



# Attachments

## General Meeting

Wednesday 13 May 2026  
at 7:00 PM



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**ATTACHMENT/S**

**REPORT NO. CS16/26**

**ITEM 1**

- 1. STATEMENT BY RESPONSIBLE ACCOUNTING OFFICER**
- 2. CAPITAL WORKS PROGRAM**
- 3. CONSOLIDATED BUDGET RESULT**
- 4. QUARTERLY BUDGET REVIEW STATEMENT**

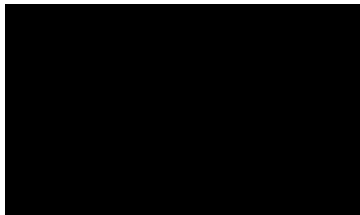


Hornsby Shire Council

**STATEMENT BY RESPONSIBLE ACCOUNTING OFFICER**

The following statement is made in accordance with Clause 203(2) of the Local Government (General) Regulations 2021.

It is in my opinion that the Quarterly Budget Review Statement for Hornsby Shire Council for the quarter ended 31 March 2026 indicates that Council's projected financial position at 30 June 2026 will be satisfactory at year end, having regard to the projected estimates of income and expenditure and the original budgeted income and expenditure.



Duncan Chell                      24 April 2026

Responsible Accounting Officer, Hornsby Shire Council

**ATTACHMENT 1 - ITEM 1**

2025/26 Capital Program	Original Budget	Current Revised Budget	Q3 March Budget Changes						Q3 Proposed Revised Budget Total	YTD Expenditure
			General Funds	Restricted Asset	\$7.11/\$7.12	CRR	Grants	SRV		
<b>2004 - Fleet Administration</b>										
100010 - Fleet Administration	1,480,000	1,480,000							1,480,000	1,552,220
<b>2013 - Corporate Items</b>										
100017 - Corporate Items	1,147,833	-							-	-
<b>2014 - Statutory Reporting</b>										
101158 - Asset Management Planning	-	-							-	71,329
100452 - Community Services Rental Properties (General)	-	-							-	8,193
100465 - Pre-School Rentals	-	-							-	6,635
<b>2032 - Residential Leases</b>										
101278 - RES 18 Bayfield Road, GALSTON (next Rural Sports Facility)	-	-							-	3,409
101284 - RES 102B Galston Road, HORNSBY HEIGHTS (ROFE PK)	-	-							-	34,375
<b>2034 - Property Acquisition</b>										
101816 - Property Acquisition - 90-92 Franklin Road Cherrybrook	-	1,526,005							1,526,005	-
101943 - 3 Bridge Rd (\$2,465,000)	-	-							-	72,001
<b>3005 - AMP Building Maintenance</b>										
100088 - AMP Building Maintenance - General	-	-							-	32,857
101780 - BS Structures & Other	-	180,000							180,000	-
102026 - BS Cemeteries	-	-							-	153,560
101773 - BS Aquatic & Sporting Centres	-	-							-	137,839
101776 - BS Community Centres & Public Halls	-	-							-	43,992
101779 - BS Libraries	-	-							-	-
<b>3009 - Building Maintenance</b>										
101895 - Lift Replacement & 296 Furniture (\$1.1m)	-	550,431							550,431	316,540
100160 - Pedestrian Footbridge George St	-	443,044							443,044	119,300
101429 - Generator - Diesel - Back-up power	-	-							-	48,600
<b>3016 - Mechanical Services Maintenance</b>										
100098 - Heavy Fleet & Mechanical Services	595,000	-							-	-
<b>3025 - Foreshore Facilities</b>										
100221 - Foreshore Facilities	91,000	91,000							91,000	-
101160 - Brooklyn Wharf Upgrade with Pontoon	-	700,000							700,000	50,939
<b>3027 - Stormwater Drainage</b>										
100200 - Stormwater Drainage (Annual AMP 1m) - allocated to Project# 101984 in 25/26 The Glade	953,803	-							-	-
<b>3028 - Stormwater Drainage Projects</b>										
100201 - Stormwater Drainage Plan & Design	200,000	200,000							200,000	109,057
101996 - Minor Drainage Works	270,000	270,000							270,000	-
101984 - The Glade & The Knoll, Gardner Rd, Galston (Sgr1&2) AMP	933,266	933,266							933,266	635,728
<b>3031 - Roads and Drainage Maintenance</b>										
100175 - Shoulder Upgrade	60,000	-							-	-
100169 - Shoulder Maintenance	-	-							-	-
<b>3041 - Unsealed Roads</b>										
101992 - Unsealed Rds Maint - Singleton Rd Maroota	300,000	300,000							300,000	23,231
<b>3042 - Pavements Maintenance</b>										
100181 - Rehabilitation Capital Exp (Annual budget allocation - now merged with Resurfacing)	-	-							-	-
100184 - Resurfacing (Include Rehabilitation Cap Exp)	2,025,000	2,490,000							2,490,000	1,240,777
100190 - Car Park Maintenance/Carpark Audit	-	-							-	30,024
102045 - R2R - County Drive, Cherrybrook	-	204,000							204,000	204,448
102046 - R2R - John Road, Cherrybrook	-	185,000							185,000	226,419
102047 - R2R - Greenhaven Drive, Pennant Hills	-	76,000							76,000	76,455
<b>3054 - Design &amp; Construction Management</b>										
100154 - RA Funded HAC Development	-	-							-	186

ATTACHMENT 2 - ITEM 1

2025/26 Capital Program	Original Budget	Current Revised Budget	Q3 March Budget Changes						Q3 Proposed Revised Budget Total	YTD Expenditure
			General Funds	Restricted Asset	\$7.11/\$7.12	CRR	Grants	SRV		
<b>3056 - Design &amp; Technical Support</b>										
100113 - Design Staff Time	-	-								
100069 - Cadastral Land Survey										15,977
<b>3059 - Footpath Projects - (\$500K GF per year)</b>										
101968 - FF Berowra, Kwyong Rd - Yallambee Rd to Redwood Ave	128,000	128,000								
101969 - FF Berowra, Kwyong Rd - Yallambee Rd to Kwoyong Rd	10,500	10,500								
101980 - FF Normanhurst, Willowtree Rd - Calga Ave to Pine Pt	48,600	48,600								
101961 - FF P/Phills, Bellamy St - Stevens St to end (North)	87,000	87,000								
101962 - FF C/Brook, Purchase Rd - Beechwood Pde to Kentia Pde	176,100	176,100								
101963 - FF Hornsby, Ides St - Sutton St to school (East side)	49,800	49,800								
101864 - FF Koloona St, Berow Heights - Warrima St to Jaramba S7.12 S7.16	-	-								43,276
101865 - FF Valley Rd, Hornsby - Princes Parade to Rosemead Rd	-	-								1,537
101866 - FF Newton St, North Epping - Devon St to Howard Place	-	-								724
<b>3060 - Local Road Improvements</b>										
100128 - Local Roads Planning & Design	150,000	150,000								
<b>3081 - Local Road Projects</b>										
100129 - LRI Kerbs & Gutters Various	120,000	-								
100901 - Chandler Avenue, COWAN - Both sides - Fraser Road to Alberta	722,000	363,284	96,716							
101964 - LRI P/Hills, Redgum Ave - Laurence St to end	950,000	950,000	350,000							
101965 - LRI Hornsby Heights, Greville Cres (Sig 1) R2R	1,144,465	1,144,465	350,000							
101966 - LRI N/Hurst, Demman Pde (Sig 1)	500,000	-								
102042 - LRI Berowra Anembo Rd - Yallambee to Waratah Rd	-	762,000								
101336 - LRI Crosslands Rd, Galston	-	-								
101763 - LRI Victory St Asquith - Baldwin Ave to Dudley St	-	-								
<b>3065 - Traffic Projects</b>										
100256 - Traffic Facility Capital Improvement Projects	279,000	279,000	279,000							
101853 - Traffic Pre-Construction	50,000	50,000	279,000							
100877 - S7.11 RD-003 Peats Ferry Bridge Rd Intersection (R-040)	1,215,000	276,060			76,060					
101990 - RER Wombat Crossing in Quarry Road, Durak	230,000	40,000								
100251 - S7.11 RD-001 Signals Galston Rd & Clairinda St (R-D15)	-	-								
100248 - R-030-037 Peats Ferry Rd Willm St. 4 way	-	-								
100883 - S7.11 RD-004 Horn W Side Realign bus & taxi exit (R-040)	-	-								
100904 - TNSW TR Wongalia Cres - Cycleway - P/Hills to Epp - \$5.1m	-	-								
101584 - SP C/Hill Rd Exten - Victoria Rd & P/Hill Rd (R9756)	-	-								
101914 - Grant Sale Speed in HPA - Hornsby Town Centre (24/25 R2R \$90k)	-	-								
101914 - Grant Sale Speed in HPA - Hornsby Town Centre (24/25 R2R \$2.8m)	-	-								
<b>3068 - Hornsby Aquatic Centre</b>										
101591 - HAC Carpark	-	2,773,536								
<b>3070 - Thornleigh Rec Centre</b>										
100288 - Thornleigh Stadium Operations	-	115,868								
<b>3071 - Parks &amp; Landscapes Architects</b>										
102027 - Parks Capital Projects	-	-								
<b>3072 - Parks Service Unit</b>										
100293 - Parks Service Unit General	-	150,000								
<b>3075 - Parks Asset Group</b>										
100322 - Parks Asset Group - Parks	706,087	706,087								
101350 - Playground Undersurfacing	150,000	150,000								
101609 - Park Furniture Renewal	85,000	85,000								
101610 - Park Fencing Renewal	85,000	85,000								
101611 - Cricket Wicket Renewal	60,000	60,000								
101613 - Inflighton Renewal	75,000	75,000								

ATTACHMENT 2 - ITEM 1

**ATTACHMENT 2 - ITEM 1**

	2025/26 Capital Program	Original Budget	Current Revised Budget	Q3 March Budget Changes						YTD Expenditure			
				Total	Revised Total	General Funds	Restricted Asset	\$7.11/\$7.12	CRR		Grants	SRV	Q3 Proposed Revised Budget Total
101882 - Asquith Park off leash dog park		-	-	-	-	-	-	-	-	-	-	6,317	
<b>3076 - Paris Landscape Architect Capital Projects</b>													
101387 - S7.11 OSR-010 Ron Payne Oval Amenities		-	50,000	-	50,000	-	-	-	-	-	-	65,429	
101388 - S7.11 OSR-015 PHills Walking Path		-	100,000	-	100,000	-	-	-	-	-	-	1,112	
101400 - S7.11 OSR-017 Mark Taylor Oval Waitara (\$9m+Grant \$600k)		2,140,000	2,140,000	-	2,140,000	-	-	-	-	-	-	3,136,754	
101519 - Grant - Oval & Playground Upgrade (Ed Bennett) (\$1.5m)		2,300,000	1,150,000	-	1,150,000	-	-	-	-	-	-	166,535	
101606 - S7.11 OSR-020 Berry Park Playground Mt Colah - Construction		-	108,427	-	108,427	-	-	-	-	-	-	101,262	
101872 - S7.11 OSR-13 James Henry Oval - Floodlights		200,000	213,669	-	213,669	-	-	-	-	-	-	23,677	
101873 - S7.11 OSR-19 Local Playground Asquith - Design & Investig		-	610,328	-	610,328	-	-	-	-	-	-	44,177	
101968 - S7.11 OSR-018 Fagan Park Asquith (fitness equipment)		560,000	-	-	560,000	-	-	-	-	-	-	-	
101568 - S7.11 OSR-018 Fagan Park Playground - Stage 2 (playspace design)		150,000	150,000	-	150,000	-	-	-	-	-	-	58,586	
101876 - North Epping Oval Exercise Equipment		-	278,331	-	278,331	-	-	-	-	-	-	287,011	
101884 - Grant Mills Park Asquith Playground		50,000	50,000	-	50,000	-	-	-	-	-	-	110,794	
101916 - Grant - North Epping Oval Amenities Upgrade (\$400k)		400,000	400,000	-	400,000	-	-	-	-	-	-	48,850	
101911 - Feanley Park (Playspace)		-	199,825	-	199,825	-	-	-	-	-	-	238,261	
101912 - Charles Curtis Park (Playspace)		450,000	450,000	-	450,000	-	-	-	-	-	-	487,383	
101932 - Glenorie Memorial Fence		-	47,280	-	47,280	-	-	-	-	-	-	171,046	
101969 - Uolo Park Hornsby Heights (playspace) GF		300,000	300,000	-	300,000	-	-	-	-	-	-	300,000	
101970 - Dushole Bay Borowra Waters (playspace) GF		250,000	250,000	-	250,000	-	-	-	-	-	-	26,869	
101971 - Pennant Hills Park Nursery (design)GF		30,000	30,000	-	30,000	-	-	-	-	-	-	-	
102017 - CRF - Grant - Fagan Park Netherby & Children's Forest		-	363,636	-	363,636	-	-	-	-	-	-	1,976	
101395 - S7.11 OSR-005 Brickpit Park Embellishment (Stage 2)		-	-	-	-	-	-	-	-	-	-	-	
101518 - Grant - Spornfield Hills Park (\$1.5m)		-	-	-	-	-	-	-	-	-	-	2,346	
101569 - S7.11 OSR-022 Wollundry Park - Park and Playground Embellish		-	-	-	-	-	-	-	-	-	-	3,435	
101607 - Grant - Greenway Park Building (\$1.37m Multi-S & 890kGC)		-	126,276	-	126,276	-	-	-	-	-	-	126,108	
101910 - Moorfield Hills Park (Playspace) \$350k GF		-	-	-	-	-	-	-	-	-	-	10,681	
101922 - S7.11 OSR-024 Brickpit off leash dog park		-	-	-	-	-	-	-	-	-	-	15,092	
<b>3080 - Major Project</b>													
100514 - S7.11 OSR-004 Westlough Park Development (OS-04.7)		700,000	700,000	-	700,000	-	-	-	-	-	-	385,485	
101048 - Public Domain - Asquith to Mt Colah (Stage 1 & 2)		100,000	100,000	-	100,000	-	-	-	-	-	-	60,489	
101734 - Public Domain - Galston		6,500,000	1,500,000	-	1,500,000	-	-	-	-	-	-	184,481	
100238 - TNSW 100% Brooklyn Boardwalk (\$5.07m) - HSC Cont. \$300k		-	-	-	-	-	-	-	-	-	-	252,533	
102105 - Gateway & Suburb Signage		-	-	-	-	-	-	-	-	-	-	-	
<b>3082 - Hornsby Park</b>													
100156 - Hornsby Quarry Creation - Hornsby Park		-	122,225	-	122,225	-	-	-	-	-	-	85,153	
101699 - Hornsby Quarry Design and Management		200,000	200,000	-	200,000	-	-	-	-	-	-	185,553	
102057 - Stewide REF		-	150,000	-	150,000	-	-	-	-	-	-	37,302	
<b>3083 - Hornsby Quarry Embellishment</b>													
101688 - Hornsby Quarry Embellishment		-	-	-	-	-	-	-	-	-	-	-	
101690 - Precinct B - Quarry Void - Circulation Works		1,757,568	350,317	-	350,317	-	-	-	-	-	-	408,220	
101691 - Precinct C - Bushland Tracks & Trails & Heritage Steps		-	-	-	-	-	-	-	-	-	-	-	
101694 - Precinct F - Crusher Plant		-	-	-	-	-	-	-	-	-	-	-	
101698 - Enabling Works		-	-	-	-	-	-	-	-	-	-	-	
101693 - Precinct E - Northern Round		-	-	-	-	-	-	-	-	-	-	-	
102048 - Embellishments Stage 1 Completion		-	711,234	-	711,234	-	-	-	-	-	-	705,650	
102050 - Circulation Works		-	972,892	-	972,892	-	-	-	-	-	-	530,854	
102051 - Signage & Interps		-	532,000	-	532,000	-	-	-	-	-	-	121,222	
102054 - Greenspace		-	1,064,082	-	1,064,082	-	-	-	-	-	-	612,310	
102086 - Circulation Planting		-	-	-	-	-	-	-	-	-	-	20,212	
<b>3084 - Old Mans Valley</b>													

2025/26 Capital Program	Original Budget	Current Revised Budget	Q3 March Budget Changes						Q3 Proposed Revised Budget Total	YTD Expenditure
			General Funds	Restricted Asset	\$7.11/\$7.12	CRR	Grants	SRV		
	Total	17,061,620								137,433
101889 - Precinct A - \$7.11 Old Mans Valley - \$12M Grant	-	-								650,736
102034 - OMV FOP Project Team	-	1,500,000						500,000		1,290,032
102035 - OMV FOP Services Enhancement	-	2,955,000								765
102036 - OMV FOP Civil Landscape And Field Of Play	-	2,500,000								1,631
102037 - OMV FOP Buildings & Amenities	-	250,000								-
102038 - OMV FOP Mountain Bike Facilities	-	-								888,894
102039 - OMV FOP Understore	-	1,000,000								1,910
<b>3085 - Vegetation Management</b>										140,889
101441 - Hornsby Quarry Vegetation Management ( \$5m)		300,000								-
102062 - Circulation Vegetation										-
<b>4005 - Community Services Properties</b>										-
101955 - \$7.11 CF-008 Beowra Electrical Upgrade	380,000	400,000			340,000					-
101956 - \$7.11 CF-008 Storey Park Reconfiguration	140,000	240,000			40,000					-
101413 - \$7.11 CF-008 Embellish Existing Community Centres	-	-			61,650					44,250
<b>4010 - Community and Cultural Facilities</b>										104,134
100403 - Wallaroba Masterplan and Detailed Design	625,000	625,000			455,000					144,160
101488 - \$7.11 Cherrybrook Community Centre - Playground Upgrade	947,000	480,000			-					-
<b>4014 - Catchments Remediation</b>										23,803
100524 - Estuary Boat		23,803								403,241
101906 - Pecan Close, Cherrybrook - Gross pollution device (underground vault)	350,000	400,000				2,312				-
101979 - Clarinda Street, Hornsby - Wetland	800,000	200,000				200,000				8,127
101980 - Kanbun Avenue, Cherrybrook - Gross pollution device (x2) (underground vaults)	800,000	100,000				280,000				50,058
101981 - Lyne Road, Cheltenham - Biofilter basin	450,000	100,000				45,000				-
102012 - Redlum Ave, Pennant Hills, Bio-basin		-								25,206
102025 - Edward Bennett Oval - Stormwater Harvesting Amplification		600,000								66,627
102030 - Hornsby Quarry - Creek Rehabilitation		70,000								115
100908 - CRR - Foxglove Oval - Monitoring		-								-
101388 - CRR Edward Bennett Pk, Chook Creek - Pollut Trap, Bio Bas		-								79,167
101728 - CRR Derribong Pl, Thornleigh - Trash Rack		80,000								157,906
101907 - CRR Investigation and Design - Multiple Locations		100,000								463,660
101905 - CRR Bridge Road, Hornsby - Gross Pollution Device - Design		600,000				150,000				300,000
102089 - CRR - Glen Street Galston		-								-
<b>4019 - Bushland Capital Projects</b>										164,865
101009 - Begonia Road, Thornleigh to Blantyre Close, Normanhurst - Pedestrian link upgrades	190,000	190,000			92,000					-
101622 - SCF - Laro Creek Bridge	690,000	100,000			100,000					9,205
101557 - Hornsby Park - Mountain Eike trail upgrade	500,000	200,000			150,000					-
101889 - Grant - SCF Mountain Eike Trails	1,200,000	200,000			190,000					-
102040 - \$7.11 Hornsby Park Bushland Tracks	-	230,824			159,176					23,411
101731 - \$7.11 Bl-008 Devils Creek Track to Lyme Road, Cheltenham	-	-			28,000					280,033
102040 - \$7.11 Hornsby Park Bushland Tracks	-	-								-
<b>4021 - Bushland Operation</b>										50
100729 - Mountain Eike Trail Maintenance		-								8,203
<b>4022 - Hazard Reduction &amp; Mitigation</b>										14,087
100467 - Bush Fire Wages and Admin		-								-
<b>4024 - Library Administration</b>										15,076
100545 - Library & Community Branch Administration	95,000	95,000	95,000							75,061
<b>4026 - Library Resource Organisation</b>										98,000
100547 - Library Technology and Resource	-	-	12,700							-
<b>4027 - Information &amp; Outreach Section</b>										107,000
100549 - Library Reference and Local Studies	99,000	99,000	8,000							75,049
100551 - Library Childrens & Youth Services	96,000	96,000	2,000							-


