03
05	1370	1210	1030	1.66 m <sup>2</sup>	GROUND FLOOR EXISTING	1	TO BASIX A1809440_03
06	1370	810	1030	0.84 m <sup>2</sup>	GROUND FLOOR EXISTING	1	TO BASIX A1809440_03
07	1715	2400	685	4.12 m <sup>2</sup>	GROUND FLOOR EXISTING	1	TO BASIX A1809440_03
08	1715	1810	685	3.10 m <sup>2</sup>	GROUND FLOOR EXISTING	1	TO BASIX A1809440_03
FIRST FLOOR PROPOSED							
09	2200	1725	0	3.89 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
10	2200	2100	0	4.62 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
11	600	1800	1700	1.08 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
12	600	600	1700	1.08 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
13	600	1800	1700	1.08 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
14	2300	2000	0	4.60 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
15	2300	2000	0	9.20 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
16	2300	2000	0	4.60 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
17	600	1800	1700	1.08 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
18	600	600	1700	0.36 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
19	600	600	1700	0.36 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
20	1400	2400	900	3.36 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03
21	2200	1800	0	3.98 m <sup>2</sup>	FIRST FLOOR PROPOSED	1	TO BASIX A1809440_03

**DOOR SCHEDULE**

No.	HEIGHT	WIDTH	LEVEL	QTY	NOTES
GARAGE FLOOR EXISTING					
DX01	2200	3880	GARAGE FLOOR EXISTING	1	
DX02	2300	1000	GARAGE FLOOR EXISTING	1	
GROUND FLOOR EXISTING					
01	2400	4090	GROUND FLOOR EXISTING	1	GLAZING TO BASIX A1809440_03 (NOTED IN BASIX AS W22)
02	2100	900	GROUND FLOOR EXISTING	1	
03	2100	900	GROUND FLOOR EXISTING	1	
04	2100	900	GROUND FLOOR EXISTING	1	
05	2100	900	GROUND FLOOR EXISTING	1	
06	2100	780	GROUND FLOOR EXISTING	1	
07	2100	900	GROUND FLOOR EXISTING	1	
DX03	2500	1000	GROUND FLOOR EXISTING	1	GLAZING TO BASIX A1809440_03 (NOTED IN BASIX AS W22)
FIRST FLOOR PROPOSED					
08	2100	900	FIRST FLOOR PROPOSED	1	
09	2100	860	FIRST FLOOR PROPOSED	1	
10	2100	860	FIRST FLOOR PROPOSED	1	
11	2100	860	FIRST FLOOR PROPOSED	1	
12	2100	900	FIRST FLOOR PROPOSED	1	
13	2100	900	FIRST FLOOR PROPOSED	1	
14	2100	860	FIRST FLOOR PROPOSED	1	
15	2100	900	FIRST FLOOR PROPOSED	1	

PROTECTION OF OPENABLE WINDOWS TO BE IN ACCORDANCE WITH BCA VOLUME 2 AND APPLICABLE CLAUSES OF ITS PART 3.9.2. HEIGHT OF WINDOW SILLS, WINDOW AND DOOR SIZES ARE INDICATIVE - CHECK DIMENSIONS OF OPENINGS ON SITE BEFORE ORDERING.

**WALL LEGEND**

- W103 EXISTING MASONRY VENEER EXTERNAL WALL, EXISTING INTERNAL RENDERED MASONRY WALL, AS SHOWN IN GREY.
- W107 NEW MASONRY VENEER EXTERNAL WALL TO MATCH EXISTING ADJACENT, RENDERED AND PAINTED. THERMAL INSULATION TO BASIX CERTIFICATE A1809440\_03.
- W108 NEW CONCRETE BLOCK RETAINING WALL.
- W109 NEW EXTERNAL 90 mm TIMBER STUD WALL, AUSTECH 75 mm ORANGE BOARD CLADDING, RENDERED AND PAINTED TO MANUFACTURER RECOMMENDATIONS, BREATHABLE MEMBRANE, BULK INSULATION BEHIND INFILL PANELS TO MATCH WALL, PLASTERBOARD INTERNALLY PAINTED, OR MR PLASTERBOARD OR CFC INTERNALLY TO WET AREAS TILED. INSULATION TO BASIX CERTIFICATE A1809440\_03.
- S101 NEW 90 mm TIMBER STUD WALL, PLASTERBOARD BOTH SIDES, PAINTED.
- S102 NEW 90 mm TIMBER STUD WALL, PLASTERBOARD ONE SIDE, PAINTED.
- S103 NEW 120 mm TIMBER STUD WALL, ACOUSTIC RATING TO NCC, PLASTERBOARD LINING ONE SIDE PAINTED, MR PLASTERBOARD OR CFC WET AREA SIDE, TILED.
- S104 NEW 120 mm TIMBER STUD WALL, MR PLASTERBOARD OR CFC LINING BOTH SIDES, TILED.
- S105 NEW 90 mm TIMBER STUD WALL, MR PLASTERBOARD OR CFC LINING BOTH SIDES, TILED.
- S106 NEW 50 mm TIMBER STUD WALL, PLASTERBOARD LINING EXTERNAL SIDE, PAINTED.

**CUT AND FILL CALCULATION**

CUT	FILL	NET CUT/FILL
1.27 m <sup>3</sup>	15.84 m <sup>3</sup>	14.56 m <sup>3</sup>

<b>CLIENT:</b>	PEDRAM HESHMATI AND FARIN NAAD 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	<b>ARCHITECT:</b>	Artin Design NSW ABN No. 8459 3/259a Castle Street Parramatta NSW 2154 Phone: 0407669173 Mobile: 0407669173 artin.design@7@gmail.com
<b>CONSULTANT 1:</b>	<b>ENG LAND SERVICES</b>	<b>CONSULTANT 2:</b>	<b>EXACT ENGINEERS</b>
<b>CONSULTANT 3:</b>		<b>PROJECT:</b>	<b>ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10//DP-211420
<b>DRAWING TITLE:</b>	<b>SCHEDULES</b>	<b>DRAWING No.:</b>	<b>A121</b>
<b>STAGE:</b>	<b>DA</b>	<b>PROJECT No.:</b>	<b>2502</b>
<b>DATE CREATED:</b>	<b>25.05.2025</b>	<b>SIGNED:</b>	
<b>DATE PLOTTED:</b>	<b>10.09.2025</b>	<b>DRAWN BY:</b>	<b>S.S.</b>
<b>SCALE:</b>	<b>C</b>	<b>ISSUE:</b>	<b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.			
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. NO REUSE OR REPRODUCTION WITHOUT PERMISSION FROM ARTIN DESIGN.			

ATTACHMENT 2 - ITEM 4

<b>CLIENT:</b> PEDRAM HESHMATI AND FARIN NAAD 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
<b>ARCHITECT:</b>  Artin Design NSW ARB No. 8459 3/259a Castle Street Epping NSW 2121 Phone: 0407660173 Mob: 0407660173 artindesign97@gmail.com	
<b>CONSULTANT 1:</b> ENG LAND SERVICES	
<b>CONSULTANT 2:</b> EXACT ENGINEERS	
<b>CONSULTANT 3:</b>	
<b>PROJECT:</b> ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-/DP-211420	
<b>DRAWING TITLE:</b> BASIC COMMITMENTS	
<b>DRAWING No.:</b> A122	<b>STAGE:</b> DA
<b>PROJECT No.:</b> 2502	<b>DATE CREATED:</b> 21.08.2025
<b>SIGNED:</b>	<b>DATE PLOTTED:</b> 10.09.2025
<b>DRAWN BY:</b> S.S. A3	<b>SCALE:</b> C
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTIN DESIGN. REUSE IS PROHIBITED WITHOUT PERMISSION FROM ARTIN DESIGN.	

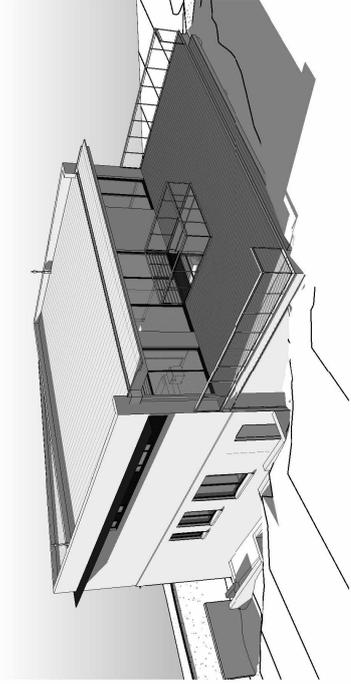
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W11	NE	1.08	0	0	projection/ height above sill ratio >=0.43	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W12	NE	0.36	0	0	projection/ height above sill ratio >=0.43	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W13	NE	1.08	0	0	projection/ height above sill ratio >=0.43	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W14	SE	4.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W15	SE	9.2	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W16	SE	4.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W17	SW	1.08	0	0	projection/ height above sill ratio >=0.43	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W18	SW	0.36	0	0	projection/ height above sill ratio >=0.43	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W19	SW	0.36	0	0	projection/ height above sill ratio >=0.43	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W20	NW	3.36	0	0	projection/ height above sill ratio >=0.36	standard aluminium, (or single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W21	NE	3.96	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W22	NW	1	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W23	NW	9.82	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)

Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	NE	3.17	5.84	4.37	projection/ height above sill ratio >=0.43	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W2	NE	4.54	0	0	projection/ height above sill ratio >=0.29	standard aluminium, (or single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	SE	5.4	2.45	3.1	none	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W4	SW	3.1	0	0	none	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W5	SW	1.86	0	0	none	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W6	SW	0.84	0	0	none	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W7	NW	4.12	0	0	projection/ height above sill ratio >=0.29	standard aluminium, (or single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	NE	3.1	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W9	NW	3.8	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
W10	NW	4.82	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, (or single clear, (or U-value: 7.63, SHGC: 0.75)
Construction		Additional insulation required (R-value)		Other specifications		
suspended floor with enclosed subfloor: framed (R0.7).		R0.60 (down) (or R1.30 including construction)		N/A		
suspended floor above garage: framed (R0.7).		nil		N/A		
floor above existing dwelling or building.		nil		N/A		
external wall: external insulated facade system (EIFS)(façade panel: 75 mm)		nil				
external wall: brick veneer		R1.16 (or R1.70 including construction)				
flat ceiling, flat roof: structural panel >70 mm		ceiling: R0.01 (up), roof: foils/sarking		light (solar absorbance < 0.475)		

CLIENT: <b>PEDRAM HESHMATI AND FARIN NAAD</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121	
ARCHITECT:  Artlin Design NSW ARE No. 8459 3/259a Castle Street Parramatta NSW 2154 Phone: 0407660173 Mobile: 0407660173 artlinedesign97@gmail.com	
CONSULTANT 1: <b>ENG LAND SERVICES</b>	
CONSULTANT 2: <b>EXACT ENGINEERS</b>	
CONSULTANT 3:	
PROJECT: <b>ALTERATIONS AND ADDITIONS                  TO EXISTING RESIDENCE</b> 27 BELINDA CRESCENT, NORTH EPPING NSW 2121, 10/-/DP211420	
DRAWING TITLE: <b>PERSPECTIVE VIEWS</b>	
DRAWING NO.: <b>A123</b>	STAGE: <b>DA</b>
PROJECT NO.: <b>2502</b>	DATE CREATED: <b>03.07.2025</b>
SIGNED: 	DATE PLOTTED: <b>10.09.2025</b>
DRAWN BY: <b>S.S.</b>	SIZE: <b>A3</b>
SCALE:	ISSUE: <b>C</b>
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE CONTRACT, CONTRACTS, SPECIFICATIONS, REPORTS AND DRAWINGS. DO NOT SCALE OFF DRAWINGS. REPORT DISCREPANCIES TO DESIGNER.	
COPYRIGHT IS PROPERTY OF ARTLIN DESIGN. ALL RIGHTS RESERVED. WITHOUT PERMISSION FROM ARTLIN DESIGN.	



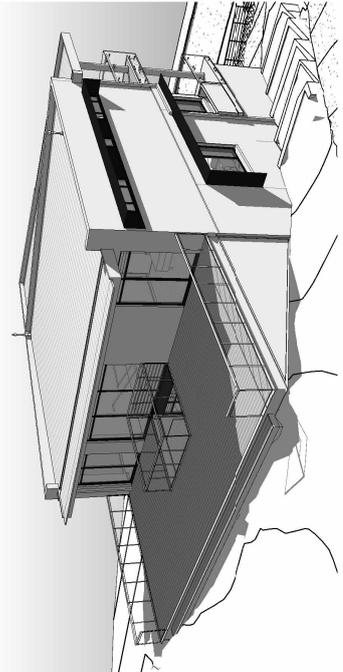
2 FRONT VIEW 2  
A123



4 REAR VIEW 2  
A123

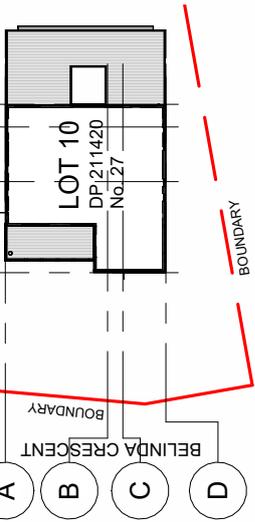


1 FRONT VIEW 1  
A123



3 REAR VIEW 1  
A123

# ATTACHMENT 2 - ITEM 4



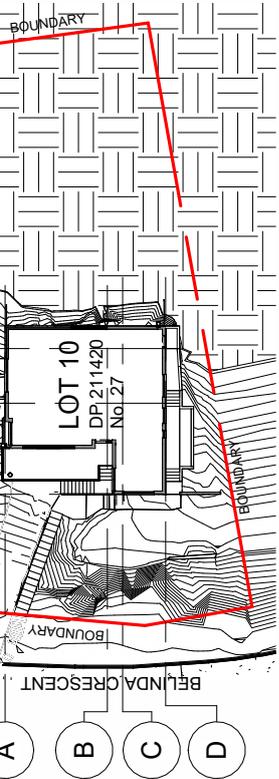
2 FIRST FLOOR NOTIFICATION

A124 1 : 500



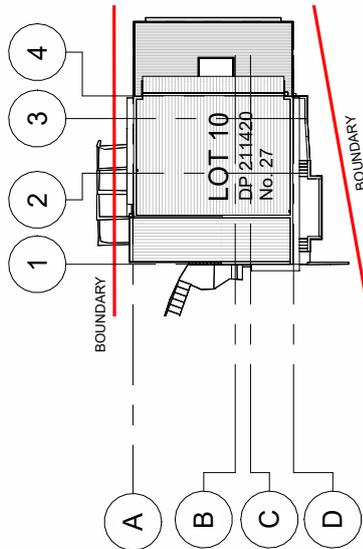
4 FRONT VIEW NOTIFICATION

A124



1 GROUND FLOOR NOTIFICATION

A124 1 : 500



3 ROOF NOTIFICATION

A124 1 : 500

# ATTACHMENT 2 - ITEM 4

**ATTACHMENT/S**

**REPORT NO. LPP8/26**

**ITEM 5**

- 1. CLAUSE 4.6 REQUEST**
- 2. ARCHITECTURAL PLANS**

Dear Chief Executive Officer and planner

revised 29<sup>th</sup> January 2026

**PREMISES AT 23 North Street Mt Colah**  
**PROPOSED ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.**

**CLAUSE 4.6 REQUEST -EXCEPTION TO THE DEVELOPMENT STANDARD (HEIGHT OF BUILDINGS) - HORNSBY LOCAL ENVIRONMENTAL PLAN 2013**

This present document is a written variation request submitted under clause 4.6 of Hornsby Local Environmental Plan 2013 in connection with a development application seeking consent for alterations and additions to an existing one and two storey dwelling.

**1. INTRODUCTION**

Clause 4.3 of the HLEP controls the height of building. Relevantly, clause 4.3 (2) of HLEP provides that the height of a building on any land is not to exceed the maximum height shown for the land on the height of buildings map, which is 8.5M.

The site consist of an existing one and two storey dwelling. The 2 storey portion consists of a double garage, which is visible from the streetscape as being 2 storeys. As the existing ground slopes up towards the rear of the site, the dwelling becomes single storey when viewed externally, however excavation below this back section which forms part of the garage as storage area and a laundry, it is not visible when looking at the 3 elevations – NE, SE and SW.

A first floor addition has been proposed above portion of the existing dwelling, the proposed addition is located to the rear of the existing dwelling where it can be seen as a single storey. Due to the excavated subfloor area which has formed a store area to the garage has created a slight non compliance to the building height to portion of the new roof, where as if the subfloor was left as existing natural ground level, as seen externally on the elevations, the building height would have been compliant.

The additional portion exceeds the building height by a varied height, with a max. variation of 1.63m which is located directly below the existing excavated storage area level

A variation has been requested.

**2. REQUEST TO VARY A DEVELOPMENT STANDARD**

It is requested that a variations be sought for the max height (clause 4.3) for the minor portion of the proposed roof to the proposed first floor addition.

The request is submitted to council in connection with and in support of the development application and is to be read in conjunction with the statement of environmental effects and submitted to council in support of and to inform the development application.

The SOEE deals with the impacts of the development proposal in detail and provides details and compliance with the relevant planning controls and objectives.

Clause 4.6 of the HLEP allows Council to grant consent for development even though the development contravenes a development standard imposed by the LEP. The clause aims to provide an appropriate degree of flexibility in applying certain development standards to achieve better outcomes for and from development.

Clause 4.6 of the HLEP requires that a consent authority be satisfied and consider a written request that seeks to justify the contravention of the development standard by demonstrating -

**\* that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case.**

This is due to an existing sub floor store area, an extension to the garage had been excavated into the ground many years ago and thus bringing the height level which requires it to be measured from the the excavated level and not the natural ground level, otherwise it would have been compliant

\* That there are sufficient environmental planning grounds to justify contravening the development standard.

\*The applicant's written request has adequately addressed the matters required to be demonstrated to the above.

\* The proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for the development within the zone in which the development is proposed to be carried out.

The consent authority's satisfaction as to those matters, must be informed by the objective of providing flexibility in the application of the relevant control to achieve better outcomes for and from the development in question.

The above has been referenced to the Wehbe test or the 5 part test.

It can be concluded that the 1<sup>st</sup> of the 5 common ways that compliance with a development standard may be demonstrated to be unreasonable or unnecessary.

The objectives as listed above and below, of the development standard have been achieved notwithstanding the non-compliance

### 3. DEVELOPMENT STANDARD TO BE VARIED

The site is Zoned R2 under the HLEP.

*This written request is to justify the contravention of the standard by demonstrating that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case and that are sufficient environmental planning grounds to justify contravening the development standard.*

*The proposed development will be in the public interest as it is consistent with the objectives of the standards and are of relevance to the subject matter of the development application and the objectives for the development within the R2 zone under HLEP in which the development is proposed to be carried out.*

A small portion of the proposed roof to the first floor addition exceeds the 8.5m building height (max 1.63m) . Due to the existing excavated storage area, the building height is taken from this level and not the natural ground level and therefore portion of the proposed first floor addition roof exceeds the required building heights. Given the natural slope of the site the proposed addition generally complies with the building height, except for the small portion of the ridge of the new roof. When view from the streetscape the proposal sits well below the tree canopy and does not present any bulk and scale to the streetscape. With a naked eye it would be difficult to see that any portion of the proposed new roof to the first addition contravenes by 1.63m above the building heights

When viewed from the streetscape the proposed addition is in line with the building height of the adjoining property no.21. Even though the proposed new ridge height is slightly higher than that of the adjoining property No.21 it will not be noticed.

The adjoining new dwelling -No.21 is located closer to the streetscape, whereas our proposed first floor additions has been designed and located further back and sits well behind the front façade of the adjoining new dwelling, giving the appearance the No.21 new dwelling is much higher.



**ATTACHMENT 1 - ITEM 5**

It is requested this slight non-compliance be considered, as this portion of the new roof to the proposed new first floor addition will not affect adjoining neighbours in view loss, privacy loss or solar loss. This portion of the roof is located directly above the existing excavated store area which the building height level requires to be taken from and therefore makes it non compliant with the building height.

Due to the topography of the land with the site falling towards the front of the site and the excavated storage area is at a lower level than the existing natural ground level, it is difficult to adhere strictly to the required building height.

#### 4. THE OBJECTIVES OF THE STANDARDS

Clause 4.3 (1) of the HLEP and the objectives of this clause are as follows:

- a) to permit a height of buildings that is appropriate for the site constraints, development potential and infrastructure capacity of the locality.*

The scale of the proposed development is consistent with the adjoining residential lots. Due to the site constraints it can be demonstrated the the building height sits well within the streetscape, it does not present any bulk and scale to the streetscape. It is designed and located well behind the front building setback that when viewed from the street it is much lower than the preexisting neighbouring new dwelling, No.21 which is closer to the street frontage and appears to be much higher than the proposed first floor addition.

The proposed development does not result in any privacy issues or impacts to nearby neighbours, which have been addressed in the statement of environmental effects.

The proposal satisfies this objective.

#### 4.6 Exceptions to development Standards

Clause 4.6 (1) of the HLEP and the objectives of this clause are as follows:

- a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,*

Due to pre-existing structures on the site and the topography it is difficult to strongly adhere to the building height control. It is requested that council provide some degree of flexibility to this variation as the proposal will not affect adjoining properties in view loss, privacy and or solar access. The scale of the proposed development is consistent with the adjoining residential lots and sits well within the streetscape .

The proposed first floor addition to the existing dwelling is consistent with the low density character of the area.

- b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*

The proposal has been designed in a manner where it is located at the rear portion of the existing dwelling which predominately is only single storey when viewed from any sides of the dwelling. One would assume that there is no additional level below this section of the existing portion of the house.

The proposed addition will provide the owners with much needed space for their growing children with larger bedrooms and a separate multipurpose room. This design is far more

practical as it will not disrupt the existing ground floor level living area and out door recreational area.

The first floor addition allows the existing landscaping area to remain without any disturbance.

**Other justification for variation and to provide for flexibility to this control**

The proposal will not interrupt view corridors of its neighbours to any significant or material extent.

The proposal will not visually impact the streetscape or when viewed from the a public place such as the road, parks, reserve and or a community facility. The proposal has been designed with a hip roof structure to follow the design of the existing dwelling.

.In respect of the height standard which is of a minimal significance with respect to the objectives of the relevant applicable height of building development standard. The gradient of the land and the height of the existing building, all assist in ensuring that a casual observer would have some difficulty in reading a small part of the additional building height of the roof to the proposed first floor addition being approx. 1.63m above the required control.

**Reason for the building height breach is due to the existing excavated storage area, the level of this sub floor area is lower than the existing natural ground level.**

It is concluded that the development will be consistent and will still satisfy relevant height objectives, notwithstanding the numerical departure from the standard contained in clause 4.3 of HLEP.

The development is consistent with all of the abovementioned objectives of the standard.

The proposed development is consistent with such of the aims of the HLEP as are relevance to the development.

**5. ENVIRONMENTAL PLANNING GROUNDS TO JUSTIFY CONTRAVENING THE DEVELOPMENT CLAUSE 4.6**

There are sufficient environmental planning grounds to justify contravening the development standard.

The proposal is consistent with the aims of the HLEP as it constitutes a good environmental planning ground justifying a contravention of the maximum height of buildings development standard contained in clause 4.3 of the HLEP.

Another good environmental planning ground justifying a contravention of the development standard in this instance is that there is no demonstrable public benefit in maintaining the development standard, in this instance, for to do, would not result in any material public benefit in this situation.

The maximum height that is achieved in this case is max 10.13m (only a small portion of the new roof exceeds the 8.5m height ) When viewed externally the new addition is not prominent in the slightly excess building height. **The small portion of the roof that breaches the building height is only due to the existing excavated sub floor area which is lower than the natural ground level. If however the building height was taken from the existing natural ground level the proposed first floor addition would comply with the 8.5m building height**

The proposed development will result in an improved outcome for the occupants and for the wider community in that there are likely to be no significant emenity impacts for residents and neighbours.

The proposed development is unlikely to increase the demand on local infrastructure and service and is entirely consistent with such of the zone objectives as are of relevance. The residential environment will remain characterised by a diverse range of low density dwelling styles, whilst not detracting from the consistent natural landscape setting.

This is a written request that the development will achieve the relevant zone objectives notwithstanding the numerical non-compliance with the height standard contained in clause 4.3 of the HLEP.

The above constitute good environmental planning grounds to justify contravening the development standard.

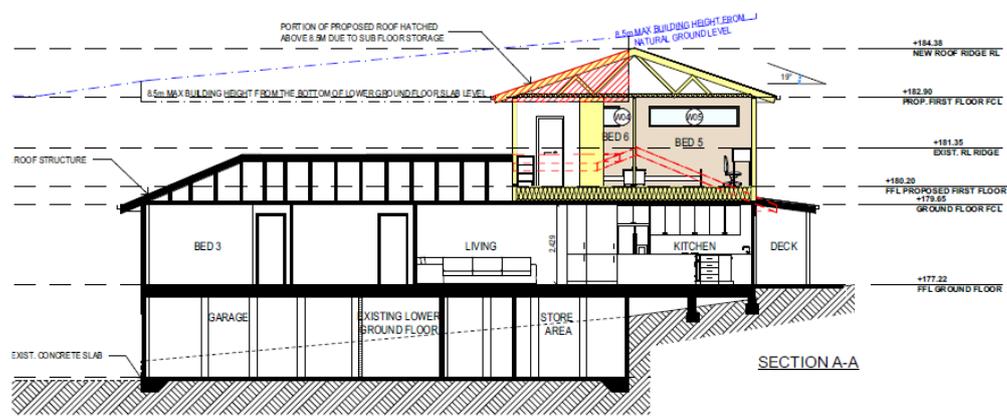
The Nature of the development

The proposed development does not comply with the Height of Buildings development standard as a part of the roof of the proposed first-floor addition is above a portion of the existing dwelling at the rear which has an excavated subfloor area.

The non-compliant part of the roof exceeds the building height limit by a maximum of 1.63m at the highest point of the pitched roof above the subfloor. This is calculated as follows:

- The finished floor level of the garage and subfloor area is at RL174.4. The slab is assumed to be 150mm thick therefore the excavated ground level is taken to be RL174.25.
- The highest part of the roof above the excavated subfloor is at RL184.38 thereby having a height of 10.13m.
- This constitutes a variation of 19.17% from the 8.5m development standard.

The extent of the non-compliance is shown in extracts of the elevation, section A-A and height blanket section at **Figure 2**, Error! Reference source not found. and Figure 4.





#### 6. CONCLUSION

A small portion of the proposed roof to the first floor addition which contravenes the building height has been designed so that it does not impact the streetscape and to reduce any bulk to building. **The breach has come about due to the existing excavated sub floor area.** It will not affect adjoining properties. It blends well with the existing building and sits well within the streetscape without appearing bulky, the building height breach to be when view from the the existing natural ground level

Amenity to adjoining properties is maintained and no view loss will be experienced by the proposal.

The proposal will not have an adverse effect on any special ecological, scientific or aesthetic values.

It is requested that this non compliance be supported as there would be no practical utility in enforcing strict compliance with the relevantly applicable height of buildings development standard. All of the above constitutes good environmental planning grounds to justify contravening the development standard in this particular instance.

The variation from the development standard will not contravene any overarching State or regional objectives or standards, it will have no effect outside the site's immediate area and rises no issue of significance for State and or regional environmental planning.

Maintaining strict numerical with the 8.5m height of buildings development standard would not result in any public benefit in this instance. To maintain, to strictly enforce and apply the development standard in this instance would prevent the carrying out of an otherwise well designed residential development which is suited to the site.

#### IN SUMMARY

It is requested that this development justifies the contravention of the height of buildings development standard contained in clause 4.3 of the HLEP by demonstrating that compliance with the development standard is unreasonable or unnecessary in the circumstances and the there are sufficient environmental planning grounds to justify contravening the development standard.

The proposed development shows it will be in the public interest as it is consistent with such of the objectives of the standard as are of relevance to the subject matter of the development application and the objectives for the development within the R2 zoning.