# ATTACHMENT 2 - ITEM 1

	2025/26 Capital Program	Original Budget	Current Revised Budget	Q3 March Budget Changes						Q3 Proposed Revised Budget Total	YTD Expenditure		
				Total	Revised Total	General Funds	Restricted Asset	\$7.11/\$7.12	CRR			Grants	SRV
<b>4025 - Library Customer Services</b>													
100554 - SRV 11 CF-002 Library Customer & Network Services (CF-005)		119,000	119,000	9,000						128,000	97,088		
<b>4029 - Library Lending Services</b>													
100555 - Library Customer Services		79,500	79,500	14,800						64,700	49,254		
<b>4031 - Pennant Hills Library</b>													
100557 - Pennant Hills Library				250,000						250,000	-		
<b>4046 - DWM Contracts &amp; Services</b>													
101123 - DWM Fogliove Oval - Waste Remediation		-	-	-						-	70		
101523 - DWM Waste Collections Contract (Cleanaway)		-	-	-						-	-		
102024 - DWM 7 Beaumont Rd Upgrade Works		-	-	-						-	79,458		
<b>5005 - Development Assessment Services</b>													
100590 - Development Assessment Services		-	-	-						-	1,086		
<b>7302 - SRV Share Path</b>													
101744 - SRV SP (21 share paths)		-	473,477	-						473,477	473,368		
101986 - SRV Share path C/Brook, Robert Rd - Oliver Way to John Rd		480,000	480,000	-	187,000				228,000	65,000	66,595		
101987 - SRV Share path P/Hills, Bellamy St, Boundary Rd to Stevens St		1,100,000	900,000	-	-				10,000	890,000	886,778		
102049 - Quarry Rd Arrival Plaza			1,300,000							1,300,000	913,680		
<b>7303 - SRV Drainage</b>													
101854 - SRV Drainage Improvement - Latrod Creek (\$1m)		-	-	-						-	-		
101985 - SRV The Glade & The Knoll, Gardiner Rd, Galston (Sgr1&2)		1,572,468	-	-						-	260,420		
<b>7304 - SRV Hornsby Park</b>													
101988 - SRV Hornsby Park Asset Renewals		716,000	716,000							716,000	188,840		
101989 - SRV Hornsby Park - recurrent Operations and Maintenance		-	-	-						-	63,563		
<b>7401 - SRV Bushfire Risk</b>													
101837 - SRV Bushfire Risk Mitigation - Operations		-	-	-						-	60,773		
<b>7404 - SRV Inclusive CC</b>													
101748 - SRV Inclusive Community Centres - Compliance with Audit		48,000	155,000	-	64,000					91,000	78,862		
101957 - SRV Inclusive Community Centres - Beecroft CC		383,000	350,000	-	-					350,000	198,369		
101997 - SRV Inclusive Community Centres - Berowra CC		-	10,000	-	5,000					5,000	1,884		
<b>7405 - SRV Park Amenities</b>													
101835 - SRV Public Amenities (Smaller Parks) - Montview Oval		-	220,979	-	-					220,979	216,517		
101934 - SRV Sports Ground Change Rooms Investigation, Design and Management		150,000	75,000	-	-					75,000	13,415		
101977 - SRV Asquith Oval changeroom (sportsground changerooms)		100,000	200,000	-	-					200,000	12,106		
101978 - SRV North Epping Oval Amenities		400,000	-	-	-					-	-		
<b>7406 - SRV Playspaces</b>													
101753 - SRV Playground Renewal		85,000	85,000							85,000	-		
<b>\$1M Public Amenities</b>													
101745 - SRV Public Toilets		-	-	-						-	13,006		
101931 - SRV Berowra Waters (Dushole Bay) public toilet renewal		-	134,788	-	-					134,788	135,308		
101932 - SRV Upper Mckell Park Brooklyn public toilet renewal		-	420,000	-	300,973					119,027	119,027		
101933 - SRV Public toilet program investigation, design & management		-	75,000	-	-					75,000	30,682		
101972 - SRV Fagan Park Galston Netherby toilets (public amenities)		250,000	250,000	-	-				200,000	50,000	-		
101973 - SRV Fagan Park Galston Arcadia Rd toilets (public amenities)		150,000	75,000	-	-				55,000	20,000	-		
101974 - SRV Fagan Park Galston North American Garden toilets (public amenities)		100,000	175,000	-	-				145,000	30,000	1,081		
101975 - SRV Asquith Oval toilet (public amenities)		350,000	175,000	-	-				-	175,000	11,373		
101976 - SRV Accessibility improvements public toilets (public amenities)		150,000	150,000	-	-				-	150,000	3,207		
<b>7409 - SRV Track Upgrade</b>													
101929 - SRV Deep Bay Creek to Turner Road Fire Trail, Berowra Heights - Great North Walk upgrade		78,000	78,000							78,000	34,808		
101927 - SRV Hornsby Park and links - Bushwalking track signage		60,000	60,000							60,000	95,864		
101928 - SRV Salt Pan Reserve, Brooklyn - Accessible loop path and signage		24,000	54,000							54,000	45,789		

ATTACHMENT 2 - ITEM 1

2025/26 Capital Program	Original Budget	Current Revised Budget	Q3 March Budget Changes						Q3 Proposed Revised Budget Total	YTD Expenditure
			General Funds	Restricted Asset	\$7.11/\$7.12	CRR	Grants	SRV		
	Total	Revised Total								Q3 Actual Spend
101982 - SRV Bushland wayfinding signage upgrades	40,000	40,000						40,000		-
101930 - SRV Lanouli Creek shared use bridge connection Hsby-W Leigh	60,000	60,000						60,000		35,450
101983 - SRV Healdy Park Accessible Loop Track Upgrade	25,000	-						-		-
	62,200,810	52,510,040	18,616	2,064,973	1,557,766	487,312	515,000	638,000	51,355,761	26,167,307

# ATTACHMENT 2 - ITEM 1

 <b>Consolidated Cash Result</b>	For the Period of Mar YTD			Full Year Budget			
	Year-to-Date	Year-to-Date	Year-to-Date	Total Year	Total Year	Total Year	Total Year
	2025/26	2025/26	2025/26	2025/26	2025/26	2025/26	2025/26
	Actual	Revised Budget	Variance	Original Budget	Current Revised Budget	Recommended Changes	Projected Final
	\$	\$	\$	\$	\$	\$	\$
<b>OPERATING INCOME</b>							
Rates and annual charges	(135,694,955)	(134,903,802)	791,153	(134,804,066)	(134,793,596)	0	(134,793,596)
User charges and fees	(12,964,617)	(11,475,726)	1,488,891	(14,938,137)	(15,099,435)	21,000	(15,078,435)
Interest & investment revenue	(10,799,364)	(6,624,688)	4,174,676	(8,928,982)	(8,928,982)	0	(8,928,982)
Other revenue	(4,010,756)	(3,125,527)	885,229	(3,932,866)	(4,179,866)	0	(4,179,866)
Grants and contributions (operating)	(6,002,062)	(7,568,620)	(1,566,559)	(10,238,806)	(7,978,929)	1,364	(7,977,565)
Other income (including lease income)	(3,028,242)	(2,199,113)	829,129	(3,094,734)	(3,094,734)	0	(3,094,734)
Proceeds from the sale of assets	(1,019,142)	(749,995)	269,147	(1,000,000)	(1,000,000)	0	(1,000,000)
<b>Total operating income</b>	<b>(173,519,137)</b>	<b>(166,647,471)</b>	<b>6,871,666</b>	<b>(176,937,591)</b>	<b>(175,075,541)</b>	<b>22,364</b>	<b>(175,053,177)</b>
<b>OPERATING EXPENSES (CONTROLLABLE)</b>							
Employee benefits and on-costs	43,302,059	45,309,235	2,007,176	61,150,704	61,183,169	0	61,183,169
Materials and services	50,433,730	53,985,296	3,551,566	76,013,426	75,453,371	293,504	75,746,875
Borrowing costs	10,780	13,500	2,720	18,000	18,000	0	18,000
Other expenses	3,684,347	3,906,862	222,515	5,100,824	5,100,824	0	5,100,824
<b>Total operating expenses (controllable)</b>	<b>97,430,916</b>	<b>103,214,893</b>	<b>5,783,977</b>	<b>142,282,954</b>	<b>141,755,364</b>	<b>293,504</b>	<b>142,048,868</b>
<b>Net operating result before depreciation</b>	<b>(76,088,221)</b>	<b>(63,432,578)</b>	<b>12,655,643</b>	<b>(34,654,637)</b>	<b>(33,320,177)</b>	<b>315,868</b>	<b>(33,004,309)</b>
<b>CAPITAL INCOME</b>							
Grants and contributions (capital)	(9,682,033)	(10,886,569)	(1,204,536)	(13,630,810)	(17,288,961)	0	(17,288,961)
<b>Total capital income</b>	<b>(9,682,033)</b>	<b>(10,886,569)</b>	<b>(1,204,536)</b>	<b>(13,630,810)</b>	<b>(17,288,961)</b>	<b>0</b>	<b>(17,288,961)</b>
<b>CAPITAL EXPENSES</b>							
WIP Expenditure	23,252,379	34,704,974	11,452,594	59,645,110	48,606,564	(1,326,179)	47,280,385
Asset Purchases	2,914,928	3,375,575	460,647	2,563,500	3,903,476	171,900	4,075,376
<b>Total capital expenses</b>	<b>26,167,307</b>	<b>38,080,549</b>	<b>11,913,242</b>	<b>62,208,610</b>	<b>52,510,040</b>	<b>(1,154,279)</b>	<b>51,355,761</b>
<b>FUNDING ADJUSTMENTS</b>							
External restricted assets	17,530,690	9,211,379	(8,319,311)	(9,723,977)	(2,996,102)	208,438	(2,787,664)
Internal restricted assets	(1,115,979)	(3,314,758)	(2,198,779)	(6,522,338)	(1,207,952)	629,973	(577,979)
Employee leave payments (from provisions)	1,247,122	717,052	(530,071)	956,069	956,069	0	956,069
<b>Total funding adjustments</b>	<b>17,661,833</b>	<b>6,613,673</b>	<b>(11,048,161)</b>	<b>(15,290,246)</b>	<b>(3,247,985)</b>	<b>838,411</b>	<b>(2,409,574)</b>
<b>Net operating &amp; capital result after funding (cash result)</b>	<b>(41,710,968)</b>	<b>(29,624,925)</b>	<b>12,086,043</b>	<b>(1,367,083)</b>	<b>(1,347,083)</b>	<b>0</b>	<b>(1,347,083)</b>
<b>Consolidated Statutory Reporting Result (Non Cash)</b>							
<b>Net operating result before depreciation</b>	<b>(76,088,221)</b>	<b>(63,432,578)</b>	<b>12,655,643</b>	<b>(34,654,637)</b>	<b>(33,320,177)</b>	<b>315,868</b>	<b>(33,004,309)</b>
<b>FINANCIAL REPORTING ADJUSTMENTS - NON CASH</b>							
Depreciation & amortisation	20,154,141	19,880,845	(273,296)	26,559,589	26,559,589	0	26,559,589
Carrying amount of assets disposed/impaired	948,548	0	(948,548)	0	0	2,500,000	2,500,000
<b>Total financial reporting adjustments - non cash</b>	<b>21,102,690</b>	<b>19,880,845</b>	<b>(1,221,845)</b>	<b>26,559,589</b>	<b>26,559,589</b>	<b>2,500,000</b>	<b>29,059,589</b>
<b>Net operating result before capital grants and contributions</b>	<b>(54,985,531)</b>	<b>(43,551,733)</b>	<b>11,433,798</b>	<b>(8,095,048)</b>	<b>(6,760,588)</b>	<b>2,815,868</b>	<b>(3,944,720)</b>

**Office of Local Government**  
**QBRS 25-26 Quarter 3**

Return to: [qbrs@olg.nsw.gov.au](mailto:qbrs@olg.nsw.gov.au) in Excel format

Due Date: 31 May 2026

**Council Name:** Hornsby Shire Council  
**Quarter end:** 31/03/2026

**Contact Name:** Duncan Chell  
**Contact Phone:** 9847 6822  
**Contact Email:** [dchell@hornsby.nsw.gov.au](mailto:dchell@hornsby.nsw.gov.au)

**Comments on Return:**  
Water & Sewer Funds are not applicable for Hornsby Shire Council

Note: to insert line breaks in comment box, press Alt-Enter.

Only WHITE cells need to be populated

**DO NOT ENTER N/A into Cells - leave blank if no data**  
Questions relating to this return should be directed to:  
**Office of Local Government**

Performance Team  
(02) 4428 4100

# ATTACHMENT 4 - ITEM 1

**QERS FINANCIAL OVERVIEW**  
**Hornsby Shire Council**  
**Budget review for the quarter ended 31/03/26**

DESCRIPTION	Previous Year		Current Year Original		Approved Changes		Approved Changes		Approved Changes		Revised Budget	Recommended Changes for council resolution	Projected Year End (PVE) Result	VARIANCE ORGANSY Budget v PVE	ACTUAL YTD
	Actual	Budget	Q 1	Q 2	Q 3	Q 1	Q 2	Q 3	Result						
Net Operating Result before grants and contributions provided for capital purposes	20,568	8,095	-2,830	1,496	1,496	0	0	0	0	6,761	-2,816	3,945	-4,150	54,986	
Water Fund	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Sewer Fund	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Consolidated	20,568	8,095	-2,830	1,496	1,496	0	0	0	0	6,761	-2,816	3,945	-4,150	54,986	
<b>Consolidated</b>	<b>88,492</b>	<b>48,286</b>	<b>-1,945</b>	<b>4,270</b>	<b>4,270</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>50,611</b>	<b>-2,816</b>	<b>47,795</b>	<b>-491</b>	<b>84,822</b>	
Total borrowings	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
External restrictions	161,239	151,515	-7,467	12,830	12,830	0	156,878	208	157,086	156,878	208	157,086	5,571	167,065	
Internal Allocations	99,827	86,534	4,291	2,630	2,630	0	93,455	630	94,085	93,455	630	94,085	7,551	97,221	
Unallocated	23,095	23,506	0	0	0	0	23,506	0	23,506	23,506	0	23,506	0	52,678	
<b>Total Cash, Cash Equivalents and Invest</b>	<b>284,161</b>	<b>261,555</b>	<b>-3,176</b>	<b>15,460</b>	<b>15,460</b>	<b>0</b>	<b>273,839</b>	<b>838</b>	<b>274,677</b>	<b>273,839</b>	<b>838</b>	<b>274,677</b>	<b>13,122</b>	<b>316,964</b>	
Capital Funding	72,860	62,209	1,250	-10,949	-10,949	0	52,510	-1,154	51,356	52,510	-1,154	51,356	-10,853	26,167	
Capital Expenditure	72,860	62,209	1,250	-10,949	-10,949	0	52,510	-1,154	51,356	52,510	-1,154	51,356	-10,853	26,167	
<b>Net Capital</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	

DESCRIPTION	Opening Balance	Total Cash Contributions Received	Total Interest Earned	Total Expended	Total Internal Restrictions (to)/from	Total as Restricted Asset	Cumulative balance of internal borrowings (to)/from
<b>Developer Contribution</b>	85,777	4,444	3,255	4,279	0	89,197	0
<b>Total Developer Contributions</b>	<b>85,777</b>	<b>4,444</b>	<b>3,255</b>	<b>4,279</b>	<b>0</b>	<b>89,197</b>	<b>0</b>

**ATTACHMENT 4 - ITEM 1**

Income and Expenses Budget Review Statement										
Hornsby Shire Council										
Budget review for the quarter ended 31/03/2026										
Consolidated Fund										
Description	Previous Year	Current Year	Approved	Approved	Approved	Revised	Recommended	Projected	Variance	Actual
	Actual 2024/25 \$000's	Budget 2025/26 \$000's	Changes Review Q 1 \$000's	Changes Review Q 2 \$000's	Changes Review Q 3 \$000's	Budget \$000's	for council resolution \$000's	Year End Result 2025/26 \$000's	ORIGINAL budget v PYE 2025/26 \$000's	YTD 2025/26 \$000's
<b>INCOME</b>										
Rates and Annual Charges	126,012	134,804	-10	0	0	134,794	0	134,794	-10	135,695
User Charges and Fees	16,427	14,938	161	0	0	15,099	-21	15,078	140	12,965
Other Revenue	4,636	3,933	247	0	0	4,180	0	4,180	247	4,011
Grants and Contributions - Operating	13,562	10,239	-2,453	193	0	7,979	-1	7,978	-2,261	6,002
Grants and Contributions - Capital	41,945	13,631	885	2,774	0	17,290	0	17,290	3,659	9,682
Interest and Investment Income	12,548	8,929	0	0	0	8,929	0	8,929	0	10,799
Other Income	9,991	3,095	0	0	0	3,095	0	3,095	0	3,028
Net gain from disposal of assets	0	1,000	0	0	0	1,000	0	1,000	0	1,019
<b>Total Income from continuing operations</b>	<b>225,121</b>	<b>190,569</b>	<b>-1,170</b>	<b>2,967</b>	<b>0</b>	<b>192,366</b>	<b>-22</b>	<b>192,344</b>	<b>1,775</b>	<b>183,201</b>
<b>EXPENSES</b>										
Employee benefits and on-costs	58,441	61,151	26	6	0	61,183	0	61,183	32	43,302
Materials & Services	72,268	76,013	749	-1,309	0	75,453	294	75,747	-266	50,434
Borrowing Costs	23	18	0	0	0	18	0	18	0	11
Other Expenses	4,686	5,101	0	0	0	5,101	0	5,101	0	3,684
Net Loss from Disposal of Assets	1,211	0	0	0	0	0	2,500	2,500	2,500	948
<b>Total Expenses from continuing operations excluding depreciation, amortisation and impairment of non financial assets</b>	<b>136,629</b>	<b>142,283</b>	<b>775</b>	<b>-1,303</b>	<b>0</b>	<b>141,755</b>	<b>2,794</b>	<b>144,549</b>	<b>2,266</b>	<b>98,379</b>
<b>Operating Result from continuing operations excluding depreciation, amortisation and impairment of non financial assets</b>	<b>88,492</b>	<b>48,286</b>	<b>-1,945</b>	<b>4,270</b>	<b>0</b>	<b>50,611</b>	<b>-2,816</b>	<b>47,795</b>	<b>-491</b>	<b>84,822</b>
Depreciation, amortisation and impairment of non financial assets	25,979	26,560	0	0	0	26,560	0	26,560	0	20,154
<b>Operating result from continuing Operations</b>	<b>62,513</b>	<b>21,726</b>	<b>-1,945</b>	<b>4,270</b>	<b>0</b>	<b>24,051</b>	<b>-2,816</b>	<b>21,235</b>	<b>-491</b>	<b>64,668</b>
<b>Net Operating Result before grants and contributions provided for capital purposes</b>	<b>20,568</b>	<b>8,095</b>	<b>-2,830</b>	<b>1,496</b>	<b>0</b>	<b>6,761</b>	<b>-2,816</b>	<b>3,945</b>	<b>-4,150</b>	<b>54,986</b>

**ATTACHMENT 4 - ITEM 1**

Income and Expenses Budget Review Statement										
Hornsby Shire Council										
Budget review for the quarter ended 31/03/2026										
General Fund										
Description	Previous Year Actual 2024/25 \$000's	Current Year Original Budget 2025/26 \$000's	Approved Changes Review 0.1 \$000's	Approved Changes Review 0.2 \$000's	Approved Changes Review 0.3 \$000's	Revised Budget \$000's	Recommended changes for council resolution \$000's	Projected Year End (PFE) Result 2025/26 \$000's	VARIANCE ORIGINAL Budget v PFE 2025/26 \$000's	ACTUAL YTD 2025/26 \$000's
<b>INCOME:</b>										
Rates and Annual Charges	126,012	134,804	-10			134,794	0	134,794	-10	135,695
User Charges and Fees	16,427	14,938	161			15,099	-21	15,078	140	12,965
Other Revenue	4,636	3,933	247			4,180	0	4,180	247	4,011
Grants and Contributions - Operating	13,562	10,239	-2,453	193		7,978	-1	7,978	-2,261	6,002
Grants and Contributions - Capital	41,945	13,631	885	2,774		17,290	0	17,290	3,659	9,882
Interest and Investment Income	12,548	8,929	0	0		8,929	0	8,929	0	10,799
Other Income	9,991	3,095	0	0		3,095	0	3,095	0	3,028
Net gain from disposal of assets	0	1,000	0	0		1,000	0	1,000	0	1,019
<b>Total Income from continuing operations</b>	<b>225,121</b>	<b>190,569</b>	<b>-1,170</b>	<b>2,967</b>	<b>0</b>	<b>192,366</b>	<b>-22</b>	<b>192,344</b>	<b>1,775</b>	<b>183,201</b>
<b>EXPENSES</b>										
Employee benefits and on-costs	58,441	61,151	26	6		61,183	0	61,183	32	43,302
Materials & Services	72,268	76,013	749	-1,309		75,453	294	75,747	-266	50,434
Borrowing Costs	23	18	0	0		18	0	18	0	11
Other Expenses	4,686	5,101	0	0		5,101	0	5,101	0	3,684
Net Loss from Disposal of Assets	1,211	0	0	0		0	2,500	2,500	2,500	948
<b>Total Expenses from continuing operations excluding depreciation, amortisation and impairment of non financial assets</b>	<b>136,629</b>	<b>142,283</b>	<b>775</b>	<b>-1,303</b>	<b>0</b>	<b>141,755</b>	<b>2,794</b>	<b>144,549</b>	<b>2,266</b>	<b>98,379</b>
<b>Operating Result from continuing operations excluding depreciation, amortisation and impairment of non financial assets</b>	<b>88,492</b>	<b>48,286</b>	<b>-1,945</b>	<b>4,270</b>	<b>0</b>	<b>50,611</b>	<b>-2,816</b>	<b>47,795</b>	<b>-491</b>	<b>84,822</b>
Depreciation, amortisation and impairment of non financial assets	25,979	26,560	0	0		26,560	0	26,560	0	20,154
<b>Operating result from continuing Operations</b>	<b>62,513</b>	<b>21,726</b>	<b>-1,945</b>	<b>4,270</b>	<b>0</b>	<b>24,051</b>	<b>-2,816</b>	<b>21,235</b>	<b>-491</b>	<b>64,668</b>
<b>Net Operating Result before grants and contributions provided for capital purposes</b>	<b>20,568</b>	<b>8,095</b>	<b>-2,830</b>	<b>1,496</b>	<b>0</b>	<b>6,761</b>	<b>-2,816</b>	<b>3,945</b>	<b>-4,150</b>	<b>54,986</b>

**ATTACHMENT 4 - ITEM 1**

**Income and Expenses Budget Review Statement**  
**Hornsby Shire Council**  
**Budget review for the quarter ended 31/03/2026**  
**Water Fund**

Description	Previous Year	Current Year	Approved Changes			Revised	Recommended	Projected	Variance	ACTUAL
	Actual 2024/25 \$000's	Budget 2025/26 \$000's	Review Q 1 \$000's	Review Q 2 \$000's	Review Q 3 \$000's	Budget \$000's	for council resolution \$000's	Year End (P/E) Result 2025/26 \$000's	ORIGINAL Budget v P/E 2025/26 \$000's	YTD 2025/26 \$000's
<b>INCOME</b>										
Access Charges						0		0	0	0
User Charges						0		0	0	0
Fees						0		0	0	0
Grants & Contributions - Operating						0		0	0	0
Interest and Investment Income						0		0	0	0
Other Income						0		0	0	0
Net gain from disposal of assets						0		0	0	0
<b>Total Income from continuing operations</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>EXPENSES</b>										
Employee benefits and on-costs						0		0	0	0
Materials & Services						0		0	0	0
Borrowing Costs						0		0	0	0
Water purchase charges						0		0	0	0
Calculated taxation equivalents						0		0	0	0
Debt guarantee fee						0		0	0	0
Other Expenses						0		0	0	0
Net Loss from Disposal of Assets						0		0	0	0
<b>Total Expenses from continuing operations excluding depreciation, amortisation and impairment of non financial assets</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Operating Result from continuing operations excluding depreciation, amortisation and impairment of non financial assets</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
Depreciation, amortisation and impairment of non financial assets						0		0	0	0
<b>Surplus / (Deficit) from continuing operations before capital amounts</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
Grants and Contributions - Capital						0		0	0	0
<b>Surplus / (Deficit) from continuing operations after capital amounts</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>

**ATTACHMENT 4 - ITEM 1**

Income and Expenses Budget Review Statement										
Hornsby Shire Council										
Budget review for the quarter ended 31/03/2026										
Sewer Fund										
Description	Previous Year Actual 2024/25 \$000's	Current Year Original Budget 2025/26 \$000's	Approved Changes Review Q 1 \$000's	Approved Changes Review Q 2 \$000's	Approved Changes Review Q 3 \$000's	Revised Budget \$000's	Recommended changes for council resolution \$000's	Projected Year End Result 2025/26 \$000's	VARIANCE ORIGINAL budget v FYE 2025/26 \$000's	ACTUAL YTD 2025/26 \$000's
<b>INCOME</b>										
Access charges										
User charges										
Liquid trade-waste charges										
Fees										
Grants and contributions - Operating										
Interest and Investment Income										
Other Income										
Net gain from disposal of assets										
<b>Total Income from continuing operations</b>	0	0	0	0	0	0	0	0	0	0
<b>EXPENSES</b>										
Employee benefits and on-costs										
Materials & Services										
Borrowing Costs										
Calculated taxation equivalents										
Debt Guarantee fee										
Other Expenses										
Net Loss from Disposal of Assets										
<b>Total Expenses from continuing operations excluding depreciation, amortisation and impairment of non financial assets</b>	0	0	0	0	0	0	0	0	0	0
<b>Operating Result from continuing operations excluding depreciation, amortisation and impairment of non financial assets</b>	0	0	0	0	0	0	0	0	0	0
Depreciation, amortisation and impairment of non financial assets										
<b>Surplus / (Deficit) from continuing operations before capital amounts</b>	0	0	0	0	0	0	0	0	0	0
Grants and Contributions - Capital										
<b>Surplus / (Deficit) from continuing operations after capital amounts</b>	0	0	0	0	0	0	0	0	0	0

**ATTACHMENT 4 - ITEM 1**

Capital Budget Review Statement										
Hornsby Shire Council										
Budget review for the quarter ended 31/03/2026										
Description	Previous Year	Current Year	Approved Changes			Revised	Recommended	Projected	Variance	ACTUAL
	Actual 2024/25 \$000's	Budget 2025/26 \$000's	Review Q 1 \$000's	Review Q 2 \$000's	Review Q 3 \$000's	Budget \$000's	for council resolution \$000's	Year End Result 2025/26 \$000's	ORIGINAL Budget v PYE 2025/26 \$000's	YTD 2025/26 \$000's
<b>CAPITAL FUNDING</b>										
Rates & other united funding	14,409	10,651	-1,148	-751		8,752	19	8,771	-1,880	6,698
Capital Grants & Contributions	7,959	9,577	1,350	2,583		13,510	-515	12,995	3,418	4,424
Reserves - External Restrictions	21,588	32,066	2,984	-11,741		23,309	-20	23,289	-8,777	9,761
Reserves - Internally Allocated	3,275	8,915	-1,936	-1,040		5,939	-638	5,301	-3,614	3,732
New Loans	0	0	0	0		0	0	0	0	0
Proceeds from sale of assets	1,057	1,000	0	0		1,000	0	1,000	0	1,552
Other	24,572	0	0	0		0	0	0	0	0
<b>Total Capital Funding</b>	<b>72,860</b>	<b>62,209</b>	<b>1,250</b>	<b>-10,949</b>	<b>0</b>	<b>52,510</b>	<b>-1,154</b>	<b>51,356</b>	<b>-10,853</b>	<b>26,167</b>
<b>CAPITAL EXPENDITURE</b>										
WIP	0	0	0	0		0	0	0	0	0
New Assets	23,318	30,040	604	-5,287		25,357	-557	24,800	-5,241	12,636
Asset Renewal	24,970	32,169	646	-5,662		27,153	-597	26,556	-5,612	13,531
Other (Non cash dedications)	24,572	0	0	0		0	0	0	0	0
<b>Total Capital Expenditure</b>	<b>72,860</b>	<b>62,209</b>	<b>1,250</b>	<b>-10,949</b>	<b>0</b>	<b>52,510</b>	<b>-1,154</b>	<b>51,356</b>	<b>-10,853</b>	<b>26,167</b>
<b>Net Capital Funding - Surplus/(Deficit)</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>

**ATTACHMENT 4 - ITEM 1**

Cash and Investments Budget Review Statement										
Hornsby Shire Council										
Budget review for the quarter ended 31/03/2026										
Description	Previous Year	Current Year	Approved	Approved	Approved	Revised	Recommended	Projected	Variance	Actual
	Actual 2024/25 \$000's	Budget 2025/26 \$000's	Review 0.1 \$000's	Review 0.2 \$000's	Review 0.3 \$000's	Budget \$000's	for council resolution \$000's	Year End Result 2025/26 \$000's	ORIGINAL budget v FYE 2025/26 \$000's	YTD 2025/26 \$000's
<b>Total Cash, Cash Equivalents &amp; Investments</b>	<b>284,161</b>	<b>261,555</b>	<b>-3,176</b>	<b>15,460</b>		<b>273,839</b>	<b>838</b>	<b>274,677</b>	<b>13,122</b>	<b>316,964</b>
<b>EXTERNALLY RESTRICTED</b>										
Water Fund	0	0	0	0		0	0	0	0	0
Sewer Fund	0	0	0	0		0	0	0	0	0
Developer contributions - General	85,777	78,257	-2,704	8,711		84,264	-1,558	82,706	4,449	89,197
Developer contributions - Water	0	0	0	0		0	0	0	0	0
Developer contributions - Sewer	0	0	0	0		0	0	0	0	0
Transport for NSW Contributions	4,765	4,765	0	0		4,765	0	4,765	0	4,854
Domestic waste management	1,823	6,097	0	0		6,097	0	6,097	0	9,367
Stormwater management	0	0	0	0		0	0	0	0	0
Other	68,874	62,396	-4,763	4,119		61,752	1,766	63,518	1,122	63,647
<b>Total Externally Restricted</b>	<b>161,239</b>	<b>151,515</b>	<b>-7,467</b>	<b>12,830</b>	<b>0</b>	<b>156,878</b>	<b>208</b>	<b>157,086</b>	<b>5,571</b>	<b>167,065</b>
<b>Cash, cash equivalents &amp; investments not subject to external restrictions</b>	<b>122,922</b>	<b>110,040</b>	<b>4,291</b>	<b>2,630</b>	<b>0</b>	<b>116,961</b>	<b>630</b>	<b>117,591</b>	<b>7,551</b>	<b>149,899</b>
<b>INTERNAL ALLOCATIONS</b>										
Employee entitlements	20,005	21,105	0	0		21,105	0	21,105	0	20,005
Council strategic capital projects	46,641	41,641	-1,816	1,000		40,825	0	40,825	-816	46,669
Galston public domain	6,767	267	4,000	0		4,267	1,050	5,317	5,050	5,573
SRV strategic initiatives	8,182	6,304	959	1,040		8,303	638	8,941	2,637	7,044
Property acquisitions	2,602	2,602	0	0		2,602	0	2,602	0	2,602
Asset maintenance & renewal	8,974	8,349	1,148	590		10,087	0	10,087	1,738	9,165
Other	6,656	6,266	0	0		6,266	-1,058	5,208	-1,058	6,163
<b>Total Internally Allocated</b>	<b>99,827</b>	<b>86,534</b>	<b>4,291</b>	<b>2,630</b>	<b>0</b>	<b>93,455</b>	<b>630</b>	<b>94,085</b>	<b>7,551</b>	<b>97,221</b>
<b>Unallocated</b>	<b>23,095</b>	<b>23,506</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>23,506</b>	<b>0</b>	<b>23,506</b>	<b>0</b>	<b>52,678</b>

**ATTACHMENT 4 - ITEM 1**

**Developer Contributions Summary**  
**Hornsby Shire Council**  
**Budget review for the quarter ended 31/03/2026**

Purpose	Developer Contributions Received												Internal Borrowings (to)/from \$000's	Internal Borrowings (to)/from \$000's	Internal Borrowings (to)/from \$000's	Monetary Amounts Expended \$000's	Monetary Amounts Expended \$000's	Monetary Amounts Expended \$000's	Interest Earned \$000's	Interest Earned \$000's	Interest Earned \$000's	Non-Cash Land \$000's	Non-Cash Land \$000's	Non-Cash Land \$000's	Non-Cash Other \$000's	Non-Cash Other \$000's	Non-Cash Other \$000's	Hold as Restricted Asset As at this Q \$000's	Cumulative balance of internal borrowings (to)/from \$000's									
	Cash			Non-Cash Land			Non-Cash Land			Non-Cash Other																				Interest Earned			Monetary Amounts Expended			Internal Borrowings (to)/from		
	Q1	Q2	Q3	Q1	Q2	Q3	Q1	Q2	Q3	Q1	Q2	Q3																		Q1	Q2	Q3	Q1	Q2	Q3	Q1	Q2	Q3
Opening Balance 2025	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0					
As at 1 July 2025	5,321	159	39	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0				
Drainage	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0			
Roads	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
Traffic facilities	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Parking	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Open space	28,338	304	1,304	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Community facilities	36,917	185	765	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Other	367	3	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
<b>Total \$7.11 Under plans</b>	<b>70,943</b>	<b>543</b>	<b>2,229</b>	<b>448</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>		
\$7.12 Not under plans	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
\$7.12 Reverses	14,824	325	411	485	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
\$7.4 Planning agreements	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
\$84 Contributions	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Other	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Total Developer Contribution</b>	<b>85,777</b>	<b>868</b>	<b>2,643</b>	<b>933</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	

**ATTACHMENT 4 - ITEM 1**

**ATTACHMENT/S**

**REPORT NO. CS18/26**

**ITEM 2**

- 1. HSC INVESTMENTS SUMMARY REPORT MARCH 2026**
- 2. HSC BORROWINGS SUMMARY REPORT MARCH 2026**



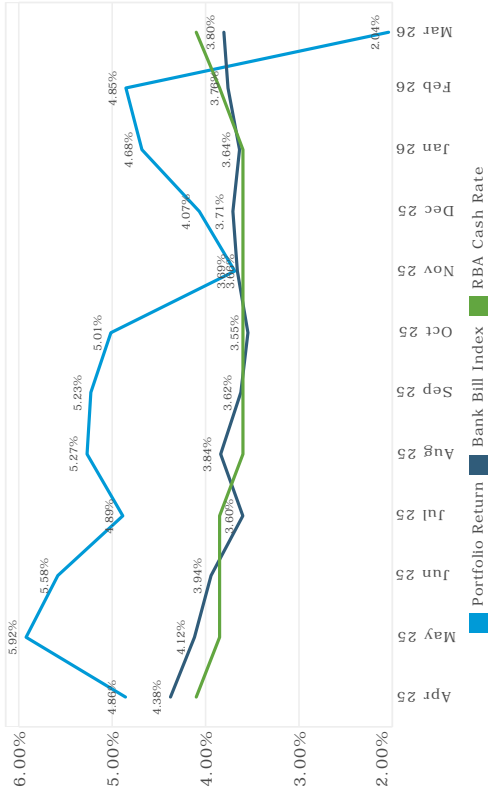
Investment Summary Report  
March 2026

**ATTACHMENT 1 - ITEM 2**

Hornsby Shire Council  
Executive Summary - March 2026



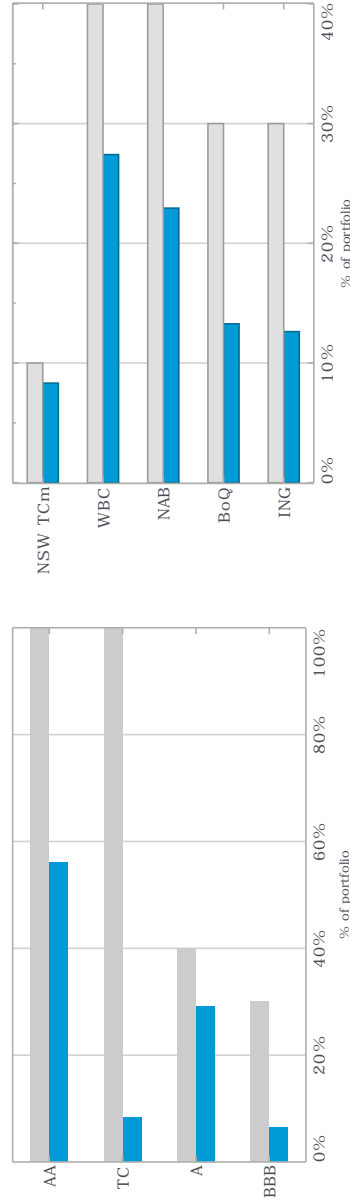
Investment Performance



	Face Value (\$)	Current Value (\$)	Current Yield (%)	FYTD Yield (%)
Cash	66,096,419	66,096,419	4.3010	3.8917
Floating Rate Note	21,450,000	21,598,589	4.7591	4.3320
Managed Funds	26,367,837	26,367,837	-22.4705	3.6977
Term Deposit	203,050,000	207,289,393	4.6562	4.7035
	316,964,256	321,352,239	2.0406	4.4045

Investment Policy Compliance

Individual Institutional Exposures



Term to Maturities

Face Value (\$)	Policy Max *
Between 0 and 0.25 years	23%
Between 0.25 and 1 years	27%
Between 1 and 2 years	24%
Between 2 and 5 years	17%
Between 5 and 10 years	8%
<b>316,964,256</b>	<b>25%</b>

\* Council always retains the flexibility to invest as short as required by internal requirements or the economic outlook



ATTACHMENT 1 - ITEM 2

## Hornsby Shire Council Investment Holdings Report - March 2026



### Cash Accounts

Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Current Value (\$)
26,168.55	4.7000%	Westpac Group	AA-	26,168.55
487,946.29	3.9000%	Bendigo and Adelaide Bank	A-	487,946.29
1,715,930.55	4.1500%	Macquarie Bank	A+	1,715,930.55
18,802,973.37	4.1500%	Westpac Group	AA-	18,802,973.37
18,989,181.02	4.7500%	AMP Bank	BBB+	18,989,181.02
26,074,219.70	4.1000%	Bank of Queensland	A-	26,074,219.70
66,096,419.48	4.3010%			66,096,419.48

### Managed Funds

Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Funds Name	Current Value (\$)
26,367,836.68	-22.4705%	NSW T-Corp (MT)	Tcm	Medium Term Growth Fund	26,367,836.68
26,367,836.68	22.4705%				26,367,836.68

### Term Deposits

Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Book Value (\$)	Current Value (\$)
10-Sep-25	10-Jun-26	273	8,000,000.00	4.2000%	National Australia Bank	AA-	8,000,000.00	8,186,871.23
7-Aug-25	7-Aug-26	365	5,000,000.00	4.1600%	National Australia Bank	AA-	5,000,000.00	5,135,057.53
19-Aug-25	20-Aug-26	366	10,000,000.00	4.1000%	National Australia Bank	AA-	10,000,000.00	10,252,739.73
22-Aug-25	22-Aug-26	365	50,000.00	3.5500%	Westpac Group	AA-	50,000.00	51,079.59
28-Aug-25	28-Aug-26	365	5,000,000.00	4.0700%	National Australia Bank	AA-	5,000,000.00	5,120,427.40
5-Mar-25	9-Sep-26	553	5,000,000.00	4.6600%	ING Bank (Australia)	A	5,000,000.00	5,017,235.62
11-Sep-25	11-Sep-26	365	30,000,000.00	4.2100%	National Australia Bank	AA-	30,000,000.00	30,698,975.34
4-Feb-25	3-Feb-27	729	5,000,000.00	4.6300%	ING Bank (Australia)	A	5,000,000.00	5,035,517.81
11-Feb-26	10-Feb-27	364	5,000,000.00	4.9000%	ING Bank (Australia)	A	5,000,000.00	5,032,890.41
4-Mar-26	3-Mar-27	364	5,000,000.00	5.0700%	ING Bank (Australia)	A	5,000,000.00	5,019,446.58
16-Aug-23	16-Aug-27	1461	8,000,000.00	5.1500%	ANZ Banking Group	AA-	8,000,000.00	8,255,101.37
23-Aug-23	23-Aug-27	1461	5,000,000.00	5.2200%	ING Bank (Australia)	A	5,000,000.00	5,156,600.00