It is sought that this development application may be approved with the variation as proposed in accordance with the flexibility allowed under clause 4.6 of the HLEP.

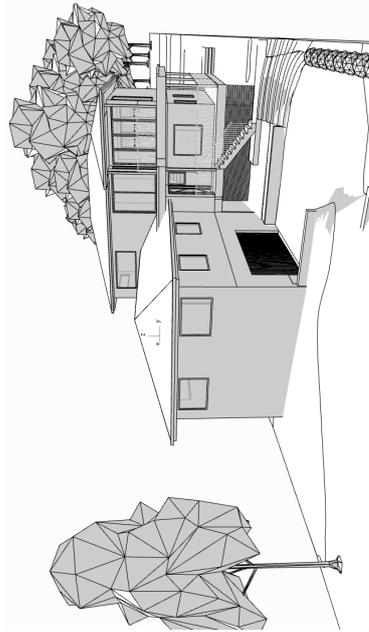
Yours Sincerely

Jitka Jankovec c/- JJDRAFTING AUST.P/L

**D A S E T O F D R A W I N G S**

23 NORTH ST MT COLAH 2079

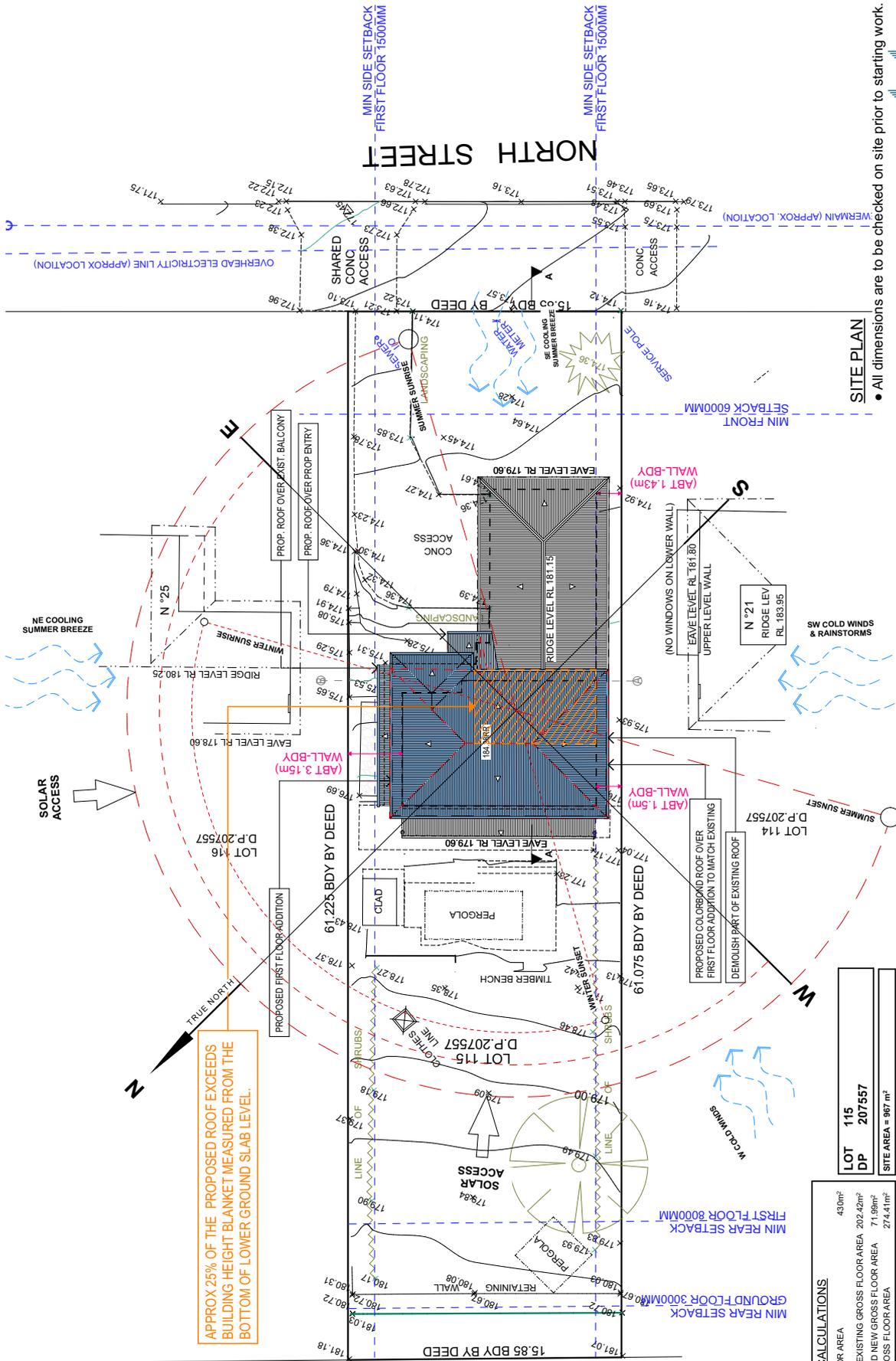
CONTENTS	
PAGE	DRAWING TITLE
DA.00	COVER PAGE
DA.01	SITE ANALYSIS PLAN
DA.02	EXISTING LOWER GROUND FLOOR PLAN
DA.03	EXISTING GROUND FLOOR PLAN
DA.04	EXISTING ELEVATIONS SHEET 1
DA.05	EXISTING ELEVATIONS SHEET 2
DA.06	DEMOLITION GROUND FLOOR PLAN
DA.07	PROPOSED GROUND FLOOR PLAN
DA.08	PROPOSED FIRST FLOOR PLAN
DA.09	PROPOSED NORTH EAST ELEVATION
DA.10	PROPOSED SOUTH WEST ELEVATION
DA.11	PROPOSED NORTH WEST ELEVATION
DA.12	PROPOSED SOUTH EAST ELEVATION
DA.13	SECTION / BASIX
DA.14	LANDSCAPED AREA & SITE COVERAGE CALCULATION PLAN
DA.15	ROOF & STORMWATER CONCEPT PLAN
DA.16	EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN
DA.17	SHADOW DIAGRAM JUNE 21 9:00 am
DA.18	SHADOW DIAGRAM JUNE 21 12 noon
DA.19	SHADOW DIAGRAM JUNE 21 3:00 pm
DA.20	BUILDING HEIGHT BLANKET FROM NATURAL GROUND LEVEL
DA.21	BUILDING HEIGHT BLANKET FROM THE BOTTOM OF THE SLAB O



SIX MAP

**JJ DRAFTING**  
  
 JJ DRAFTING AUSTRALIA PTY LTD  
 1300 977 804  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)

**ATTACHMENT 2 - ITEM 5**



AREA CALCULATIONS	
MAX FLOOR AREA	430m <sup>2</sup>
APPROX. EXISTING GROSS FLOOR AREA	202.42m <sup>2</sup>
PROPOSED NEW GROSS FLOOR AREA	71.99m <sup>2</sup>
TOTAL GROSS FLOOR AREA	274.41m <sup>2</sup>

LOT 115 DP 207557	
LOT	115
DP	207557
SITE AREA	= 967 m <sup>2</sup>

**NOTES (E & OE)**

- 1. All dimensions are to be checked on site prior to starting work.
- 2. All dimensions are to be checked on site prior to starting work.
- 3. All dimensions are to be checked on site prior to starting work.
- 4. All dimensions are to be checked on site prior to starting work.
- 5. All dimensions are to be checked on site prior to starting work.
- 6. All dimensions are to be checked on site prior to starting work.
- 7. All dimensions are to be checked on site prior to starting work.
- 8. All dimensions are to be checked on site prior to starting work.
- 9. All dimensions are to be checked on site prior to starting work.
- 10. All dimensions are to be checked on site prior to starting work.

**JJ Drafting Australia p/l**  
 28/80 Macys Vale Road, Macys Vale, NSW, 2103  
 Mob. 04 11 717 841 | A/CN 69 189 346  
 Email: enquiries@jfdrafting.com.au  
 www.jfdrafting.com.au

REV	DATE	DESCRIPTION
C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.
D	13/10	MINOR CHANGES.
E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.
F	24/10	DA SET OF DRAWINGS.
G	04/11	WINDOW'S STAIRS MADE LARGER.
H	21/11	DA SET.
I	21/11	DA SET REVISION.

PROPOSED ALTERATIONS AND ADDITIONS  
 23 NORTH ST MT COLAH 2079  
 CLIENT: ADAM & ASH  
 DRAWING TITLE: SITE ANALYSIS PLAN

SCALE:	1:200 @ A3
DRAWN BY:	RD
JOB NO:	1393/25
DATE:	09/25
DRAWING NO:	DA.01
CHECKED BY:	JJ

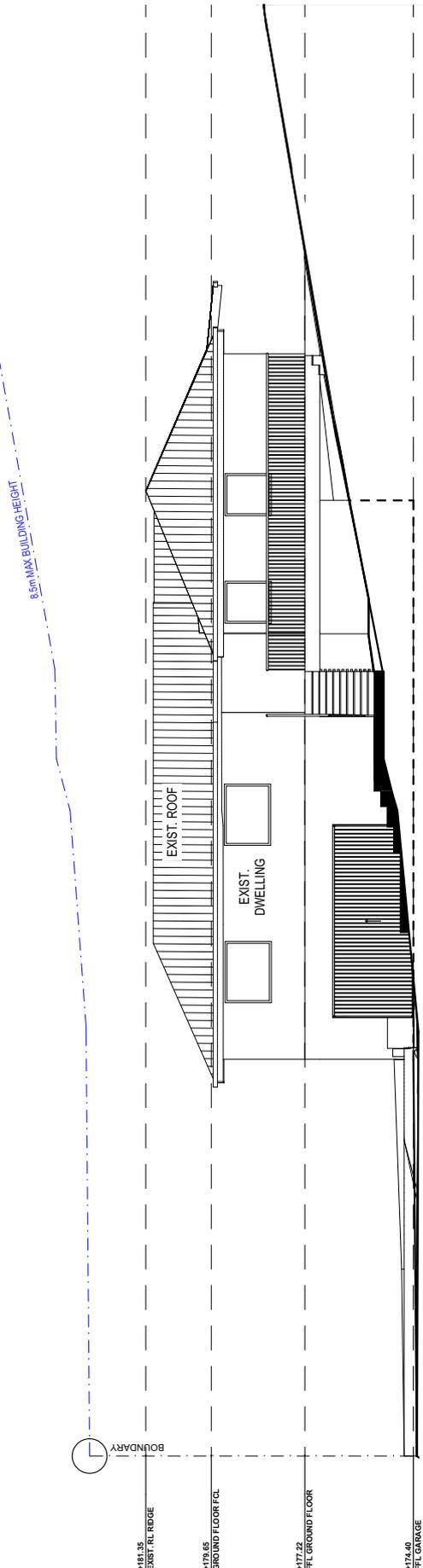
**DDDD**  
 ACCREDITED BUILDING DESIGNER

• All dimensions are to be checked on site prior to starting work.

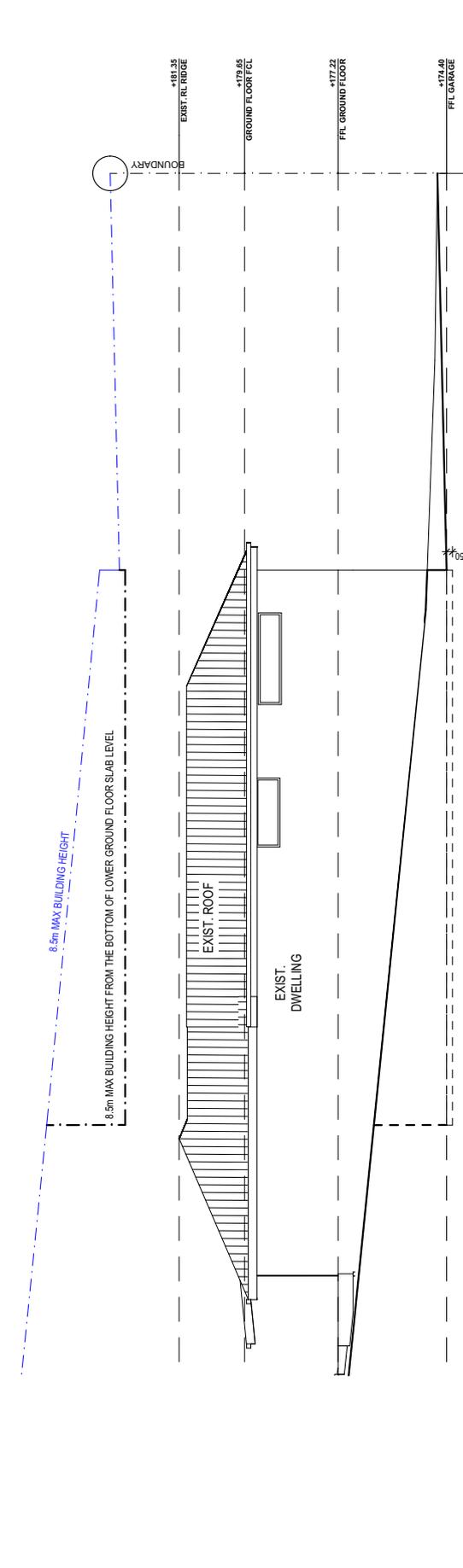
# ATTACHMENT 2 - ITEM 5







EXISTING NORTH EAST ELEVATION

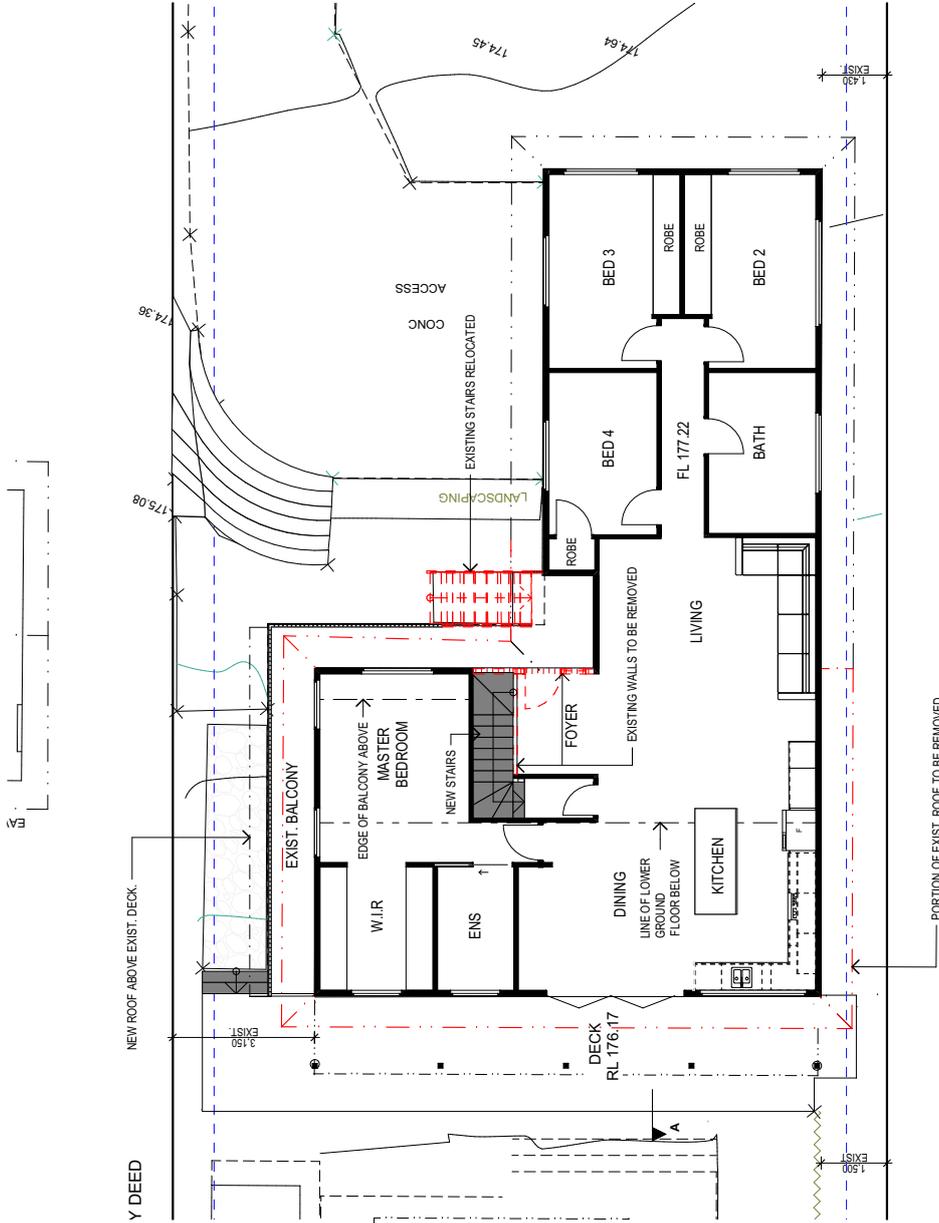


EXISTING SOUTH WEST ELEVATION

<p><b>NOTES (E &amp; OE)</b></p> <ul style="list-style-type: none"> <li>• All drawings are to be made to engineering details.</li> <li>• All drawings are to be checked on site prior to starting work.</li> <li>• All dimensions are to be checked on site prior to starting work.</li> <li>• All drawings are to be read in conjunction with all other consultant's drawings and specifications.</li> <li>• All materials &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li> <li>• Concrete footings, walls, structural beams or any other structural members are to be designed by a practicing engineer.</li> </ul>		<p><b>REV:</b></p> <table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>C</td> <td>08/10</td> <td>CHANGE STAIRS, MINOR OTHER CHANGES.</td> </tr> <tr> <td>D</td> <td>13/10</td> <td>MINOR CHANGES.</td> </tr> <tr> <td>E</td> <td>20/10</td> <td>ROOF SIZE REDUCED, MINOR CHANGES.</td> </tr> <tr> <td>F</td> <td>24/10</td> <td>DA SET OF DRAWINGS.</td> </tr> <tr> <td>G</td> <td>04/11</td> <td>WINDOWS STAIRS MADE LARGER.</td> </tr> <tr> <td>H</td> <td>21/11</td> <td>DA SET.</td> </tr> <tr> <td>I</td> <td>21/01</td> <td>DA SET REVISION.</td> </tr> </table>		REV	DATE	DESCRIPTION	C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.	D	13/10	MINOR CHANGES.	E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.	F	24/10	DA SET OF DRAWINGS.	G	04/11	WINDOWS STAIRS MADE LARGER.	H	21/11	DA SET.	I	21/01	DA SET REVISION.
REV	DATE	DESCRIPTION																									
C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.																									
D	13/10	MINOR CHANGES.																									
E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.																									
F	24/10	DA SET OF DRAWINGS.																									
G	04/11	WINDOWS STAIRS MADE LARGER.																									
H	21/11	DA SET.																									
I	21/01	DA SET REVISION.																									
<p><b>JJ Drafting Australia p/l</b>                  28/80 Macys Vale Road, Macys Vale, NSW, 2103                  Mob. 04 41 717 841   A/CN 651 693 346                  Email: enquiries@jfdrafting.com.au                  www.jfdrafting.com.au</p>		<p><b>PROPOSED ALTERATIONS AND ADDITIONS</b>                  JOB No: 1393/25                  CLIENT: 23 NORTH ST MT COLAH 2079                  CLIENT: AJAY &amp; ASH                  DRAWING TITLE: EXISTING ELEVATIONS SHEET 1</p>																									
<p><b>SCALE:</b> 1:100 @ A3</p>		<p><b>DRAWN BY:</b> RD</p>																									
<p><b>DRAWING No:</b> DA.04</p>		<p><b>DATE:</b> 09/25</p>																									
<p><b>CHECKED BY:</b> JJ</p>		<p><b>DRAWING DESIGNER</b></p>																									

# ATTACHMENT 2 - ITEM 5





• All dimensions are to be checked on site prior to starting work.