# ATTACHMENT 1 - ITEM 2



## Hornsby Shire Council Investment Holdings Report - March 2026

Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Institution	Credit Rating	Book Value (\$)	Current Value (\$)
30-Aug-23	30-Aug-27	1461	8,000,000.00	5.2800%	Westpac Group	AA-	8,000,000.00	8,248,810.96
3-Sep-25	3-Sep-27	730	10,000,000.00	3.9000%	National Australia Bank	AA-	10,000,000.00	10,224,383.56
16-Dec-25	16-Dec-27	730	10,000,000.00	4.7700%	ING Bank (Australia)	A	10,000,000.00	10,138,526.03
6-Jan-26	6-Jan-28	730	5,000,000.00	4.7900%	ING Bank (Australia)	A	5,000,000.00	5,055,773.97
6-Feb-23	7-Feb-28	1827	10,000,000.00	4.1300%	Westpac Group	AA-	10,000,000.00	10,061,101.37
6-Feb-23	7-Feb-28	1827	5,000,000.00	4.1200%	Westpac Group	AA-	5,000,000.00	5,030,476.71
6-Feb-23	7-Feb-28	1827	10,000,000.00	4.0900%	Westpac Group	AA-	10,000,000.00	10,060,509.59
28-Jul-23	28-Jul-28	1827	8,000,000.00	5.3200%	Bank of Queensland	A-	8,000,000.00	8,288,008.77
9-Aug-23	9-Aug-28	1827	8,000,000.00	5.2200%	Bank of Queensland	A-	8,000,000.00	8,266,577.53
4-Sep-23	4-Sep-28	1827	15,000,000.00	5.2800%	Westpac Group	AA-	15,000,000.00	15,453,501.37
4-Sep-23	4-Sep-28	1827	15,000,000.00	5.2800%	Westpac Group	AA-	15,000,000.00	15,453,501.37
19-Feb-25	18-Feb-30	1825	8,000,000.00	5.1500%	Rabobank Australia	A	8,000,000.00	8,046,279.45
			203,050,000.00	4.6562%			203,050,000.00	207,289,393.29
<b>Floating Rate Notes</b>								
Purchase Date	Maturity Date	Term Days	Face Value (\$)	Current Rate (%)	Security Name	Credit Rating	Book Value (\$)	Current Value (\$)
24-Aug-21	24-Aug-26	1826	4,700,000.00	4.3975%	NAB Snr FRN (Aug26) BBSW+0.41%	AA-	4,688,031.00	4,718,787.12
15-Sep-21	15-Sep-26	1826	4,250,000.00	4.6539%	SUN Snr FRN (Sep26) BBSW+0.48%	AA-	4,249,405.00	4,258,372.78
23-Sep-21	23-Dec-26	1917	6,000,000.00	4.7230%	CBA Green Snr FRN (Dec26) BBSW+0.41%	AA-	5,964,948.60	6,007,407.45
10-Feb-22	10-Feb-27	1826	1,500,000.00	4.9428%	NPBS Snr FRN (Feb27) BBSW+1.00%	BBB+	1,516,875.00	1,512,511.44
11-Nov-22	11-Nov-27	1826	5,000,000.00	5.1766%	WBC Snr FRN (Nov27) BBSW+1.23%	AA-	5,057,605.00	5,101,510.34
			21,450,000.00	4.7591%			21,476,864.60	21,598,589.13
<b>Total Investments</b>								



# ATTACHMENT 1 - ITEM 2

Hornsby Shire Council  
Investment Holdings Report - March 2026



Face Value (\$)	Current Value (\$)
316,964,256.16	321,352,238.58

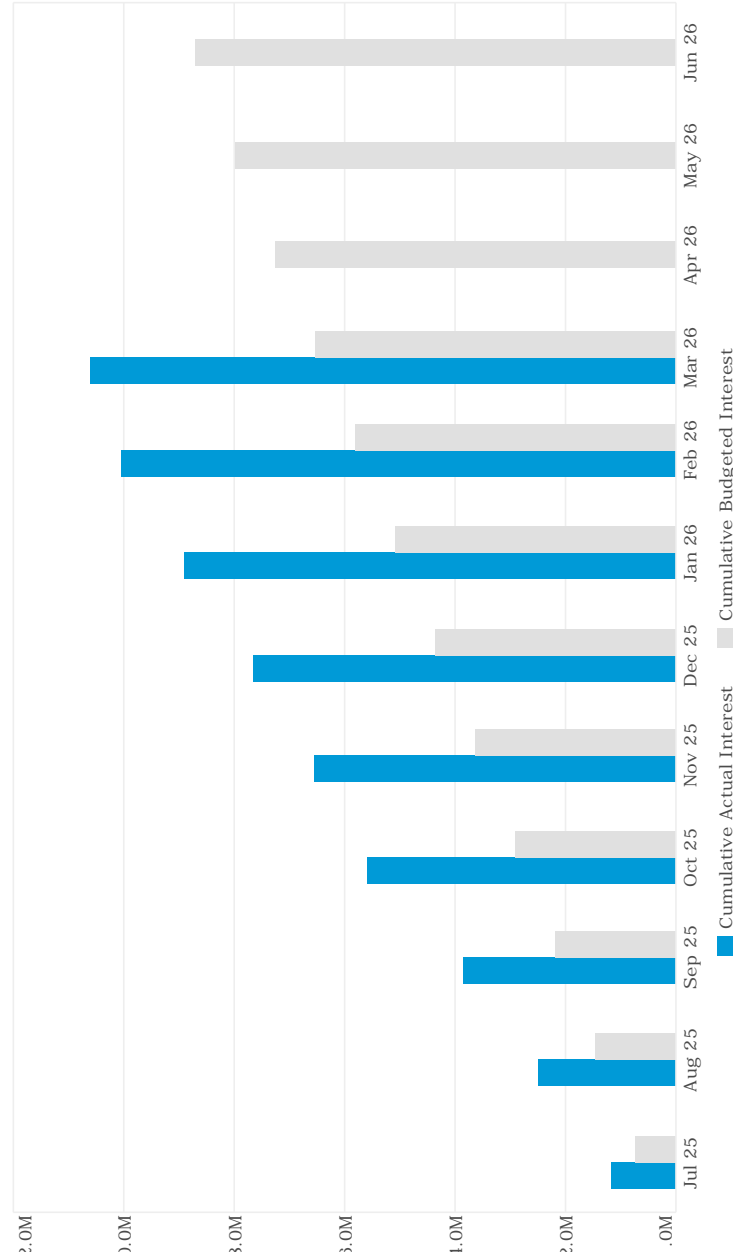


**ATTACHMENT 1 - ITEM 2**



Hornsby Shire Council  
Investment Budget Report - March 2026

Budgeted vs Actual Returns



	Cumulative Actual Income	Cumulative Budgeted Income
July 2025	1,169,927	725,243
August 2025	2,481,295	1,450,486
September 2025	3,849,552	2,175,729
October 2025	5,592,767	2,900,971
November 2025	6,539,618	3,626,214
December 2025	7,651,211	4,351,457
January 2026	8,893,256	5,076,700
February 2026	10,049,209	5,801,943
March 2026	10,611,521	6,527,186
Budget Target		8,702,914



ATTACHMENT 1 - ITEM 2

Hornsby Shire Council  
Environmental Commitments Report - March 2026



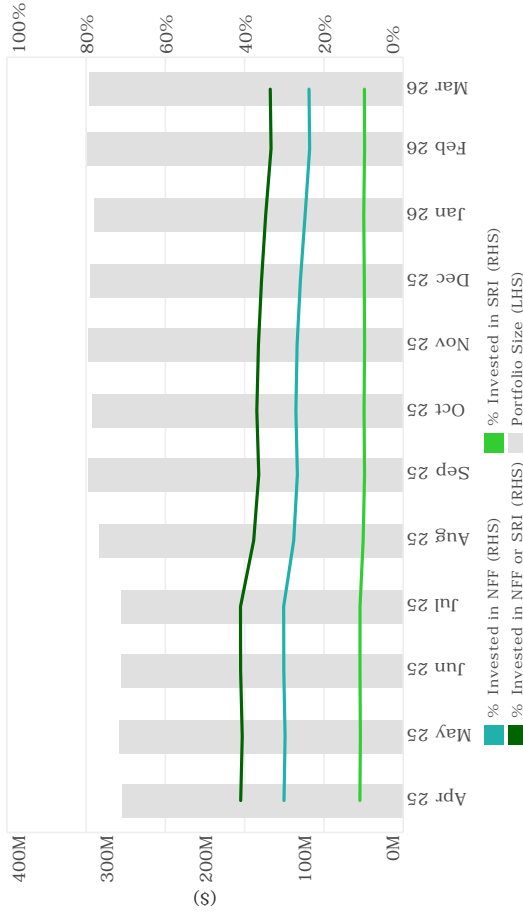
Current Breakdown

ADI Lending Status *	Current Month (\$)	Previous Month (\$)
<b>Fossil Fuel Lending ADIs</b>		
ANZ Group	8,000,000	8,000,000
ING Bank Australia	40,000,000	35,000,000
Macquarie Bank	1,715,931	1,709,710
National Australia Bank	72,700,000	72,700,000
Westpac Group	61,879,142	67,849,231
	184,295,072	185,258,942
		58%
<b>Non Fossil Fuel Lending ADIs</b>		
AMP Bank	18,989,181	18,915,850
Bank of Queensland	42,074,220	41,986,755
Bendigo and Adelaide Bank	487,946	486,392
Newcastle Greater Mutual Group	1,500,000	1,500,000
Rabobank Australia	8,000,000	8,000,000
Suncorp Bank	4,250,000	4,250,000
	75,301,347	75,138,996
		24%
<b>Other</b>		
NSW T-Corp (MT)	26,367,837	26,944,010
	26,367,837	26,944,010
	8%	8%
<b>Socially Responsible Investment</b>		
CBA (Green)	6,000,000	6,000,000
Westpac Group (Green TD)	25,000,000	25,000,000
	31,000,000	31,000,000
	10%	10%
	318,964,256	318,341,947

\* source: Marketforces

Percentages may not add up to 100% due to rounding

Historical Portfolio Exposure to NFF Lending ADIs and SRI s



Green Products Summary

	Current Month (\$)	Previous Month (\$)
AMP Bank	18,989,181	18,915,850
Bank of Queensland	42,074,220	41,986,755
Bendigo and Adelaide Bank	487,946	486,392
CBA (Green)	6,000,000	6,000,000
Newcastle Greater Mutual Group	1,500,000	1,500,000
Rabobank Australia	8,000,000	8,000,000
Suncorp Bank	4,250,000	4,250,000
Westpac Group (Green TD)	25,000,000	25,000,000
	106,301,347	106,138,996
	34%	33%
	318,964,256	318,341,947

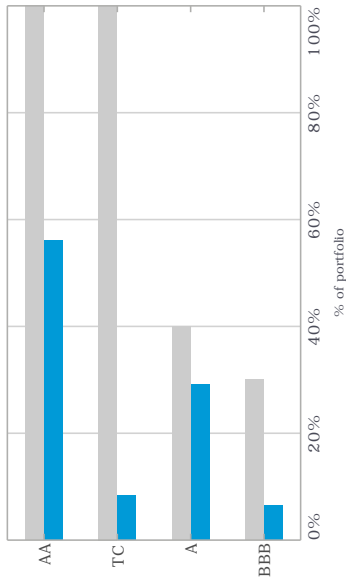


ATTACHMENT 1 - ITEM 2

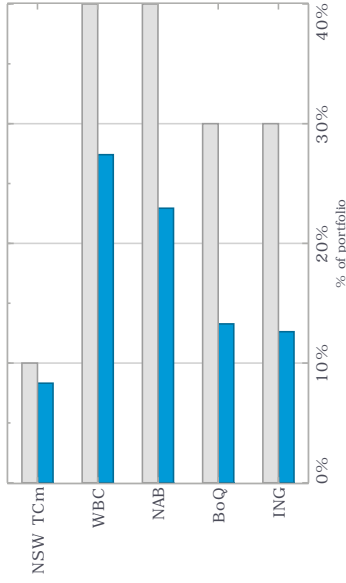


Hornsby Shire Council  
Investment Policy Compliance Report - March 2026

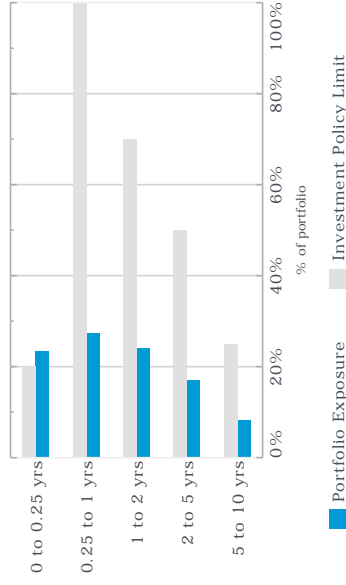
Total Credit Exposure



Individual Institutional Exposures



Term to Maturities



Credit Rating Group	Face Value (\$)	Policy Max
AA	177,829,142	56%
TC	26,367,837	8%
A	92,278,097	29%
BBB	20,489,181	6%
<b>Total</b>	<b>316,964,256</b>	

Institution	% of portfolio	Investment Policy Limit
NSW T-Corp (TCm)	8%	10%
Westpac Group (AA-)	27%	40%
National Australia Bank (AA-)	23%	40%
Bank of Queensland (A-)	13%	30%
ING Bank Australia (A)	13%	30%
AMP Bank (BBB+)	6%	15%
Rabobank Australia (A)	3%	30%
ANZ Group (AA-)	3%	40%
Commonwealth Bank of Australia (AA-)	2%	40%
Suncorp Bank (AA-)	1%	40%
Macquarie Bank (A+)	1%	30%

	Face Value (\$)	Policy Max*
Between 0 and 0.25 years	74,096,419	23%
Between 0.25 and 1 years	86,500,000	27%
Between 1 and 2 years	76,000,000	24%
Between 2 and 5 years	54,000,000	17%
Between 5 and 10 years	26,367,837	8%
<b>Total</b>	<b>316,964,256</b>	

\* Council always retains the flexibility to invest as short as required by internal requirements or the economic outlook

Specific Sub Limits	Face Value (\$)	Policy Max
BBB+	20,489,181	6%
<b>Total</b>	<b>20,489,181</b>	<b>6%</b>

a = compliant  
r = non-compliant



**ATTACHMENT 1 - ITEM 2**



**HORNSBY SHIRE COUNCIL SCHEDULE OF BORROWINGS AS AT 31 March 2026**

1. LOANS		\$'000	\$'000	\$'000	\$'000	\$'000	2025/26 YTD Repayments Principal	\$'000	%
Lender	Date Drawn	Maturity Date	Amount Borrowed	01/07/2025 Opening Balance	2025/26 YTD Repayments Principal	Closing Balance	Fixed Interest Rate %		
None									

2. OPERATING LEASES		\$'000	\$'000	\$'000	\$'000	\$'000	2025/2026 Repayments YTD	\$'000
Lessor	Date Executed	Expiry date	Total Lease Payments	01/07/2025 Opening Balance	New Leases	2025/2026 Repayments YTD	Closing Balance	
Vestone Capital Pty Ltd (118)	15-Aug-22	15-May-26	34	8		6	2	
Vestone Capital Pty Ltd (119)	15-Nov-22	15-Aug-27	64	29		10	19	
Vestone Capital Pty Ltd (120)	15-Aug-23	15-Aug-28	31	19		5	14	
Vestone Capital Pty Ltd (121)	15-Nov-23	15-Nov-28	453	292		67	225	
Vestone Capital Pty Ltd (122)	15-Nov-23	15-Nov-27	134	75		25	50	
Vestone Capital Pty Ltd (123)	15-May-24	15-Feb-27	37	21		9	12	
Vestone Capital Pty Ltd (124)	15-Aug-24	15-Aug-27	77	53		18	35	
Vestone Capital Pty Ltd (125)	15-Feb-25	15-Nov-28	69	60		13	47	
Vestone Capital Pty Ltd (126)	15-May-25	15-Feb-29	42	42		11	31	
Vestone Capital Pty Ltd (127)	15-May-25	15-Feb-29	69	69		18	51	
Vestone Capital Pty Ltd (128)	15-Aug-25	15-May-30	105		105	16	89	
Vestone Capital Pty Ltd (129)	15-Feb-26	15-Nov-29	167		167	10	157	
Vestone Capital Pty Ltd (130)	15-May-26	15-Feb-30	34		34		34	
<b>TOTAL</b>			<b>1,317</b>	<b>668</b>	<b>307</b>	<b>209</b>	<b>766</b>	

**ATTACHMENT 2 - ITEM 2**

**ATTACHMENT/S**

**REPORT NO. PC11/26**

**ITEM 3**

- 1. GLENORIE VILLAGE PLANNING PROPOSAL**
- 2. DRAFT - HORNSBY DEVELOPMENT CONTROL PLAN  
2024 PART 2 RURAL**
- 3. DRAFT - HORNSBY DEVELOPMENT CONTROL PLAN  
2024 PART 6 SUBDIVISION**
- 4. DRAFT - HORNSBY DEVELOPMENT CONTROL PLAN  
2024 PART 8 RIVER SETTLEMENTS**

HORNSBY SHIRE COUNCIL

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# Planning Proposal: Glenorie Village

## Implementation of the Glenorie Village Place Plan – Actions 1 (Small rural lots) and 3 (Commercial and residential)

April 2026

**ATTACHMENT 1 - ITEM 3**



HORNSBY SHIRE COUNCIL

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Glenorie Village

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**ATTACHMENT 1 - ITEM 3**

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## List of acronyms and abbreviations

Acronym/abbreviation	Meaning
APZ	Asset Protection Zone
ASS	Acid Sulfate Soils
CDC	Complying Development Certificate
Council	Hornsby Shire Council
DA	Development Application
DPHI	Department of Planning, Housing and Infrastructure
District Plan	North District Plan
DPRID	NSW Department of Primary Industries and Regional Development
ECA	Ecological Constraints Assessment
EP&A Act	<i>Environmental Planning and Assessment Act 1979</i>
EPI	Environmental Planning Instrument
FSR	Floor Space Ratio
Hornsby DCP	Hornsby Development Control Plan 2024
Hornsby LEP	Hornsby Local Environmental Plan 2013
Hornsby LSPS	Hornsby Local Strategic Planning Statement 2020
Investigation Report	Glenorie Village Investigation Report
MRA	Metropolitan Rural Area
NSW	New South Wales
OCP	Glenorie Village Investigation: Opportunities and Constraints Paper
Place Plan	Glenorie Village Place Plan
PBP	Planning for Bushfire Protection 2019
Region Plan	Greater Sydney Region Plan – A Metropolis of Three Cities
RFS	NSW Rural Fire Service
RLS	Hornsby Rural Lands Study
SEPP	State Environmental Planning Policy
TfNSW	Transport for NSW

# 1 Introduction

In 2022, Hornsby Shire Council (Council) finalised the Hornsby Rural Lands Study (RLS), which set the strategic direction for managing the rural lands in the Hornsby Shire. A set of short- and long-term recommendations from the RLS were subsequently endorsed by Council, which included a recommendation to investigate the potential for Glenorie Village to accommodate some additional housing, where there are no adverse impacts on the preferred rural village character, and where the development maintains the key rural values of the Northern Ridgeline area. To support this outcome, the RLS proposed investigating the implementation of a C4 Environmental Living zone near Glenorie Village and reducing the minimum lot size to between 5,000m<sup>2</sup> to 10,000m<sup>2</sup>.

In 2024, Council began detailed environmental and planning investigations around Glenorie Village, which culminated in the release of the Glenorie Village Investigation: Opportunities and Constraints Paper (OCP). A comprehensive community consultation period held in November and December 2024 on the OCP informed the Feedback Summary Report, which then informed the preparation of the Glenorie Village Investigation Report (Investigation Report) and Glenorie Village Place Plan (Place Plan) in 2025.

The Place Plan expands on the recommended change scenario set out in the Investigation Report. Aligning with a set of key place principles, it identifies land generally within 400m of the village for rezoning to a C4 Environmental Living zone with minimum lot sizes of 4,000m<sup>2</sup> and 5,000m<sup>2</sup>. Opportunities were also identified for additional medium density housing on existing low density land fronting Old Northern Road and a mixed residential and commercial area at the intersection of Cairnes Road and Old Northern Road to support the village. New infrastructure near the intersection of Post Office Road and Old Northern Road was also identified, including a roundabout, conversion of the existing bus turnaround area into open space and improved entry statements.

Planning investigations and the drafting of these strategic documents was undertaken in the context of the Greater Sydney Region Plan – A Metropolis of Three Cities (Region Plan) and the North District Plan (District Plan), which both identify Glenorie Village as part of the Metropolitan Rural Area (MRA). In this context, the local growth proposed for Glenorie Village has been framed to respond to local needs while maintaining Glenorie Village's rural character and upholding the environmental, agricultural, and scenic values sought to be protected within the MRA.