SCALE:	1:100 @ A3
DRAWN BY:	RD
DATE:	09/25
DRAWING NO.:	DA.06
CHECKED BY:	JJ

PROPOSED ALTERATIONS AND ADDITIONS	JOB No:
23 NORTH ST MT COLAH 2079	1393/25
CLIENT:	
ADAY & ASH	
DRAWING TITLE:	
DEMOLITION GROUND FLOOR PLAN	

REV:	DATE:	DESCRIPTION:
C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.
D	13/10	MINOR CHANGES.
E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.
F	24/10	DA SET OF DRAWINGS.
G	04/11	WINDOW STAIRS MADE LARGER.
H	21/11	DA SET.
I	21/01	DA SET REVISION.

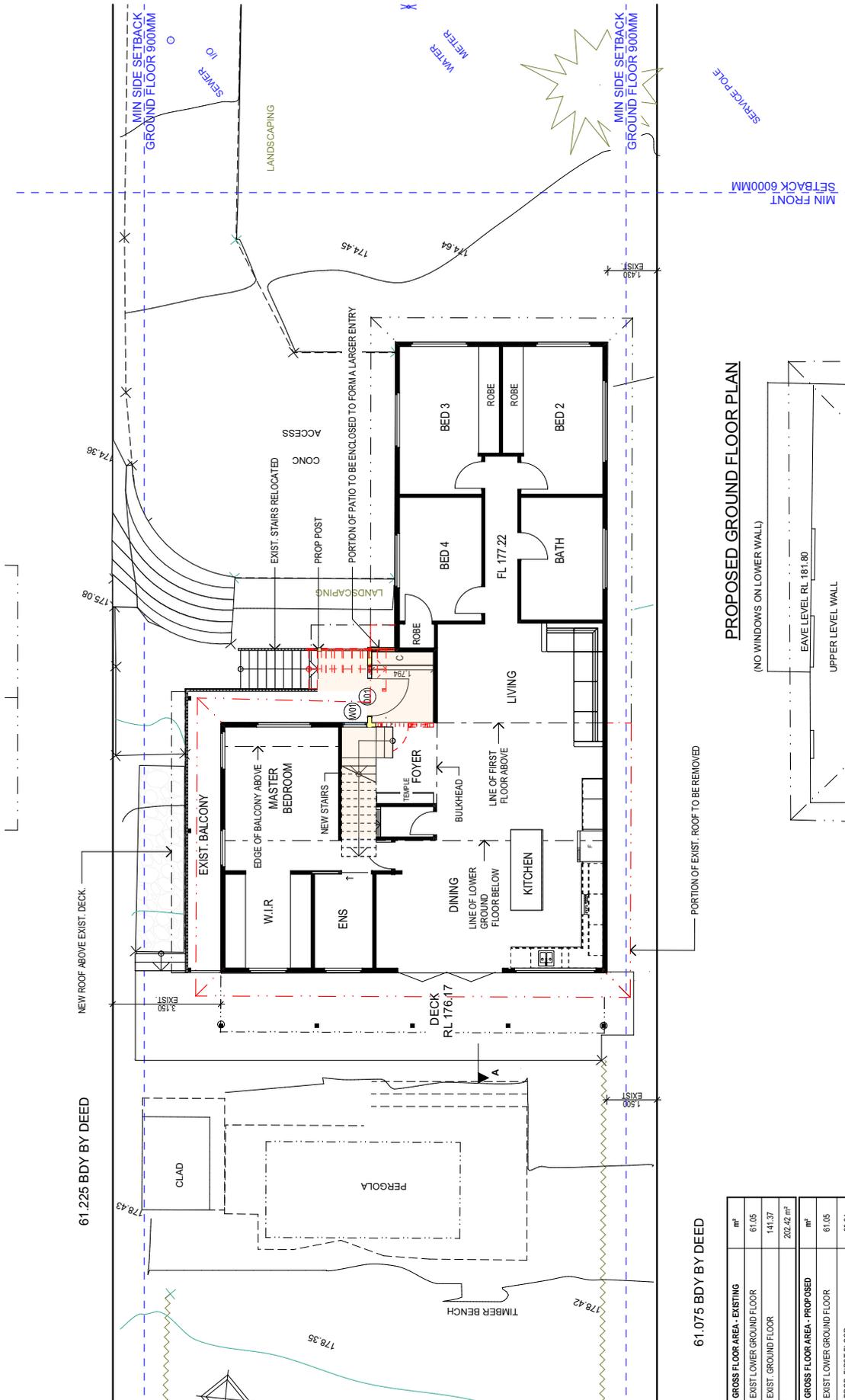
**JJ Drafting Australia P/L**  
 28/80 Macys Vale Road, Macys Vale, NSW, 2103  
 Mob. 04 41 71 84 | A/CN 691 693 346  
 Email: enquiries@jfdrafting.com.au  
 www.jfdrafting.com.au

**NOTES (E & OE)**

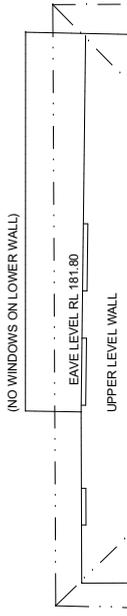
- All dimensions are to be checked on site prior to starting work.
- All materials and materials shall be in accordance with the requirements of current editions of the National Construction Code, relevant Australian Standards & local council requirements.
- Concrete footings, walls, structural beams or any other structural members are to be designed by a practicing engineer.



# ATTACHMENT 2 - ITEM 5



PROPOSED GROUND FLOOR PLAN



61,075 BDY BY DEED

GROSS FLOOR AREA - EXISTING	m <sup>2</sup>
EXIST LOWER GROUND FLOOR	61.05
EXIST GROUND FLOOR	141.37
<b>GROSS FLOOR AREA - PROPOSED</b>	<b>202.42 m<sup>2</sup></b>
EXIST LOWER GROUND FLOOR	61.05
PROP - FIRST FLOOR	68.24
PROP - GROUND FLOOR	145.73
<b>TRUE NORTH:</b>	<b>275.02 m<sup>2</sup></b>

**NOTES (E & OE)**

- All dimensions are to be checked on site prior to starting work.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultants' drawings and specifications & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- Concrete footings, walls, structural beams or any other structural members are to be designed by a practicing engineer.



**JJ Drafting Australia p/l**  
 28/80 Maca Vale Road, Maca Vale, NSW, 2103  
 Mob. 04 41 717 841 | A/CN 691 693 346  
 Email: enquiries@jfdrafting.com.au  
 www.jfdrafting.com.au

REV:	DATE:	DESCRIPTION:
C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.
D	13/10	MINOR CHANGES.
E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.
F	24/10	DA SET OF DRAWINGS.
G	04/11	WINDOW'S STAIRS MADE LARGER.
H	21/11	DA SET.
I	21/01	DA SET REVISION.

PROPOSED ALTERATIONS AND ADDITIONS  
 23 NORTH ST MT COLAH 2079  
 CLIENT: ADAM Y & ASH  
 JOB No: 1393/25

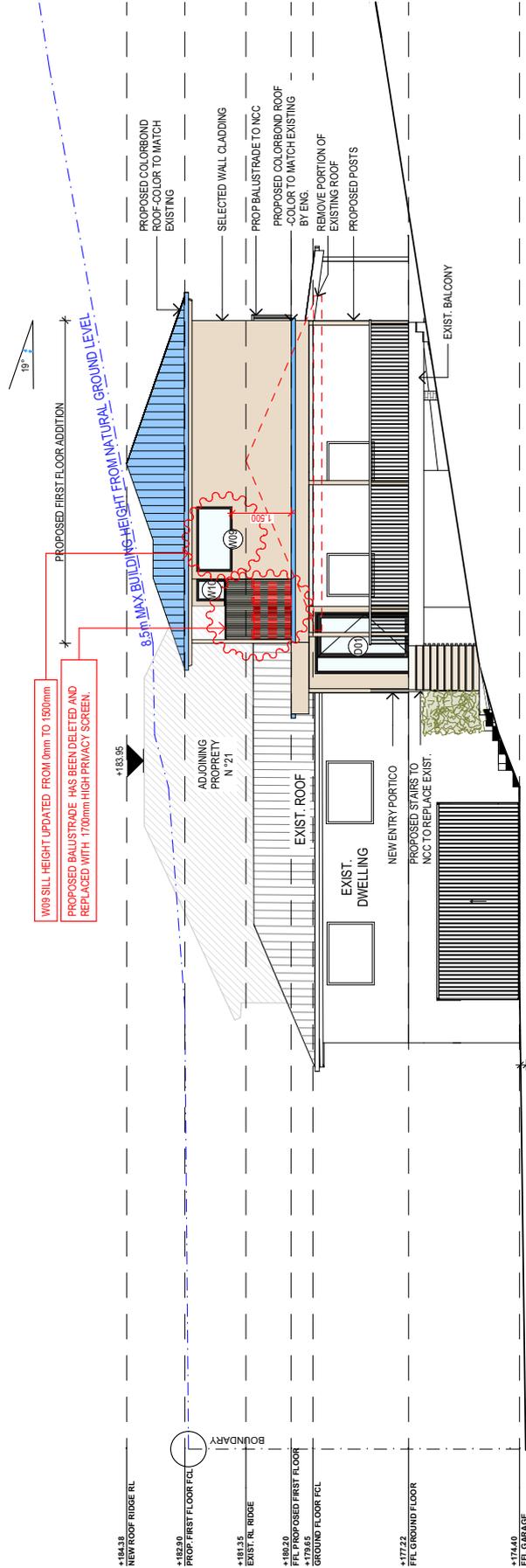
SCALE: 1:100 @ A3	DRAWN BY: RD	JOB No: 1393/25	PROPOSED GROUND FLOOR PLAN
DATE: 09/25	DRAWING No: DA.07	CHECKED BY: JJ	