In July and August 2025, the Investigation Report and Place Plan were placed on exhibition for a period of six weeks. The Investigation Report was subsequently finalised, and the Place Plan was adopted by Council at its meeting on 12 November 2025. In order to implement the changes proposed, Council resolved to prepare a planning proposal to implement Action 1 (Small rural lots) and Action 3 (Commercial and residential) from the Place Plan. As such, the Glenorie Village Planning Proposal (Planning Proposal) seeks to give effect to those actions by introducing the necessary amendments to the Hornsby Local Environmental Plan 2013 (Hornsby LEP).

HORNSBY SHIRE COUNCIL

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## 2 Objectives or intended outcomes

### Objective

The objective of the Planning Proposal is to amend the Hornsby LEP to give effect to Action 1 (Small rural lots) and Action 3 (Commercial and residential) of the Place Plan.

### Intended Outcomes

- Encourage a diversity of housing in Glenorie Village by transitioning large lots adjacent to the village to smaller rural lifestyle lots.
- Protect productive agricultural land in the wider Glenorie area by focusing rural lifestyle development close to the village centre.
- Permit a mix of business and residential uses in the centre of Glenorie Village to help meet the community's desire for more shops and services close to the village centre.
- Strengthen the long-term vitality and sustainability of Glenorie Village as a thriving rural village.

## 3 Explanation of the provisions

### 3.1 Overview

The Planning Proposal incorporates ten amendments to the Hornsby LEP intended to implement Action 1 (Small rural lots) and Action 3 (Commercial and residential) of Council's adopted Glenorie Village Place Plan. Figure 1 details areas in Glenorie Village for the purposes of explaining the provisions.

#### Action 1: Small rural lots

- **Amendment 1:** Amend the Hornsby LEP Lot Size Map to change the minimum subdivision lot size for land in Area A and Area C in Figure 1 to 5,000m<sup>2</sup> and land in Area B to 4,000m<sup>2</sup>, from current 2ha.
- **Amendment 2:** Amend the Hornsby LEP Land Zoning Map to zone land in Area A and Area B in Figure 1 as C4 Environmental Living, from its current zoning of RU4 Primary Production Small Lots.
- **Amendment 3:** Amend Schedule 1 Additional permitted uses of the Hornsby LEP to permit dual occupancies (attached) and secondary dwellings as additional permitted uses on land in Area A and Area B in Figure 1.
- **Amendment 4:** Amend clause 5.1 Relevant acquisition authority of the Hornsby LEP by inserting land within Zone C4 Environmental Living into clause 5.1(2), with Council identified as the authority of the State for that land.
- **Amendment 5:** Amend clause 5.1A Development on land intended to be acquired for public purposes of the Hornsby LEP by inserting land within Zone C4 Environmental Living into Column 1 in the table of Clause 5.1A(3), and Road as the development type in Column 2.
- **Amendment 6:** Amend clause 6.9 Dual occupancies (attached) on land in certain rural zones of the Hornsby LEP by inserting Zone C4 Environmental Living into clause 6.9(2).
- **Amendment 7:** Amend the Hornsby LEP Land Reservation Acquisition Map to reserve land on Lot 91 DP 585835 for the purposes of a road.

#### Action 3: Commercial and residential

- **Amendment 8:** Amend the Hornsby LEP Land Zoning Map to zone land in Area C in Figure 1 as RU5 Village from current RU4 Primary Production Small Lots.
- **Amendment 9:** Amend the Hornsby LEP Floor Space Ratio Map to change the floor space ratio for land in Area C to 0.5:1 and remove the floor space ratio for the remainder of Lot 2 DP216873.
- **Amendment 10:** Amend clause 4.1A(2) Minimum subdivision lot size for strata plan schemes in certain zones of the Hornsby LEP by removing Zone RU5 Village.

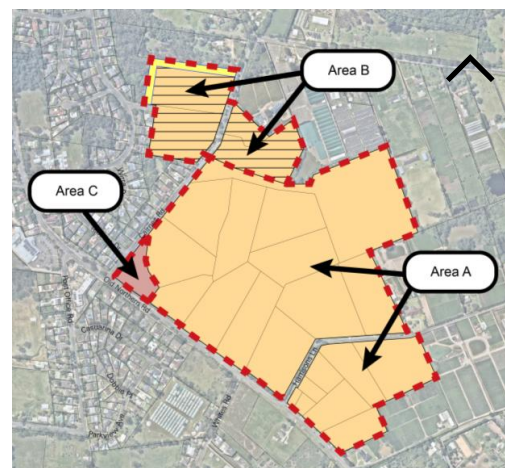


Figure 1 - Areas in Glenorie Village

## 3.2 The Provisions Explained

The proposed amendments are discussed below.

Note: The draft local environmental plan clauses outlined in this section are provided for indicative purposes only. Final clause wording will be prepared by the Parliamentary Counsel's Office (PCO) should the proposal proceed to finalisation.

**Amendment 1: Amend the Hornsby LEP Lot Size Map to change the minimum subdivision lot size for land in Area A and Area C in Figure 1 to 5,000m<sup>2</sup> and land in Area B to 4,000m<sup>2</sup>, from current 2ha.**

To enhance the diversity of housing opportunities in Glenorie Village, it is proposed to reduce the minimum subdivision lot size for specified land to enable the creation of smaller rural lifestyle lots. This approach supports housing diversity while maintaining the broader rural character of Glenorie.

The Place Plan identifies land in Areas A and B as suitable to transition to smaller rural lifestyle lots due to their proximity to the village centre, access to services, and relatively limited agricultural value. These areas were identified through the place planning process as being capable of accommodating increased housing choice without undermining the strategic role or character of the village.

A minimum subdivision lot size of 4,000 m<sup>2</sup> is proposed for land in Area B. The land adjoins existing R2 Low Density Residential zoned land within Glenorie Village and is largely unconstrained by riparian vegetation, making it suitable for smaller rural lots. The proposed 4,000 m<sup>2</sup> lot size is supported by the Flood Risk, Infrastructure and Utilities Report forming part of the Investigation Report, as it allows sufficient separation between on-site sewerage management areas, lot boundaries and sensitive areas. Given land in Area B's proximity to bushfire prone land to the north, a perimeter road is proposed to provide bushfire protection. Amendments 4, 5 and 7 are intended to facilitate the delivery of this road.

In contrast, a minimum lot size of 5,000m<sup>2</sup> is proposed for land in Area A due to the greater environmental constraints associated with Glenorie Creek. While the creek corridor is highly modified, including the presence of dam structures and areas of cleared vegetation, it retains biodiversity values that warrant a more conservative subdivision outcome. The larger minimum lot size will provide greater flexibility to respond to these constraints through the subdivision design process.

Land in Area C is also included in this amendment to facilitate the changes proposed in Amendments 8, 9 and 10, ensuring consistency across the suite of planning controls and enabling the intended development outcomes for Glenorie Village.

The Lot Size Map amendments are included in Part 5 Mapping of this report.

**Amendment 2: Amend the Hornsby LEP Land Zoning Map to zone land in Area A and Area B in Figure 1 as C4 Environmental Living, from its current zoning of RU4 Primary Production Small Lots.**

To support the transition of large lots adjacent to the existing village to smaller rural lifestyle lots, it is proposed to change the zone of land in Area A and Area B to C4 Environmental Living.

In Hornsby Shire, the C4 Environmental Living zone is designed to ensure that residential development does not have an adverse effect on areas with special ecological, scientific or aesthetic values, and that development is compatible with the character, infrastructure capacity and access limitations of an area.

Glenorie, like many of Hornsby's rural lands, has unique aesthetic values associated with its rural setting within the Greater Sydney area, characterised by rolling hills with views over wide valleys, varied agricultural industry,

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**HORNSBY SHIRE COUNCIL**


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and unique ecological values. Land surrounding Glenorie Village is shaped by Glenorie Creek and its associated riparian corridor.

As such, rezoning land in Area A and Area B to C4 Environmental living will help retain these scenic and landscape values by facilitating development outcomes that are low-impact, visually sympathetic, and consistent with both the established rural and rural lifestyle character.

The Land Zoning Map amendments are included in Part 5 Mapping of this report.

**Amendment 3: Amend Schedule 1 Additional permitted uses of the Hornsby LEP to permit dual occupancies (attached) and secondary dwellings as additional permitted uses on land in Area A and Area B in Figure 1.**

To support the transition of land currently zoned RU4 Primary Production Small Lots to C4 Environmental Living, it is proposed to permit dual occupancies (attached) and secondary dwellings as additional permitted uses.

Under the exiting provisions of the Hornsby LEP, the RU4 Primary Production Small Lots zone permits the development of dual occupancies (attached) and secondary dwellings. These uses allow low-intensity additional housing opportunities that do not compromise the rural character of the area. They offer greater housing choice and flexibility to people in rural areas, including opportunities for extended family living and ageing in place. As such, it is important to retain this opportunity for land in Area A and Area B so as to not reduce housing opportunities or choice for residents of the area.

The C4 Environmental Living zone in the Hornsby LEP does not permit the development of dual occupancies (attached) or secondary dwellings. The C4 Environmental Living is currently only used in Hornsby Shire's river settlements along the Hawkesbury River where, due to their unique location, lack of accessibility, bushfire concerns, and environmental considerations, any additional uplift in development opportunity would be inappropriate.

In order to prevent unintended consequences associated with permitting dual occupancies (attached) and secondary dwellings in the C4 Environmental Living zone Shire-wide, it is proposed to instead permit these uses on C4 Environmental Living land in Glenorie as additional permitted uses.

Potential wording for the amendment is provided in Table 1. The Additional Permitted Use Map amendments are included in Part 5 Mapping of this report.

**Table 1 - Schedule 1 - New clause (example only)**

Hornsby LEP	
<b>11</b>	<b><i>Use of certain land in Zone C4</i></b>
(1)	<i>This clause applies to land identified as "Area 11" on the Additional Permitted Uses Map.</i>
(2)	<i>Development for the purposes of dual occupancies (attached) and secondary dwellings is permitted with development consent.</i>

## HORNSBY SHIRE COUNCIL

**Amendment 4: Amend clause 5.1 Relevant acquisition authority of the Hornsby LEP by inserting land within Zone C4 Environmental Living into clause 5.1(2), with Council identified as the authority of the State for that land.**

The Place Plan identifies the creation of a new road linking Tekapo Road to Cairnes Road providing public benefit via an additional local route for traffic and to facilitate key areas for development. This road would be able to serve new lots, as well as provide a buffer from agricultural uses and serve bushfire protection purposes.

Clause 5.1 of the Hornsby LEP identifies the relevant acquisition authority of the State for the purposes of where land is required to be acquired under Division 3 Part 2 of the *Land Acquisition (Just Terms Compensation) Act 1991*.

Zone C4 Environmental Living is currently not listed under clause 5.1(2). Accordingly, it is proposed to amend clause 5.1(2) to include Zone C4 Environmental Living and marked Local road under "Type of land shown on Map" with Council as "Authority of the state".

Potential wording for the amendment is provided in Table 2.

Table 2 - Clause 5.1(2) amendment (example only)

Hornsby LEP	
<b>5.1 Relevant acquisition authority</b>	
(2) <i>The authority of the State that will be the relevant authority to acquire land, if the land is required to be acquired under the owner-initiated acquisition provisions, is the authority of the State specified below in relation to the land shown on the Land Reservation Acquisition Map (or, if an authority of the State is not specified in relation to land required to be so acquired, the authority designated or determined under those provisions).</i>	
<b>Type of land shown on Map</b>	<b>Authority of the State</b>
<i>Zone RE1 Public Recreation and marked "Local open space"</i>	<i>Council</i>
<i>Zone RE1 Public Recreation and marked "Regional open space"</i>	<i>The corporation constituted under section 2.5 of the Act</i>
<i>Zone SP2 Infrastructure and marked "Classified road"</i>	<i>Transport for NSW</i>
<i>Zone C1 National Parks and Nature Reserves and marked "National Park"</i>	<i>Minister administering the National Parks and Wildlife Act 1974</i>
<i>Zone R2 Low Density Residential and marked "Local road"</i>	<i>Council</i>
<i>Zone R4 High Density Residential and marked "Local road"</i>	<i>Council</i>
<i>Zone E2 Commercial Centre and marked "Local road"</i>	<i>Council</i>
<i>Zone MU1 Mixed Use and marked "Local road"</i>	<i>Council</i>
<i>Zone C4 Environmental Living and marked "Local road"</i>	<i>Council</i>

**Amendment 5: Amend clause 5.1A Development on land intended to be acquired for public purposes of the Hornsby LEP by inserting land within Zone C4 Environmental Living into Column 1 in the table of Clause 5.1A(3), and Road as the development type in Column 2.**

The Place Plan identifies the creation of a new road linking Tekapo Road to Cairnes Road to facilitate development. This road would be able to serve as an additional travel route for the existing community as well as serve access and bushfire protection purposes for any new lots possible on land in Area B.

## HORNSBY SHIRE COUNCIL

Clause 5.1A of the Hornsby LEP limits development on certain land intended to be acquired for a public purpose and applies to land shown in the Land Reservation Acquisition Map that has not yet been acquired by the relevant authority of the State specified in clause 5.1.

Zone C4 Environmental Living is currently not listed under clause 5.1A(3). Accordingly, it is proposed to amend clause 5.1A(3) to include Zone C4 Environmental Living and marked Local road under Column 1 "Land", and Roads under Column 2 "Development".

Potential wording for the amendment is provided in Table 3.

Table 3 - Clause 5.1A(3) amendment (example only)

Hornsby LEP	
<b>5.1A Development on land intended to be acquired for public purposes</b>	
(3) Development consent must not be granted to any development on land to which this clause applies other than development for a purpose specified opposite that land in Column 2 of that Table.	
<b>Column 1</b>	<b>Column 2</b>
<b>Land</b>	<b>Development</b>
Zone SP2 Infrastructure and marked "Classified Road"	Roads
Zone RE1 Public Recreation and marked "Local open space"	Recreation areas
Zone RE1 Public Recreation and marked "Regional open space"	Recreation areas
Zone R2 Low Density Residential and marked "Local road"	Roads
Zone R4 High Density Residential and marked "Local road"	Roads
Zone E2 Commercial Centre and marked "Local road"	Roads
Zone MU1 Mixed Use and marked "Local road"	Roads
Zone C4 Environmental Living and marked "Local road"	Roads

**Amendment 6: Amend clause 6.9 Dual occupancies (attached) on land in certain rural zones of the Hornsby LEP by inserting Zone C4 Environmental Living into clause 6.9(2).**

To support the implementation of Amendment 3 to permit dual occupancies (attached) and secondary dwellings on land zoned C4 Environmental Living, it is proposed to amend clause 6.9(2) by inserting zone C4 Environmental Living into the applicable zones.

The objective of clause 6.9 is to minimise unplanned rural residential development and limit the gross floor area of dual occupancies to ensure rural residential development maintains rural character. It currently applies to most rural zones in Hornsby Shire, including RU4 Primary Production Small Lots, within which the subject land for Amendment 3 (Area A and Area B) is currently zoned.

Amending clause 6.9(2) to insert Zone C4 Environmental Living into the applicable zones aligns this clause with Amendment 3 above and will ensure that dual occupancy (attached) development is appropriately controlled and does not result in development outcomes that are out of character with the surrounding rural area. The title of clause 6.9 has also been amended to reflect the addition of Zone C4 Environmental Living.

Potential wording for the amendment is provided in Table 4.

Table 4 - Clause 6.9(2) amendment (example only)

Hornsby LEP	
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**6.9 Dual occupancies (attached) on land in certain rural and conservation zones**

(2) This clause applies to land in the following zones—

- (a) Zone RU1 Primary Production,
- (b) Zone RU2 Rural Landscape,
- (c) Zone RU4 Primary Production Small Lots,
- (d) Zone C4 Environmental Living.

**Amendment 7: Amend the Hornsby LEP Land Reservation Acquisition Map to reserve land on Lot 91 DP 585835 for the purposes of a road.**

The Place Plan identifies the creation of a new road linking Tekapo Road to Cairnes Road to facilitate development. This road would be able to serve new lots, as well as provide a buffer from agricultural uses and serve bushfire protection purposes.

A 12 metre wide Land Reservation Acquisition layer is proposed to be placed along the western and northern boundaries of Lot 91 DP 585835 in order to link Tekapo Road and Cairnes Road. A 12 metre wide road reserve width will be suitable to accommodate an 8 metre wide perimeter road, as outlined in Planning for Bushfire Protection 2019 (PBP). This road would be classified as a "Local road", with Council as "Authority of the state" (subject to the progression of Amendment 4).

The Land Reservation Acquisition Map amendments are included in Part 5 Mapping of this report.

**Amendment 8: Amend the Hornsby LEP Land Zoning Map to zone land in Area C in Figure 1 as RU5 Village from current RU4 Primary Production Small Lots.**

The Place Plan identifies the corner of Lot 2 DP 216873 as offering a suitable and strategic location for a mixture of business and residential uses. The land is close to existing shops and services on the western side of Old Northern Road, in The Hills Shire, as well as close to the proposed public domain changes in the current bus turnaround bay.

To support the Glenorie community's desire for more shops and services closer to the Glenorie Village centre, it is proposed to change the zone of land in Area C to RU5 Village. This change would facilitate and enable small-scale retail uses and shop-top housing on the site.

Lot 2 DP 216873 is currently used as a retail premises. Utilising existing use rights, the site currently operates as a "Cellarbrations" bottle shop. Community feedback received during the Glenorie Village Investigations project indicated that the Glenorie community desired a greater selection of shops and services in the village. Locating additional shops and services on this land would complement existing shops and services and bookend Glenorie Village's commercial area. Additionally, the enabling of shop top housing development on the site would support additional housing diversity close to services.

The Land Zoning Map amendments are included in Part 5 Mapping of this report.

**Amendment 9: Amend the Hornsby LEP Floor Space Ratio Map to change the floor space ratio for land in Area C to 0.5:1 and remove the floor space ratio for the remainder of Lot 2 DP216873.**

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To support the Glenorie community's desire for more shops and services closer to the Glenorie Village centre, it is proposed to change the floor space ratio (FSR) of land in Area C to 0.5:1. This FSR would encourage development in the area that is consistent with a rural village.

Lot 2 DP 216873 currently has a FSR of 0.02:1. Unique to the site, this FSR has limited any further commercial development of the site. A 0.5:1 FSR would enable further development of the site in a manner consistent with the surrounding village. Additionally, the 0.5:1 FSR is reflective of constraints present on the site, including its lack of reticulated sewerage and environmental considerations, and is consistent with other rural villages in Hornsby Shire.

While land in Area C would see a floor ratio of 0.5:1 to facilitate development consistent with a rural village, the remainder of Lot 2 DP 216873, which falls within Area A, also requires the 0.02:1 FSR to be removed. In line with land in the wider Area A area, this would result in the proposed C4 Environmental Living zoned area not being subject to a FSR control.

The Floor Space Ratio Map amendments are included in Part 5 Mapping of this report.

**Amendment 10: Amend clause 4.1A(2) Minimum subdivision lot size for strata plan schemes in certain zones of the Hornsby LEP by removing Zone RU5 Village.**

To support the amendments proposed in Amendment 8 and Amendment 9, it is proposed to remove Zone RU5 Village from clause 4.1A.

The objective of clause 4.1A is to ensure that land is not fragmented by subdivisions that would create additional dwelling entitlements. It limits the size of any lot resulting from a subdivision to a strata plan scheme to the minimum lot size applying to the land. This is an important control in Hornsby Shire's rural and low-density areas, where it prevents subdivision from circumventing broader strategic planning objectives.

The clause, however, is not well suited to zones where development outcomes are intended to be more intensive and where strata subdivision is explicitly encouraged. In a zone such as RU5 Village, where business uses and shop top housing is supported, it is essential to facilitate strata subdivision without linking it to current mapped minimum subdivision lot sizes.

Potential wording for the amendment is provided in Table 5.

**Table 5 - Clause 4.1A(2) amendment (example only)**

**Hornsby LEP**

**4.1A Minimum subdivision lot size for strata plan schemes in certain zones**

- (2) *This clause applies to land in the following zones that is used, or is proposed to be used, for residential accommodation or tourist and visitor accommodation—*
- (a) *Zone RU1 Primary Production,*
  - (b) *Zone RU2 Rural Landscape,*
  - (c) *Zone RU4 Primary Production Small Lots,*
  - ~~(d) *Zone RU5 Village,*~~
  - (d) *Zone R2 Low Density Residential,*
  - (e) *Zone SP3 Tourist,*
  - (f) *Zone C2 Environmental Conservation,*
  - (g) *Zone C3 Environmental Management,*
  - (h) *Zone C4 Environmental Living.*

## 4 Justification

This section of the planning proposal provides the rationale for the proposed amendments and responds to the questions set out in the Local Environmental Plan Making Guideline (August 2023).