• All dimensions are to be checked on site prior to starting work.



# ATTACHMENT 2 - ITEM 5





PROPOSED NORTH EAST ELEVATION



SCALE:	1:100 @ A3
DRAWN BY:	RD
DATE:	09/25
DRAWING NO.:	DA.09
CHECKED BY:	JJ

JOB No:	1393/25
PROPOSED ALTERATIONS AND ADDITIONS	23 NORTH ST MT COLAH 2079
CLIENT:	ADAM & ASH
DRAWING TITLE:	PROPOSED NORTH EAST ELEVATION

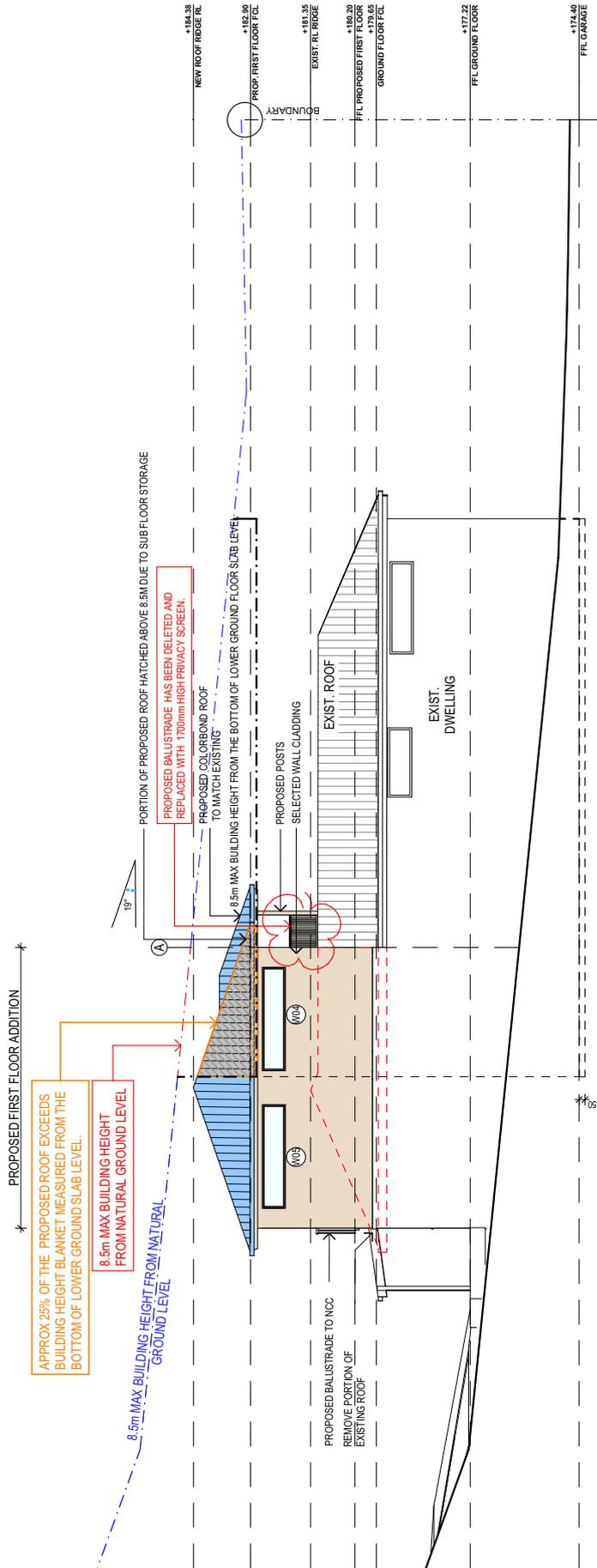
REV:	DATE:	DESCRIPTION:
C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.
D	13/10	MINOR CHANGES.
E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.
F	24/10	DA SET OF DRAWINGS.
G	27/11	WINDOW'S STAIRS MADE LARGER.
H	27/11	DA SET.
I	27/01	DA SET REVISION.

**JJ Drafting Australia p/l**  
 28/80 Maca Vale Road, Maca Vale, NSW, 2103  
 Mob. 04 41 717 841 | A/CN 651 693 346  
 Email: enquiries@jfdrafting.com.au  
 www.jfdrafting.com.au

**NOTES (E & O E)**

- All drawings are subject to change to engineer's details.
- Do not obtain permits or commence work until all drawings are approved.
- All dimensions are to be checked on site prior to starting work.
- All work is to be done in accordance with the requirements of current regulations.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All materials & materials shall be in accordance with the requirements of current regulations including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

# ATTACHMENT 2 - ITEM 5



PROPOSED SOUTH WEST ELEVATION

<p><b>NOTES (E &amp; O E)</b></p> <ul style="list-style-type: none"> <li>• All drawings are to be checked by a registered professional engineer.</li> <li>• All dimensions are to be checked on site prior to starting work.</li> <li>• All materials and materials shall be in accordance with the requirements of current editions of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li> <li>• Concrete footings, walls, structural beams or any other structural members are to be designed by a registered engineer.</li> </ul>	<p><b>REV:</b></p> <table border="1"> <tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>C</td><td>08/10</td><td>CHANGE STAIRS, MINOR OTHER CHANGES.</td></tr> <tr><td>D</td><td>13/10</td><td>MINOR CHANGES.</td></tr> <tr><td>E</td><td>20/10</td><td>ROOF SIZE REDUCED, MINOR CHANGES.</td></tr> <tr><td>F</td><td>24/10</td><td>DA SET OF DRAWINGS.</td></tr> <tr><td>G</td><td>04/11</td><td>DA SET.</td></tr> <tr><td>H</td><td>21/11</td><td>DA SET.</td></tr> <tr><td>I</td><td>21/01</td><td>DA SET REVISION.</td></tr> </table>	REV	DATE	DESCRIPTION	C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.	D	13/10	MINOR CHANGES.	E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.	F	24/10	DA SET OF DRAWINGS.	G	04/11	DA SET.	H	21/11	DA SET.	I	21/01	DA SET REVISION.	<p><b>DESCRIPTION:</b></p> <p>PROPOSED ALTERATIONS AND ADDITIONS 23 NORTH ST MT COLAH 2079</p> <p><b>CLIENT:</b> AJAY &amp; ASH</p> <p><b>DRAWING TITLE:</b> PROPOSED SOUTH WEST ELEVATION</p>	<p><b>SCALE:</b> 1:100 @ A3</p> <p><b>DRAWING No:</b> DA.10</p>	<p><b>CHECKED BY:</b> JJ</p>
		REV	DATE	DESCRIPTION																								
C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.																										
D	13/10	MINOR CHANGES.																										
E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.																										
F	24/10	DA SET OF DRAWINGS.																										
G	04/11	DA SET.																										
H	21/11	DA SET.																										
I	21/01	DA SET REVISION.																										
<p><b>JJ Drafting Australia p/l</b> 28/80 Macys Vale Road, Macys Vale, NSW, 2103 Mob. 04 41 717 841   A/CN 691 693 346 Email: enquiries@jfdrafting.com.au www.jfdrafting.com.au</p>	<p><b>JOB No:</b> 1393/25</p> <p><b>DRAWN BY:</b> RD</p> <p><b>DATE:</b> 09/25</p>																											



# ATTACHMENT 2 - ITEM 5



PROPOSED NORTH WEST ELEVATION



SCALE:	1:100 @ A3
DRAWN BY:	RD
DRAWING No:	DA.11
CHECKED BY:	JJ

PROPOSED ALTERATIONS AND ADDITIONS	JOB No:
23 NORTH ST MT COLAH 2079	1393/25
CLIENT:	DATE:
ADAY & ASH	09/25
DRAWING TITLE:	
PROPOSED NORTH WEST ELEVATION	

REV:	DATE:	DESCRIPTION:
C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.
D	13/10	MINOR CHANGES.
E	20/10	ROOF SIZE REDUCED - MINOR CHANGES.
F	24/10	DA SET OF DRAWINGS.
G	04/11	WINDOWS STAIRS MADE LARGER.
H	21/11	DA SET.
I	21/01	DA SET REVISION.