### 4.1 Section A: Need for the planning proposal

#### Is the planning proposal a result of an endorsed LSPS, strategic study or report?

Yes, the Planning Proposal is a result of the Hornsby Local Strategic Planning Statement (Hornsby LSPS) as well as the RLS, Investigation Report, and adopted Place Plan, as discussed below.

#### Hornsby Rural Lands Study

Identified under Sustainable Action SA11 in the Hornsby LSPS, the RLS was finalised in 2022. It sets the vision for rural areas and the parameters for future land use planning, with an overarching vision that Hornsby Shire's rural areas should be valued for their unique landscapes, biodiversity, lives and livelihoods they support. The RLS includes:

- Retention of the MRA as a key part of the Region Plan.
- Drivers of change in agricultural and rural areas.
- A vision for Hornsby Shire's rural area.
- Principles for 'better managing rural areas' in Hornsby Shire.
- Recommendations for changes to planning controls in accordance with the established principles.

The RLS recognises that rural villages like Glenorie play a crucial role in supporting the local community. These villages function as focal points that provide essential services and facilities for surrounding rural areas, helping to meet day-to-day needs close to where people live. They also act as important hubs for local employment, social interaction, education, and leisure activities, reinforcing community cohesion and social wellbeing. Through this role, rural villages promote a distinct lifestyle and character that reflects their rural setting, attracting both residents and visitors who value the charm, identity and tranquillity of rural living.

To ensure the continued vitality of rural villages and to address challenges related to housing diversity and ageing in place, the RLS recommends, among other measures, the preparation of place plans for these communities. These plans should explore existing village areas, village boundaries, and environmental living opportunities, considering environmental constraints, servicing requirements, and existing land uses.

Glenorie Village was selected as the first location for the implementation of the RLS recommendations. A copy of the RLS, as well as the adopted Implementation Action Plan, is included in **Appendix G**. While other recommendations have been finalised through the 2024 Rural Lands Study Planning Proposal, Agritourism DCP amendments, and other State-wide agritourism reforms progressed by the then Department of Planning and Environment, recommendations and commentary from the Implementation Action Plan in relation to Glenorie (that are relevant to this Planning Proposal) are shown in Table 6.

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Table 6 - Recommendations and commentary from the Implementation Action Plan

Recommendation	Comment
Investigate opportunities near Dural, Galston and Glenorie villages to reduce lot size to 5000-10,000sqm, apply the E4 Environmental Living zone and prepare village Place Plans.	Progressed and finalised. The OCP, Feedback Summary Report, Investigation Report and Place Plan are the implementation of this recommendation for Glenorie, and have resulted in the recommendation of 4,000m <sup>2</sup> and 5,000m <sup>2</sup> lot sizes.
Subject to the outcome of strategic investigations, change zoning around Dural, Galston and Glenorie village to E4 Environmental Living and apply a new minimum allotment size determined appropriate from the strategic investigations.	Currently progressing for the Glenorie Village. Finalisation of this Planning Proposal will implement the recommendations for Glenorie.
Subject to the outcome of Strategic investigations, implement Place Plans for Dural, Galston, Glenorie into the HDCP. Include DCP controls for villages that seek to manage land use conflicts and rural village character.	Progressed and finalised for Glenorie. The Place Plan was adopted by Council in November 2025. DCP controls have been drafted and will be put before Council alongside the Planning Proposal.

Glenorie Village Investigation Report

The Investigation Report actions a long-term recommendation from the RLS Implementation Action Plan to investigate opportunities for rural living by reviewing lot sizes around Glenorie Village and preparing a Village Place Plan. It examines the possible rezoning and changes to minimum lot sizes from the RLS while also considering opportunities and constraints, community feedback, changes in population demographics, evolving patterns of urban and agricultural land use, Glenorie's commercial role, pedestrian connectivity, environmental and infrastructure challenges, and natural hazards.

Considering these factors, the Investigation Report explores a number of change scenarios for Glenorie Village. These change scenarios cover the consideration of different zones and lot sizes, as well as the extent to which changes should be implemented in Glenorie. Ultimately, the Investigation Report recommends:

- Rezoning for housing diversity delivery which includes:
  - Small rural 4,000-5,000m<sup>2</sup> allotments close to the Village to the southeast to be rezoned to C4 Environmental Living.
  - Townhouse development along Old Northern Road within the existing low-density area, noting that this may be unlikely to be realised in the short term due to sewer servicing constraints.
  - Mixed use (commercial and residential) on the southern corner of Cairnes Road and Old Northern Road.
- Improved pedestrian access across Old Northern Road and Post Office Road by exploring intersection improvements, a redesigned bus turn around area and expanded open space connection.
- Preparation of a place plan to illustrate the above recommendations and establish place principles to guide any change in Glenorie.

A copy of the Investigation Report is included in **Appendix D**.

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Glenorie Village Place Plan

The Place Plan expands on the recommended change scenario in the Investigation Report, presenting a clear and accessible summary of its key findings, as well as outlining a set of place principles. These place principles form a strategic framework for shaping future growth and change in Glenorie and will guide Council's decision making and planning into the future. The place principles include:

- **Strengthen the heart of the village:** Enhance the central area of Glenorie Village by improving public spaces, transport systems, and accessibility to homes and businesses.
- **Encourage housing diversity:** Promote a more diverse and accessible range of housing in Glenorie Village to meet the changing needs and expectations of the Glenorie Community.
- **Protect ecologically sensitive areas:** Safeguard the natural landscapes and ecosystems of Glenorie by preserving areas with biodiversity and riparian value and keeping development away from hazard prone areas.
- **Retain the rural character of Glenorie:** Retain and preserve the distinctive rural charm and heritage of Glenorie by safeguarding agricultural lands, supporting rural employment, and minimising conflicts between rural activity and adjoining land uses.

The actions identified in the Place Plan are:

- **Action 1: Small rural lots:** Transition large lots adjacent to the existing village to smaller rural lifestyle lots of 4,000m<sup>2</sup> and 5,000m<sup>2</sup>.
- **Action 2: Townhouses:** Transition the existing low density dwellings fronting Old Northern Road to townhouses to strengthen the Glenorie community by enabling a greater diversity of housing types close to shops, services, and transport.
- **Action 3: Commercial and residential:** Permit a mix of business and residential uses on the corner of Old Northern Road and Cairnes Road to help meet the Glenorie community's desire for more shops and services closer to the village centre.
- **Action 4a: Roundabout:** Install a roundabout at the intersection between Old Northern Road and Post Office Road.
- **Action 4b: Open space connection:** Transform the underutilised area currently used as a bus turnaround into an open space with pedestrian pathways.
- **Action 5: Entry statements:** Add clearly articulated entry statements adjacent to Harrisons Lane in the south and adjacent to the school, complementing existing speed restrictions.

The Planning Proposal seeks to implement planning controls as recommended by Action 1 and Action 3 of the Place Plan. A copy of the Place Plan is included in **Appendix C**.

**Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?**

Yes, a planning proposal is the best means of achieving the objective and intended outcomes.

The Planning Proposal seeks to implement Action 1 and Action 3 of the Place Plan, as per Council's resolution at its 12 November 2025 General Meeting. A copy of the business paper and confirmed minutes is included in **Appendix H**. These Place Plan actions propose changes to key planning controls which can only be effectively implemented through amendments to clauses and mapped development standards in the Hornsby LEP.

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Consequently, a planning proposal is the best means of achieving the objectives and intended outcomes of Action 1 and Action 3 of the Place Plan.

The Planning Proposal would be supported by complementary amendments to the Hornsby Development Control Plan (Hornsby DCP); however, these will guide development made possible through changes to the Hornsby LEP.

## 4.2 Section B: Relationship to the strategic planning framework

### Will the planning proposal give effect to the objectives and actions of the applicable regional or district plan or strategy (including any exhibited draft plans or strategies)?

An assessment of the Planning Proposal against the relevant objectives of the Region Plan, responses of the draft Sydney Plan, and planning priorities of the District Plan is provided below:

Table 7 - Greater Sydney Region Plan review

Objective	Applicable Strategies	Response
<p><b>Objective 28</b> Scenic and cultural landscapes are protected</p>	<p>28.1 Identify and protect scenic cultural landscapes</p>	<p>The Planning Proposal proposes to apply the C4 Environmental Living zone on land close to the village centre. This will further protect the scenic and cultural landscapes of the area.</p>
<p><b>Objective 29</b> Environmental, social and economic values in rural areas are protected and enhanced.</p>	<p>29.1 Maintain or enhance the values of the Metropolitan Rural Area using place-based planning to deliver targeted, environmental, social and economic outcomes</p>	<p>Under the Region Plan, Glenorie is identified as being within the MRA. The MRA designation is intended to protect land with significant environmental, agricultural, and resource value and sustain local rural towns and villages. Proposed changes to the Hornsby LEP align with the values of the MRA, and are a result of place-based planning investigations, as detailed in <b>Appendix C</b>, <b>Appendix D</b> and <b>Appendix E</b>.</p>
		<p>The Planning Proposal facilitates changes to land in Glenorie to formalise established rural-residential development patterns. Although rural-residential/rural lifestyle development is generally not supported under the Region Plan, the modest scale of growth proposed – together with associated land use changes – will enhance the long-term vitality of Glenorie village by improving housing diversity in a manner consistent with the rural character of the village.</p>

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Objective	Applicable Strategies	Response
		<p>Other associated land-use changes include the formalisation and selective intensification of commercial activities at the corner of Old Northern Road and Cairnes Road. This will result in additional commercial floorspace to support the Glenorie community, while also facilitating limited and complementary opportunities for diverse housing.</p> <p>The use of a place plan and supporting studies to deliver outcomes for Glenorie meets the requirements of this objective and strategy.</p>

Table 8 - Draft Sydney Plan review

Response	Applicable Actions	Response
<p><b>Response 11</b> Manage land uses beyond the urban footprint</p>	<p>11.4 Relevant Councils to review the interface between the urban and rural lands to inform the urban footprint.</p>	<p>Under the draft Sydney Plan, Glenorie is not identified as being within the urban footprint, which serves a similar, but reversed, purpose to the MRA under the Region Plan. While the MRA seeks to manage and protect rural land, the urban footprint seeks to limit outward urban expansion and focuses growth within clearly defined areas. In this context, Action 11.4 encourages relevant councils to review the interface between urban and rural lands through place-based investigations to inform the urban footprint and respond to established settlement patterns.</p> <p>The Planning Proposal gives effect to this action by applying the outcomes of detailed place-based planning to land in Glenorie village that already exhibits rural lifestyle and village-scale characteristics. The Planning Proposal does not seek to expand the urban footprint or promote dispersed urban growth, but instead formalises existing</p>

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Response	Applicable Actions	Response
		<p>development patterns and facilitates modest, localised change to support the long-term vitality of Glenorie village. This approach is consistent with the intent of Response 11 of the draft Sydney Plan, by carefully managing change at the urban-rural interface while maintaining the distinct rural character and function of the village.</p>

Table 9 - North District Plan review

Planning Priority	Applicable Actions	Response
<p><b>N17</b> Protecting and enhancing scenic and cultural landscapes</p>	<p>67. Identify and protect scenic and cultural landscapes. 68. Enhance and protect views of scenic and cultural landscapes from the public realm.</p>	<p>The application of the C4 Environmental Living zone to land near the village centre will recognise and protect Glenorie’s scenic and cultural landscapes while maintaining key view corridors from the public realm. By restricting visually intrusive and ecologically harmful activities, land near the village centre will continue to reinforce the village’s rural character and ensure that more intensive development remains contained within the village core, enabling ongoing agricultural use in surrounding rural areas.</p>
<p><b>N18</b> Better managing rural areas</p>	<p>69. Maintain or enhance the values of the Metropolitan Rural Area using place-based planning to deliver targeted environmental, social and economic outcomes 70. Limit urban development to within the Urban Area.</p>	<p>The Planning Proposal will deliver targeted economic, environmental and social outcomes resulting from the place-based planning approach outlined in the OCP, Investigation Report, and Place Plan.</p> <p>The formalisation of established rural lifestyle development patterns and application of the C4 Environmental Living zone close to the village centre will facilitate better environmental management, protect ecological values, and ensure development outcomes are compatible with the surrounding rural landscape.</p>

Glenorie Village

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**Is the planning proposal consistent with a Council LSPS that has been endorsed by the Planning Secretary or GSC, or another endorsed local strategy or strategic plan?**

Yes, the Planning Proposal is consistent with the Hornsby LSPS, as discussed below.

Hornsby Local Strategic Planning Statement

The Hornsby LSPS (endorsed March 2020) is the 20-year vision for land use; the special character and values that are to be preserved; shared community values; and how Council will manage growth and change. It includes priorities and actions to enable the delivery of that vision.

The Hornsby LSPS recognises the importance of rural areas to the Shire's environment and local economy, clearly delineating urban and rural land through the MRA. This distinction underpins the Hornsby LSPS's Sustainability chapter, which sets out the priorities and long-term vision for maintaining the vitality and resilience of Hornsby Shire's rural areas.

*The rural lands of Hornsby Shire are part of the Metropolitan Rural Area (MRA) and contain a mixture of productive agricultural land, extractive industries, rural residential development, rural villages, scenic rural landscapes, native vegetation and biodiversity corridors. Our rural areas play a critical role for our environment and local economy.*

*Our priority is to better manage our rural lands, being mindful of the current constraints but also capitalising on strategic opportunities identified through an updated Rural Lands Study.*

Priorities of relevance to this Planning Proposal:

**SP8.** *Maintaining and enhancing the environmental, economic and scenic values of the Metropolitan Rural Areas of Hornsby.*

The Planning Proposal is consistent with the above Hornsby LSPS priorities, as it seeks to better manage, maintain and enhance the distinctive rural character of Glenorie and the MRA through modest growth close to the village.

Hornsby Rural Lands Study

The Planning Proposal is consistent with the RLS, which was identified under Sustainable Action SA11 of the endorsed Hornsby LSPS and finalised in 2022. The RLS establishes the long-term vision and strategic framework for managing rural lands and villages in Hornsby Shire, recognising rural villages such as Glenorie as key service and social hubs for surrounding rural communities. As outlined in Part 4.1, it specifically recommends investigating opportunities to increase housing diversity and support ageing in place through reduced lot sizes, application of the C4 Environmental Living Zone, and the preparation of place plans informed by detailed local investigations. The selection of Glenorie as the first village to implement these recommendations, and the subsequent strategic work, directly implements the intent, principles and actions of the RLS.

Glenorie Village Investigation Report

The Planning Proposal is consistent with and supports the findings of the Investigation Report, which actions a key implementation measure of the RLS by undertaking detailed strategic investigations into land use change opportunities in and around Glenorie Village. The Investigation Report assesses environmental constraints, servicing capacity, natural hazards, village character, community feedback, and Glenorie's role as a rural centre, and tests multiple change scenarios. It ultimately supports targeted rezonings and adjusted minimum lot sizes near the village, alongside selective mixed-use opportunities, to deliver housing diversity while retaining rural character. The Planning Proposal aligns with and implements the preferred outcomes of this strategic investigation.

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Glenorie Village Place Plan

The Planning Proposal is consistent with the key actions in the adopted Place Plan, which translates the findings of the Investigation Report into an endorsed spatial framework and set of place principles to guide future change. Adopted by Council in November 2025, the Place Plan establishes clear strategic directions to strengthen the village centre, encourage housing diversity, protect environmentally sensitive land, and retain Glenorie's rural character. The Planning Proposal directly implements Actions 1 and 3 of the Place Plan by facilitating smaller rural lifestyle lots adjoining the village and enabling a mix of commercial and residential uses at a key intersection, ensuring that statutory planning controls align with Council's endorsed long-term vision for Glenorie.

**Is the planning proposal consistent with any other applicable State and regional studies or strategies?**

Yes. The Planning for Agriculture in Rural Land Use Strategies guidelines were released by the Department of Primary Industries and Regional Development (DPRID) in July 2022. While the Hornsby RLS was prepared prior to the publication of the guidelines, it responds to the objectives and provides a comprehensive strategic foundation for the Planning Proposal.

The objectives of the guidelines are:

- To ensure that the needs of agriculture are considered in the strategic planning process,
- To ensure that opportunities for the growth of agricultural industries are considered through the strategic planning framework, and
- To ensure the strategic planning process gives careful consideration to land uses in rural areas that are incompatible with agriculture.

As identified in the Planning Proposal, the RLS recognises that rural villages such as Glenorie play an important role in supporting local communities. The strategy recommends measures to support the ongoing vitality of these villages, particularly in response to challenges relating to housing diversity and enabling residents to age in place.

Subsequent investigations undertaken through the OCP and Investigation Report have further examined agricultural land use within and around Glenorie. These investigations have informed the Place Plan outcomes, which seek to formalise existing rural lifestyle development in proximity to the village core while protecting productive agricultural land beyond the village. An 'agricultural belt' of land uses has been applied to clearly define the extent of planning control changes and to ensure the long-term viability of agricultural activities in Glenorie and surrounding rural areas.

**Is the planning proposal consistent with applicable SEPPs?**

The consistency of the Planning Proposal with any applicable State Environmental Planning Policy (SEPP) is detailed in the table below:

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Table 10 - State Environmental Planning Policies review

State Environmental Planning Policy	Aims of the SEPP	Consistency	Response
State Environmental Planning Policy (Biodiversity and Conservation) 2021	This SEPP aims to protect the biodiversity values of trees and other vegetation in non-rural areas of the State and preserve the amenity of non-rural areas of the State through preservation of trees and other vegetation.	Consistent	<p>The Planning Proposal is consistent with the SEPP.</p> <p>The proposed amendments do not authorise development or vegetation clearing and does not diminish existing biodiversity protections. All biodiversity and conservation matters will continue to be assessed in accordance with the SEPP and related legislation at the DA stage.</p>
State Environmental Planning Policy (Exempt and Complying Development Codes) 2008	This SEPP aims to provide streamlined assessment processes for development that complies with specified development standards.	Consistent	<p>The Planning Proposal is consistent with the SEPP.</p> <p>The proposed amendments do not rely on, expand or alter complying development pathways and do not enable development to proceed without consideration of site-specific constraints.</p> <p>The Planning Proposal does not rely on complying development pathways to deliver outcomes and anticipates that future development enabled by the Planning Proposal will predominantly occur through the DA pathways where land use conflicts can be appropriately assessed and managed.</p>
State Environmental Planning Policy (Housing) 2021	This SEPP focuses on delivering a sufficient supply of safe, diverse, and affordable housing.	Consistent	<p>The Planning Proposal is consistent with the SEPP.</p> <p>The proposed amendments support housing diversity and ageing in place in rural lifestyle lots close to the village, retaining rural character.</p> <p>The Planning Proposal does not rely on Housing SEPP development pathways. The Planning Proposal therefore supports the principles of the SEPP in a manner that is strategically justified and consistent with local environmental and character considerations.</p>
State Environmental	This SEPP aims to protect land needed for	Consistent	The Planning Proposal is consistent with the SEPP.

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State Environmental Planning Policy	Aims of the SEPP	Consistency	Response
Planning Policy (Industry and Employment) 2021	industrial and employment purposes, avoid unnecessary loss of employment land, and ensure employment functions are appropriately located and supported.		<p>The proposed zoning of RU5 Village on land identified for commercial and residential in the Place Plan formalises existing commercial activity and supports future intensification, reinforcing Glenorie Village's role as a local service and employment centre for the surrounding rural area.</p> <p>The Planning Proposal does not result in the loss of any industrial or employment land, does not displace viable employment uses, and facilitates modest employment growth in an appropriate, accessible village location.</p>
State Environmental Planning Policy (Planning Systems) 2021	This SEPP provides the procedural and enabling framework for plan-making and development assessment under the NSW planning system.	N/A	The Planning Proposal is not inconsistent with any of the requirements of this SEPP.
State Environmental Planning Policy (Precincts – Central River City) 2021	This SEPP gives statutory effect to State-led precinct planning in the Central River City.	N/A	The Planning Proposal is not inconsistent with any of the requirements of this SEPP.
State Environmental Planning Policy (Precincts - Eastern Harbour City) 2021	This SEPP gives statutory effect to State-led precinct planning in the Eastern Harbour City.	N/A	The Planning Proposal is not inconsistent with any of the requirements of this SEPP.
State Environmental Planning Policy (Precincts – Regional) 2021	This SEPP gives statutory effect to State-led precinct planning in identified regional growth districts.	N/A	The Planning Proposal is not inconsistent with any of the requirements of this SEPP.
State Environmental Planning Policy (Precincts – Western Parkland City) 2021	This SEPP gives statutory effect to State-led precinct planning in the Western Parkland City.	N/A	The Planning Proposal is not inconsistent with any of the requirements of this SEPP.
State Environmental Planning Policy	This SEPP aims to support the orderly and sustainable use of rural land by promoting	Not consistent	The Planning Proposal is not consistent with the objects of Part 2.2 of the SEPP to the extent that it facilitates land use change on land identified as State Significant

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State Environmental Planning Policy	Aims of the SEPP	Consistency	Response
(Primary Production) 2021	primary production, protecting important agricultural resources and environmental values, reducing land use conflicts, and streamlining regulatory processes for certain agricultural and irrigation activities.		<p>Agricultural Land on draft State Significant Agricultural Land mapping.</p> <p>This inconsistency is justified as the Planning Proposal applies to a limited and clearly defined area immediately adjoining the existing village, where agricultural viability is already constrained by long-established rural lifestyle uses. The affected land represents a very small proportion of State Significant Agricultural Land within Hornsby Shire and does not compromise the broader agricultural resource base.</p>
State Environmental Planning Policy (Resilience and Hazards) 2021	This SEPP aims to manage risks and build resilience in the face of hazards.	Consistent	The Planning Proposal is consistent with the SEPP. The proposed amendments are strategic in nature and do not authorise development or remove hazard-related planning controls. Hazard considerations including bushfire and flooding have informed the Investigation Report and Place Plan, and all future development will remain subject to detailed assessment and mitigation requirements under relevant State and local planning frameworks.
State Environmental Planning Policy (Resources and Energy) 2021	The Resources and Energy SEPP safeguards mineral, extractive and energy resources from incompatible land uses and sterilisation.	Consistent	<p>The Planning Proposal is consistent with the SEPP. While the proposal involves rezoning land currently zoned RU4 Primary Production Small Lots to C4 Environmental Living, removing permissibility of extractive industries, the land is not identified as containing State or regionally significant mineral or extractive resources, and is not subject to any resource safeguarding or investigation mechanisms.</p> <p>The Planning Proposal does not result in the sterilisation of identified resource land and does not compromise the strategic availability of mineral, extractive or energy resources within Hornsby Shire or the North District.</p>
State Environmental Planning Policy (Sustainable Buildings) 2022	This SEPP aims to encourage the design and delivery of sustainable buildings.	N/A	The Planning Proposal is not inconsistent with any of the requirements of this SEPP.

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State Environmental Planning Policy	Aims of the SEPP	Consistency	Response
State Environmental Planning Policy (Transport and Infrastructure) 2021	This SEPP ensures land use planning does not compromise transport or infrastructure assets and supports their coordinated planning and delivery.	Consistent	<p>The Planning Proposal is consistent with the SEPP. The Planning Proposal affects land adjoining Old Northern Road, a classified State road. Proposed amendments do not authorise development, alter road access arrangements or affect the road corridor.</p> <p>Any future development will remain subject to the requirements of the Transport and Infrastructure SEPP, including consultation with Transport for NSW and detailed assessment of access, traffic and safety impacts at the DA stage.</p>

### Is the planning proposal consistent with applicable Ministerial Directions (Section 9.1 Directions)?

The consistency of the Planning Proposal with the requirements of the relevant Local Planning Directions (ministerial directions) is discussed in the table contained within **Appendix A**. The ministerial directions of most relevance to the Planning Proposal are discussed below.

#### 1.1 Implementation of Regional Plans

The objective of this Direction is to give legal effect to the vision, land use strategy, goals, directions, and actions set out in the Regional Plan. The Direction requires that a planning proposal be consistent with any applicable Regional Plan released by the Minister.

The Planning Proposal seeks to implement the recommendations of the Rural Land Study, Investigation Report, and Place Plan, which were prepared in accordance with the Region Plan and District Plan. An assessment of the Planning Proposal against the objectives of the Region Plan, responses of the draft Sydney Plan and the planning priorities of the District Plan is provided in Part 4.2 of this report.

In summary, Glenorie is located within the MRA. A key strategic objective of both the State Government and Council is to protect productive agricultural land, prevent urban development on rural land, and uphold the values of the MRA. However, a place-based approach that supports the ongoing role and viability of rural villages, such as Glenorie, is considered appropriate.

The proposed amendments give effect to the relevant directions and actions of the Region Plan and District Plan and as such the Planning Proposal is consistent with Direction 1.1.

#### 4.3 Planning for Bushfire Protection

The objective of this Direction is to protect life, property and the environment from bush fire hazards by discouraging the establishment of incompatible land uses in bush fire prone areas and encouraging sound management of bush fire prone areas. The Direction requires that a planning proposal have regard to PBP and

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that the relevant planning authority consult with the Commissioner of the NSW Rural Fire Service (RFS) following receipt of a gateway determination.

Parts of Glenorie contain significant areas of bushfire prone land due to the extensive natural areas of bushland surrounding the village. While most land affected by the Planning Proposal is not bush fire prone, a very small part of one lot is categorised as Vegetation Category 2, while some lots are classified as Vegetation Buffer.

Regardless of affectation, a Bushfire Constraints and Opportunities Assessment was undertaken during the drafting of the OCP, which ultimately assisted in informing the extent of change proposed in the Place Plan. The Bushfire Constraints and Opportunities Assessment also recommended that a new road be built linking Tekapo Road with Cairnes Road. Amendments 4, 5, and 7 have been proposed to facilitate the creation of this new road that will comply with PBP and act as an Asset Protection Zone (APZ) to the adjacent Vegetation Category 2 land to the north.

Following consultation with the RFS on the Place Plan, a Traffic Evacuation Study was commissioned by a suitably qualified traffic engineer. This study, reviewed by the RFS, found that traffic resulting from any potential new dwellings associated with subdivision of land affected by the Planning Proposal would have no impact on the operation of existing intersections or existing road capacities.

In summary, the proposed amendments are consistent with Direction 4.3. As per Direction 4.3 (1), Council will consult with the Commissioner of the RFS following the receipt of a positive Gateway Determination for the proposal. This is reflected in the consultation requirements listed in Part 5 Mapping of this report. Any comments made by the Commissioner will be considered and addressed as required.

#### 9.1 Rural Zones

The objective of this Direction is to protect the agricultural production value of rural land. The Direction requires that a planning proposal must not rezone land from a rural zone to a residential, employment, mixed use, SP4 Enterprise, SP5 Metropolitan Centre, W4 Working Waterfront, village, or tourist zone, and must not include provisions that increase the permissible density of land within a rural zone.

The Planning Proposal seeks to rezone the land from a rural zoning (RU4 Primary Production Small Lots) to C4 Environmental Living and RU5 Village. The amendment to rezone part of the site identified as Lot 2 DP216873 to RU5 Village Zone is proposed to formalise commercial activity that is already occurring on the site and to allow for moderate intensification, to meet the Glenorie community's desire for additional shops and services closer to the village centre.

The site has been selected because it is already functioning in a commercial capacity through existing use rights, and due to its location within Glenorie village, within walking distance of the existing commercial core of the village.

The inconsistency with Direction 9.1 is justified through the detailed environmental and planning investigations undertaken as part of the OCP, Investigation Report, and Place Plan (**Appendix E, Appendix D and Appendix C**), which give due consideration to the objectives of the Direction.

### 4.3 **Section C: Environmental social and economic impact**

#### **Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected because of the proposal?**

The Planning Proposal is not anticipated to increase risks to critical habitat, threatened species, populations or ecological communities, or their habitats.

An Ecological Constraints Assessment (ECA) was prepared to inform the OCP (**Appendix E**). It assessed land encompassing a broader area than that ultimately included within the Place Plan, in order to inform early strategic planning and site selection. The ECA assessed the likelihood of impacts on threatened species, populations, ecological communities, and their habitats, and identified the presence of native vegetation, including two Threatened Ecological Communities, as well as areas that may provide potential habitat for threatened fauna species, particularly within larger patches of vegetation along riparian corridors.

While encroachment of development into these areas would be likely to result in adverse impacts, the Planning Proposal does not propose authorising vegetation clearing or any additional forms of development within high-constraint areas. Existing environmental protection provisions contained within the Hornsby LEP and Hornsby DCP would continue to apply to development within or near these areas.

The ECA demonstrates that, within Area A and Area B in Figure 1, significant opportunities exist to avoid and minimise impacts by directing development away from highly constrained areas and focusing development on existing cleared or low biodiversity value areas.

Further to the above, any future development would be subject to detailed ecological assessment at the Development Application (DA) stage, including assessment under the *Biodiversity Conservation Act 2016*, where applicable.

#### **Are there any other likely environmental effects of the planning proposal and how are they proposed to be managed?**

A summary of the potential environmental effects of the proposed amendments and how they are proposed to be managed is provided below.

##### On-site effluent disposal

On-site sewer management is a form of effluent disposal that is frequently used in areas without access to the Sydney Water reticulated sewerage system, or if the capacity of the existing Sydney Water system is exhausted. It is a form of effluent management that is already used extensively in Hornsby Shire's rural areas.

During planning and environmental investigations, Sydney Water issued advice that there is no further capacity in the Priority Sewerage Program in Glenorie, and that there are no current plans or funding to investigate extending wastewater servicing in the area at the time.

A Flood Risk, Infrastructure and Utilities Report, which forms part of the Investigation Report, supports a minimum lot size of 4,000m<sup>2</sup> to provide adequate buffers between on-site sewerage management areas and lot boundaries or sensitive areas.

Existing controls in the Hornsby DCP relating to on-site sewer management are considered sufficient to manage potential environmental and public health impacts and would continue to apply to development on land affected by the Planning Proposal.

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Hazards

Land in Glenorie is affected by natural hazards, including flooding, bushfire, and potential land contamination. A high-level summary of each of these hazards, and how they have been considered in the preparation of the Planning Proposal, is provided below.

*Flooding*

The Flood Risk, Infrastructure and Utilities Report, which forms part of the Investigation Report, assessed flooding and servicing constraints within the area affected by the Planning Proposal. The report found that both the 1% Annual Exceedance Probability and Probable Maximum Flood events would generally be confined to the natural creek corridors in the area, and impacts to egress are unlikely to be prolonged. Given the proposed lot sizes in the Place Plan, the report concluded that additional stormwater management controls are unlikely to be necessary.

The lot sizes proposed in Amendment 1 of the Place Plan are an appropriate size to enable dwellings to be located away from flood prone areas, with a minimum subdivision lot size of 4,000m<sup>2</sup> chosen for lots with lesser flood affectation, and 5,000m<sup>2</sup> chosen for lots with more significant flood affectation. Ultimately, any future development within flood prone areas would still be subject to the Hornsby DCP and would need to demonstrate compliance as part of the DA process.

*Bushfire*

A Bushfire Constraints and Opportunities Assessment was undertaken as part of the OCP, prepared by an accredited bushfire consultant and in consultation with the RFS.

The report found that the greatest bushfire risk to Glenorie Village lies north of Cairnes Road, where significant vegetation is located. Dead-end roads also pose a significant constraint to bushfire evacuation – these areas were excluded from the Place Plan.

Areas affected by the Planning Proposal to the south of Cairnes Road are not bushfire affected. Lots between Tekapo Road and Cairnes Road, adjacent to R2 Low Density Residential land, are mapped as bushfire prone. These have been considered by the Bushfire Constraints and Opportunities Assessment, which identifies a new road linking Tekapo Road to Cairnes Road between new lots and bushland (Amendments 4, 5, and 7). This would result in an additional egress for existing residents, a perimeter for firefighting operations and an asset protection zone for new residences.

Following consultation with the RFS on the Place Plan, a Traffic Evacuation Study was commissioned by a suitably qualified traffic engineer (**Appendix B**). This study, reviewed by the RFS, found that traffic resulting from any potential new dwellings associated with subdivision of land affected by the Planning Proposal would have no impact on the operation of existing intersections or existing road capacities.

As per Direction 4.3 (1), Council will consult with the Commissioner of the RFS following the receipt of any gateway. This is reflected in the consultation requirements listed in Part 5 Mapping of this report. Any comments made by the Commissioner will be considered and addressed as required.

*Land Contamination*

The Planning Proposal applies to land that is known to have been historically used for agricultural and horticultural activities. Such activities are identified as potentially contaminating activities under Table 1 of the Managing Land Contamination Planning Guidelines.

A Preliminary Contamination Assessment was undertaken as part of the OCP (**Appendix E**). The assessment found no significant indications of gross or widespread contamination within the land affected by the Planning Proposal and concluded that, with appropriate management if required, the land could be made suitable for rural lifestyle uses.

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Any future development on land affected by the Planning Proposal would be assessed and managed in accordance with existing contaminated land provisions under the Hornsby LEP and Hornsby DCP at the time a DA is lodged.

**Has the planning proposal adequately addressed any social and economic effects?**

A summary of the potential social and economic effects of the Planning Proposal is provided below.

Potential impacts to current and future agricultural land

The retention and protection of productive agricultural land is an important consideration of the RLS and has been considered in the OCP and in the Investigation Report. These reports identify an 'agricultural belt', located approximately 400m from the Village, which has informed the boundary for small rural lots in the Place Plan, and subsequently, changes proposed in the Planning Proposal.

Most of the land affected by the Planning Proposal is currently used for rural lifestyle purposes already and generally not commercial agriculture. The total area identified in the Planning Proposal currently zoned RU4 Primary Production Small Lots is approximately 36ha. This represents approximately 0.6% of the 6,351ha of rural zoned land in Hornsby Shire.

The Investigation Report discusses the potential conflict between residential and agricultural land uses. It acknowledges that planning controls are required to manage these issues effectively. The Hornsby DCP includes controls such as minimum separation distances from agricultural land uses and requirements for development in and near rural areas. These controls were recently reviewed through agritourism initiatives under the RLS and have been demonstrated to effectively manage land use conflicts on a merit-based assessment. Accordingly, they are sufficient to manage any potential impacts on existing and future agricultural land surrounding the area affected by the Planning Proposal.

Traffic impacts

A Transport and Traffic Assessment was undertaken as part of the OCP and further refined during preparation of the Investigation Report. The assessment examined existing road capacity, access and servicing arrangements, and current traffic volumes, as well as forecast traffic impacts arising from the Place Plan. The assessment found that the local road network currently operates at a high level of service. Modelling indicated that the scale of development contemplated under the Place Plan, and ultimately the Planning Proposal, would not result in any material change to network performance. From a regional perspective, the Planning Proposal is anticipated not have a meaningful impact on the broader road network.

Increasing commercial floorspace in Glenorie Village

The Planning Proposal will deliver clear social and economic benefits to Glenorie Village and the surrounding rural area by enabling an increase in available commercial floorspace within Glenorie village, while the introduction of shop-top housing will support greater housing diversity by providing smaller, more accessible dwellings close to services, employment and public activity. This form of development responds to the needs of a changing and ageing local population and supports the continued vitality of Glenorie as a functional rural village.

From an economic perspective, increasing commercial floorspace within the existing village centre will strengthen Glenorie's role as a local service hub by supporting additional office and retail opportunities. This will help meet the day-to-day needs of the surrounding rural community and support local employment. By concentrating growth within the established village area, the Planning Proposal reinforces the economic viability

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of Glenorie in a manner that is consistent with its scale and rural character, while promoting more efficient use of existing infrastructure and supporting walkability within the commercial core of the village.

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#### 4.4 Section D: Infrastructure (Local, State and Commonwealth)

##### Is there adequate public infrastructure for the planning proposal?

Yes, there is adequate public infrastructure for the planning proposal.

As part of the place planning process, consultation was undertaken with relevant State agencies and essential service providers. The feedback received, along with Council's consideration of the matters raised in relation to the Planning Proposal, is discussed in Table 11.

Table 11 - Relevant State agency and essential service provider feedback on the Place Plan

Agency or Essential Service Provider	Feedback	Planning Proposal consideration
Sydney Water	<ul style="list-style-type: none"> <li>» Potable water supply would be available to service additional population growth in Glenorie.</li> <li>» The existing sewerage system (Priority Sewerage System) has reached its growth servicing capacity with no current plans to expand.</li> <li>» Initial investigations by Sydney Water indicate expansion of sewer capacity would require upgrades of numerous facilities within Glenorie and downstream and are unlikely to be financially feasible based on population growth.</li> </ul>	<p>The Place Plan and resulting amendments in the Planning Proposal acknowledge the limitations on reticulated sewerage in Glenorie. Minimum lot sizes for land in Area A and Area B have been chosen to provide adequate buffers between on-site sewerage management areas and lot boundaries or sensitive areas.</p> <p>All development enabled under the Planning Proposal will be required to utilise on-site effluent disposal. Controls restricting the use of pump out sewerage for business and shop top housing developments in the RU5 Village zone have been drafted in the Hornsby DCP, while other existing controls in the DCP are considered sufficient to manage potential environmental and public health impacts and would continue to apply to development on land affected by the Planning Proposal.</p>
NSW Rural Service	<ul style="list-style-type: none"> <li>» Any Planning Proposal would need to satisfy the requirements of PBP and should be accompanied by a Traffic Evacuation Study.</li> </ul>	<p>A bushfire study for Glenorie was undertaken as part of the OCP, which was reviewed by the RFS. Following consultation with the RFS on the Place Plan, a Traffic Evacuation Study was commissioned by a suitably qualified traffic engineer (<b>Appendix B</b>). This study, reviewed by the RFS, found that traffic resulting from any potential new dwellings associated with subdivision of land affected by the Planning Proposal would have no impact on the operation of existing intersections or road capacities.</p>

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Schools Infrastructure NSW	<ul style="list-style-type: none"> <li>» Existing schools have capacity to absorb potential growth from the Place Plan.</li> <li>» Potential upgrades to active transport infrastructure and bus stop locations may assist in increasing the number of students that walk or cycle to Glenorie Public School.</li> </ul>	The advice is noted. Any upgrades to active transport and the provision of additional bus stops are not a matter for this Planning Proposal as they are currently permissible.
Endeavour Energy / Energy Australia	<ul style="list-style-type: none"> <li>» The existing network likely has some available capacity to accommodate additional dwellings</li> <li>» There may be a need to upgrade to feeder mains from the Glenorie Zone Substation.</li> </ul>	The advice is noted. While the existing electricity network is expected to have some available capacity, any upgrades to local infrastructure would be identified and addressed at the DA stage in consultation with the relevant electricity distributor.
Jemena Gas	<ul style="list-style-type: none"> <li>» The existing gas main is fed from Castle Hill, with limited capacity due to the length of the main.</li> <li>» There may be a need to undertake limited upgrades to support some housing growth and retail, subject to economic viability.</li> </ul>	The advice is noted. Section 1.3.2.6 Air Quality of the Hornsby DCP states that indoor gas should not be used in any new residential development.
NBN	<ul style="list-style-type: none"> <li>» Fibre assets are present throughout the Place Plan area.</li> <li>» A fibre plan would be prepared by NBN based on future development works.</li> </ul>	The advice is noted. Any required NBN upgrades would be identified and addressed at DA stage in consultation with NBN.

## 4.5 Section E: State and Commonwealth interests

### What are the views of state and federal public authorities and government agencies consulted in order to inform the Gateway determination?

During the exhibition of the Investigation Report and Place Plan, Council requested submissions from State agencies and The Hills Shire Council. Submissions have been summarised and responded to in Table 12, noting that some information is consistent with Table 11.