**JJ Drafting Australia p/l**  
 28/80 Macys Vale Road, Macys Vale, NSW, 2103  
 Mob: 04 84 77 841 | A/CN 651 693 346  
 Email: enquiries@jfdrafting.com.au  
 www.jfdrafting.com.au

**NOTES (E & O E)**

- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- Concrete footings, walls, structural beams or any other structural members are to be designed by a practicing engineer.

# ATTACHMENT 2 - ITEM 5



PROPOSED SOUTH EAST ELEVATION



SCALE:	1:100 @ A3
DRAWN BY:	RD
DATE:	09/25
DRAWING NO.:	DA.12
CHECKED BY:	JJ

PROPOSED ALTERATIONS AND ADDITIONS	23 NORTH ST MT COLAH 2079
CLIENT:	ADAY & ASH
DRAWING TITLE:	PROPOSED SOUTH EAST ELEVATION
JOB NO.:	1393/25

REV.	DATE	DESCRIPTION:
C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.
D	13/10	MINOR CHANGES.
E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.
F	24/10	DA SET OF DRAWINGS.
G	04/11	WINDOW'S STAIRS MADE LARGER.
H	21/11	DA SET.
I	21/01	DA SET REVISION.

**JJ Drafting Australia P/L**  
 28/80 Macys Vale Road, Macys Vale, NSW, 2103  
 Mob. 04 41 717 841 | A/CN 691 693 346  
 Email: enquiries@jfdrafting.com.au  
 www.jfdrafting.com.au

**NOTES (E & OE)**

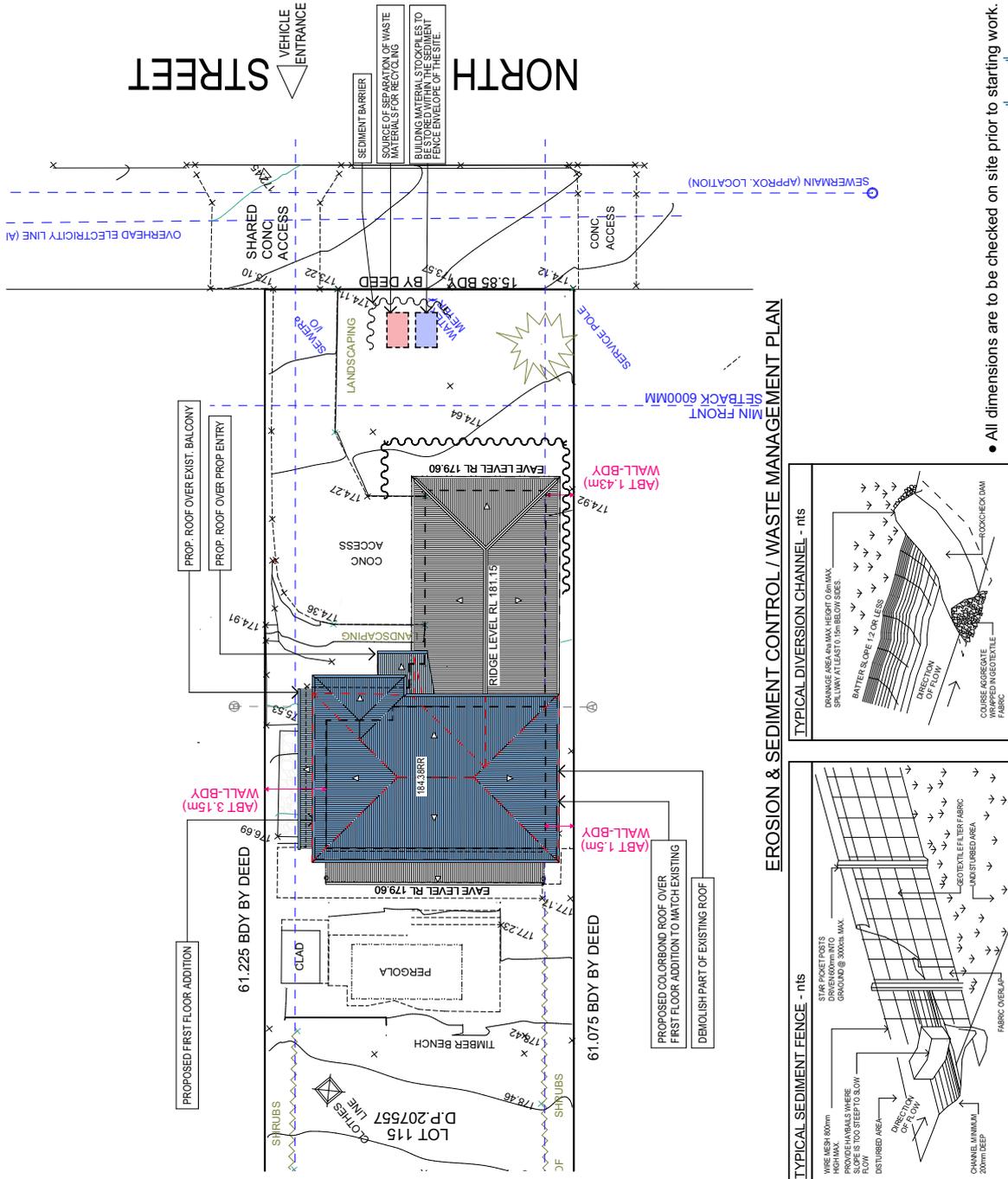
- All dimensions are to be checked on site prior to starting work.
- All work is to be done in accordance with the requirements of current conditions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- Concrete footings, walls, structural beams or any other structural members are to be designed by a practicing engineer.

# ATTACHMENT 2 - ITEM 5









**JJ Drafting Australia p/l.**  
 28/80 Macys Vale Road, Macys Vale, NSW, 2103  
 Mob. 04 41 717 841 | A/CN 651 693 346  
 Email: enquiries@jfdrafting.com.au  
 www.jfdrafting.com.au

REV:	DATE:	DESCRIPTION:
C	08/10	CHANGE STAIRS, MINOR OTHER CHANGES.
D	13/10	MINOR CHANGES.
E	20/10	ROOF SIZE REDUCED, MINOR CHANGES.
F	24/10	DA SET OF DRAWINGS.
G	04/11	WINDOW'S STAIRS MADE LARGER.
H	21/11	DA SET.
I	21/01	DA SET REVISION.

DRAWN BY:	RD
DATE:	09/25
DRAWING NO:	DA-16

JOB NO:	1393/25
CLIENT:	23 NORTH ST MT COLAH 2079
CLIENT:	AJAY & ASH
DRAWING TITLE:	EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

SCALE:	1:200 @ A3
CHECKED BY:	JJ

PROPOSED ALTERATIONS AND ADDITIONS	23 NORTH ST MT COLAH 2079
CLIENT:	AJAY & ASH
DRAWING TITLE:	EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN

NOTES: (E & O E)	<ul style="list-style-type: none"> <li>• All dimensions are to be checked on site prior to starting work.</li> <li>• All dimensions are to be checked on site prior to starting work.</li> <li>• The drawings are to be read in conjunction with all other work.</li> <li>• All materials and materials shall be in accordance with the requirements of current standards including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li> <li>• Concrete footings, walls, structural beams or any other structural members are to be designed by a structural engineer.</li> </ul>
------------------	---

TRUE NORTH:

**NOTES**

**DESIGNATED SITE MANAGER/BUILDER**  
 THE SITE MANAGER OR BUILDER MUST BE NAMED IN THE CONTRACT DOCUMENTS. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

**TOPSOIL MANAGEMENT**  
 PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER MOWING OR GRASS STRIPPING. TOPSOIL MUST BE STORED IN A DESIGNATED AREA ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES, FLOWS PATHS OR AROUND OR AGAINST TREE TRUNKS. ACCESSWAYS, WITHIN DRAINAGE LINES, FLOWS PATHS OR AROUND OR AGAINST TREE TRUNKS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE. STOCKPILES MUST BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

**BUILDING MATERIAL STOCKPILING**  
 SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

**SEDIMENT FENCES**  
 A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWN-SLOPE BOUNDARIES OF THE SITE ON THE CONSTRUCTION SIDE OF THE TURF ELDER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

**DUST CONTROL**  
 ALL TRUCKS/SITES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR AN OBSTACLE TO TRAFFIC. DUST CONTROL MEASURES SHOULD BE TAKEN TO PREVENT THE SPREADING OF DUST FROM THE WORKS. WATERING AND PROGRESSIVE VEGETATION, WHERE DUST IS CREATED AS A RESULT OF WORKS AND/OR SOIL EXPOSURE. THE BARE SOIL AREAS MUST BE WATERED DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

**EROSION & SEDIMENT CONTROLS**  
 APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE EMPLOYED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THESE CONTROLS MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THESE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INOPERATIVE DUE TO THE COURSE OF THE WORKS, THEY ARE TO BE IMMEDIATELY REPAIRED OR REPLACED. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

**SEDIMENT TRAPS**  
 WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

**DIVERSION CHANNELS**  
 A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING INTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTION OF DIVERSION CHANNELS AND/OR THE INSTALLATION OF DIVERSION CHANNELS. WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

**VEHICLE MOVEMENTS**  
 TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS PROVIDED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE PROTECTED FROM TRACKING OF MATERIAL ONTO THE STREET. TRACKING OF MATERIAL DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER POLLUTION FROM THE VEHICLE AND THE TRACKING OF MATERIAL ONTO THE ROAD NETWORK. PUBLIC RESERVE: ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

• All dimensions are to be checked on site prior to starting work.

# ATTACHMENT 2 - ITEM 5