Table 12 - Submissions from State agencies and councils on the Place Plan

State agency / Council	Submission	Response
The Hills Shire Council	<ul style="list-style-type: none"> <li>» Generally supportive of the Place Plan.</li> <li>» Supports coordinated and holistic planning for Glenorie Village across council boundaries.</li> <li>» Notes alignment with its rural lands and village policies.</li> </ul>	The submission from The Hills Shire Council is noted. The Planning Proposal aligns with the objectives of coordinated village planning and reflects ongoing collaboration between Councils on shared infrastructure and public domain outcomes. The intent of housing growth is to support the ongoing vitality and viability

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	<ul style="list-style-type: none"> <li>» Emphasises the importance of collaboration on shared elements, included the proposed roundabout, village green, and entry statements in the Place Plan.</li> <li>» Suggested clarifying that proposed housing growth is intended to support village vitality, not to meet State housing targets.</li> </ul>	of Glenorie village, rather than respond to housing targets, which is consistent with Council's RLS, Investigation Report, and Place Plan and was clarified accordingly.
Sydney Water	<ul style="list-style-type: none"> <li>» Potable water supply exists within the Dural Elevated Water Supply Zone.</li> <li>» Priority Sewerage Program in Glenorie has reached capacity, with no plans or funding to extend wastewater servicing.</li> <li>» Supports the use of on-site wastewater management for small rural lots.</li> </ul>	The advice from Sydney Water is noted. The Planning Proposal acknowledges the limitations of reticulated sewerage servicing in Glenorie and does not rely on the extension of the Priority Sewerage Program. Minimum lot sizes have been selected to support appropriate on-site wastewater management, with existing Hornsby DCP controls continuing to apply.
NSW Rural Fire Service	<ul style="list-style-type: none"> <li>» Rezoning and lot size changes must satisfy PBP.</li> <li>» Recommends a Traffic Evacuation Study to support any planning proposal arising from the Place Plan.</li> </ul>	The advice from the RFS is noted. A Traffic Evacuation Study was commissioned and prepared by a suitably qualified traffic engineer ( <b>Appendix B</b> ), consistent with RFS advice. The study, reviewed by the RFS, found that traffic resulting from any potential new dwellings associated with subdivision of land affected by the Planning Proposal would have no impact on the operation of existing intersections or road capacities. PBP requirements will continue to be addressed at DA stage.
NSW Department of Primary Industries and Regional Development	<ul style="list-style-type: none"> <li>» Emphasises retention of agricultural land and minimisation of land use conflict.</li> <li>» Notes food security importance of peri-urban agriculture.</li> <li>» Identifies moderate (Class 4) soil capability across the area.</li> <li>» Recommends reassessing lot size reductions with regard to agricultural mapping, buffers, the Right to Farm Policy and Agent of Change Principles.</li> </ul>	The submission from DPIRD is noted. Further review confirms the land subject to the Planning Proposal comprises approximately 36 hectares, representing a negligible proportion (around 0.6%) of rural land in Hornsby Shire, all of which is Class 4 capability and already characterised by rural lifestyle and village uses. Existing Hornsby LEP and Hornsby DCP controls manage land use conflict through merit-based assessment, consistent with the Right to Farm Policy and Agent of Change principles.
Transport for NSW	<ul style="list-style-type: none"> <li>» Requests further justification of the proposed roundabout at Old Northern Road and Post Office Road.</li> <li>» Notes that any reconfiguration of the bus turnaround bay would require review by the Bus Approval Team.</li> </ul>	The advice from TfNSW is noted. Matters raised relate to infrastructure improvements not contained in the Planning Proposal and detailed design and implementation, which do not present a strategic barrier to the Planning Proposal.

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	» Encourages access from local roads where possible.	
Schools Infrastructure NSW	» Existing primary and secondary schools servicing Glenorie have capacity to accommodate projected growth.	The advice from Schools Infrastructure NSW is noted.

Council will continue to consult with State agencies and The Hills Shire Council after receipt of gateway, as required. This is reflected in the consultation requirements listed in Part 6 Consultation of this report. Any comments made by these agencies will be considered and addressed.

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## 5 Mapping

As detailed in Part 2 Objectives or intended outcomes of this report, the amendments proposed as part of this Planning Proposal will require associated mapping amendments.

Mapping amendments will be required to the Lot Size Maps, Land Zoning Maps, Additional Permitted Uses Maps, Floor Space Ratio Maps, and Land Reservation Acquisition Maps.

As part of the employment zones implementation, part of the Hornsby LEP was migrated to digital mapping. Council's Land Zoning Map and Additional Permitted Uses Map is now located on the Digital Environmental Planning Instrument (EPI). PDF maps remain in-force for all other layers.

Council will work with DPHI during finalisation of the Planning Proposal to determine the best method of implementing the mapping amendments required as part of this Planning Proposal.

The following figures detail the proposed amendments to the Hornsby LEP maps.

### 5.1 Lot Size Map Amendments

The following figure details the proposed amendments to the Hornsby LEP Lot Size Map.

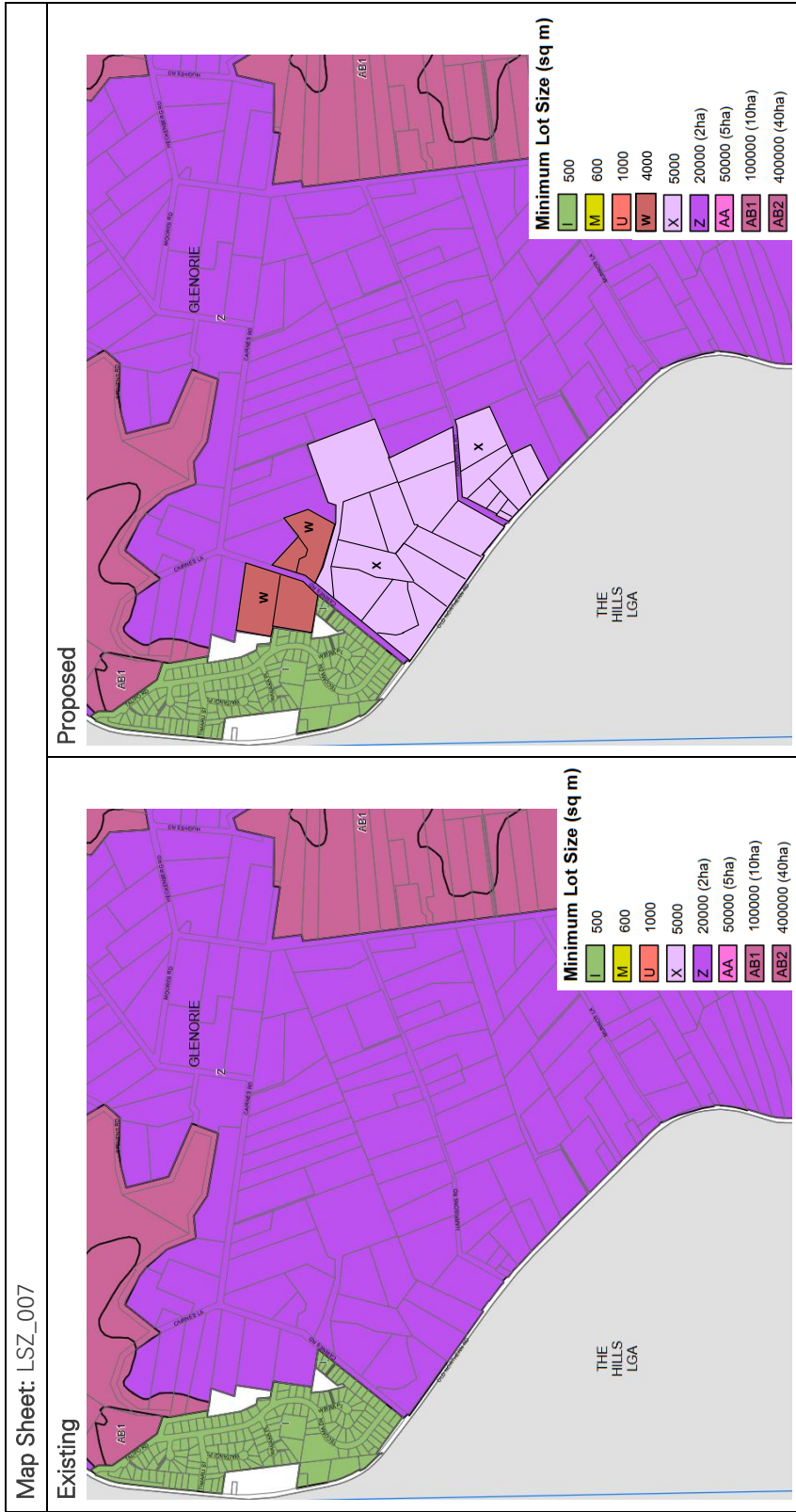


Figure 2 - Proposed amendments to LSZ\_007

## 5.2 Land Zoning Map Amendments

The following figure details the proposed amendments to the Hornsby LEP Land Zoning Map (to be located on the Digital EPI).

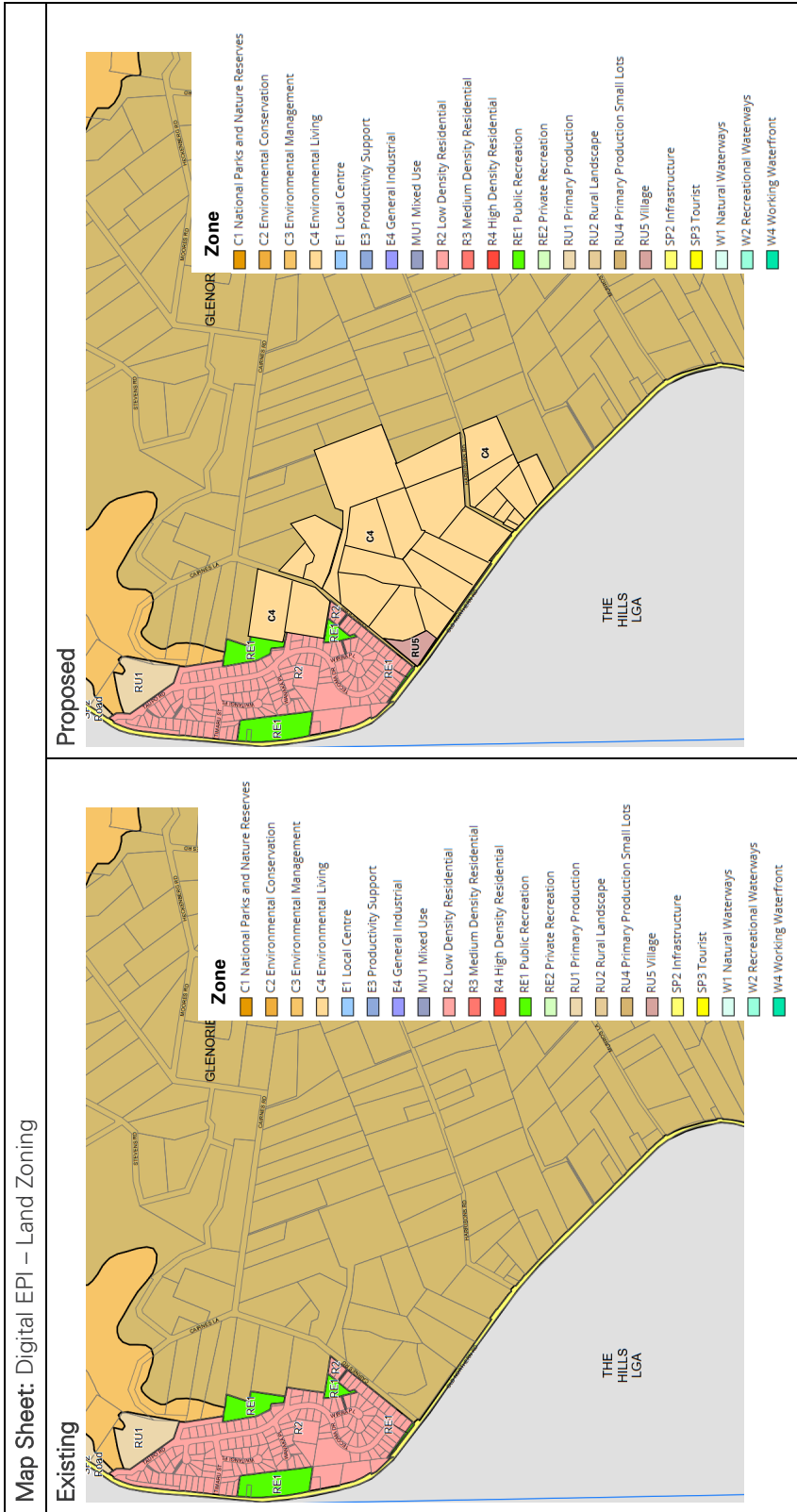


Figure 3 - Proposed amendments to Digital EPI – Land Zoning

### 5.3 Additional Permitted Uses Map Amendments

The following figure details the proposed amendments to the Hornsby LEP Additional Permitted Uses Map (to be located on the Digital EPI).

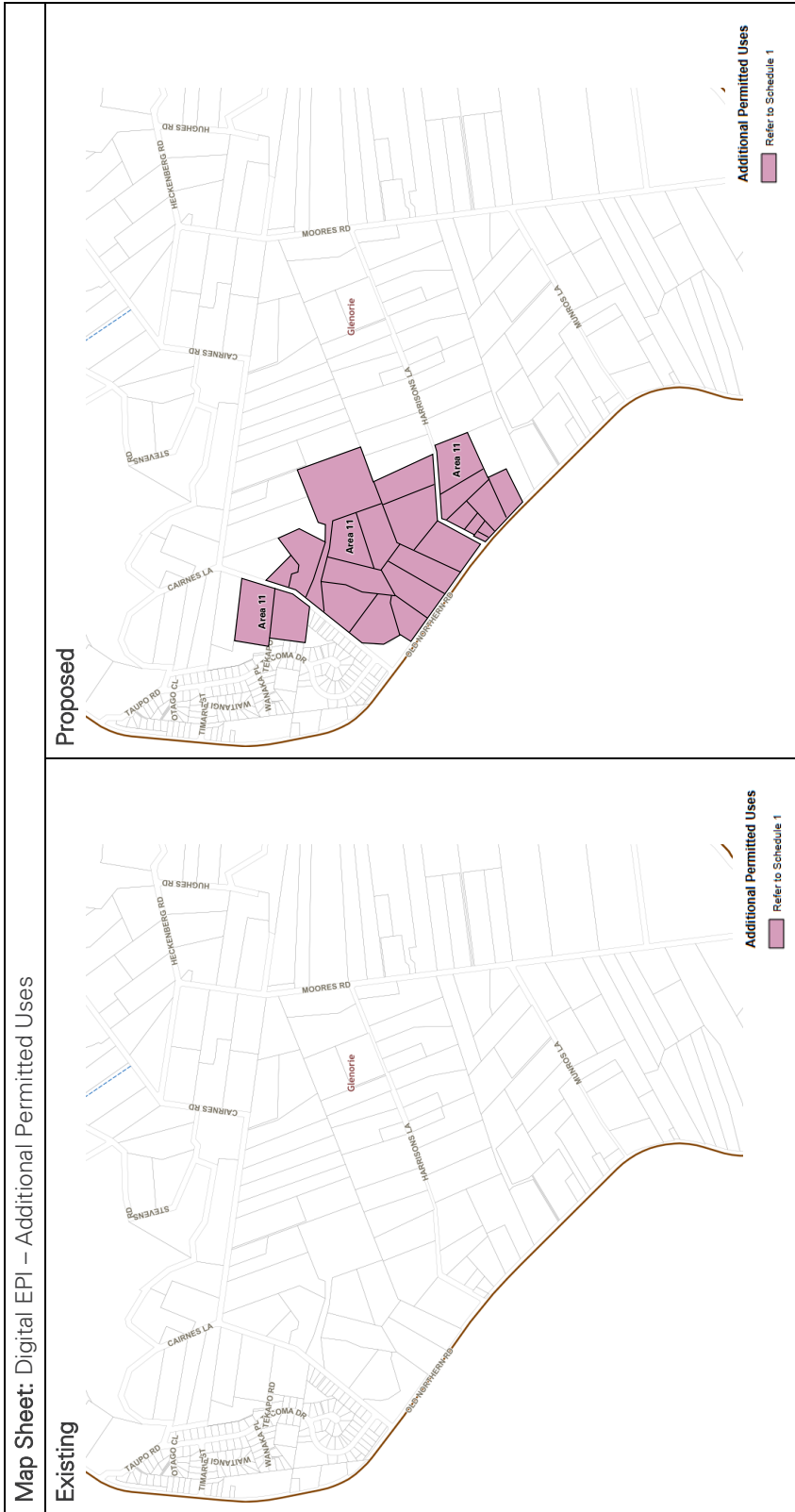


Figure 4 - Proposed amendments to Digital EPI - Additional Permitted Uses

### 5.4 Floor Space Ratio Map Amendments

The following figure details the proposed amendments to the Hornsby LEP Floor Space Ratio Map.

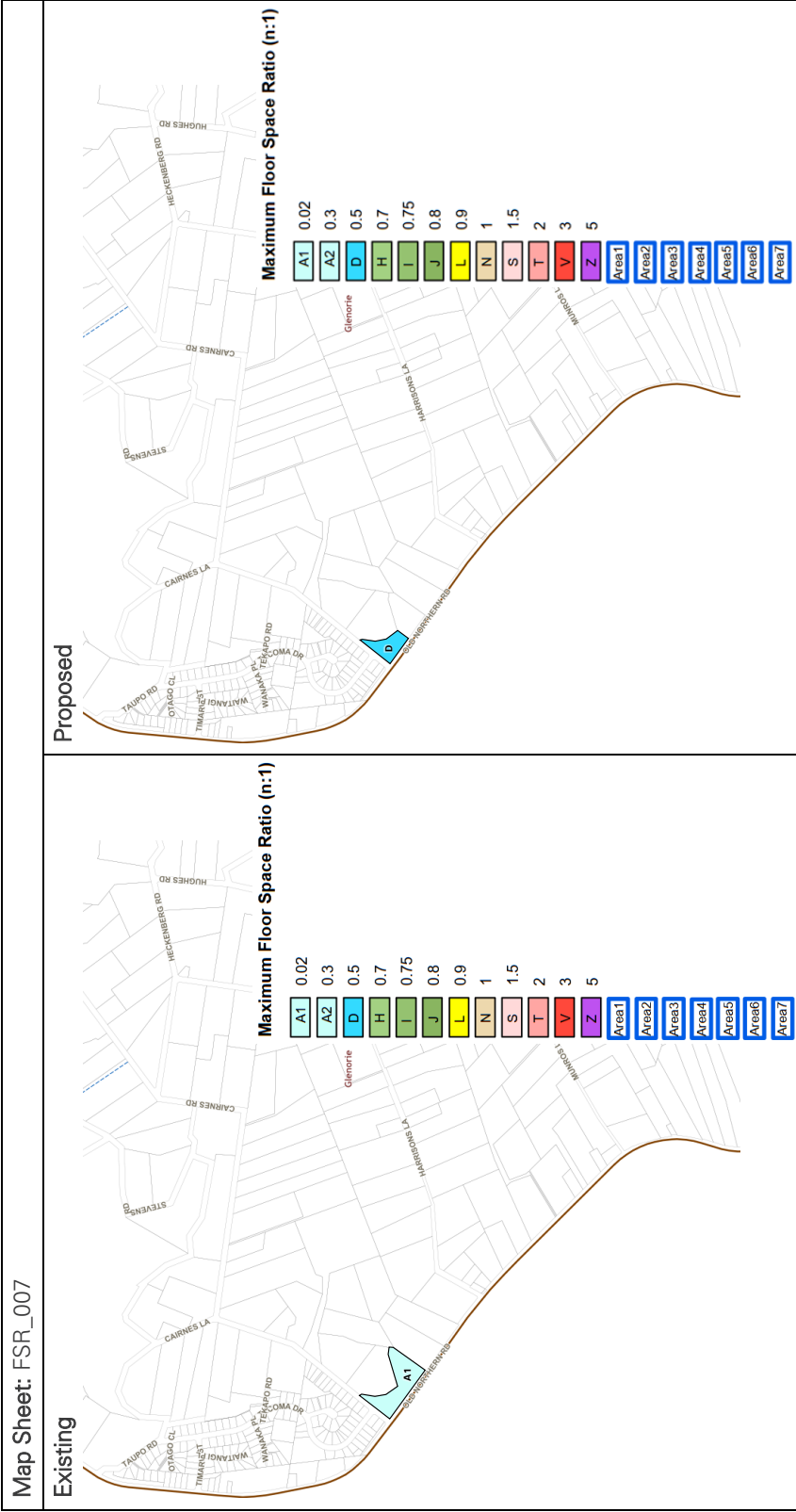


Figure 5 - Proposed amendments to FSR\_007

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### 5.5 Land Reservation Acquisition Map Amendments

The following figure details the proposed amendments to the Hornsby LEP Land Reservation Acquisition Map.



Figure 6 - Proposed creation of LRA\_007

Glenorie Village

## 6 Consultation

This Planning Proposal has been drafted to implement Action 1: Small rural lots and Action 3: Commercial and residential from the Place Plan.

In 2024, targeted consultation with Glenorie residents, landowners and local community / stakeholder groups was undertaken. This consultation was centred around the release of the draft OCP, which detailed the results of initial planning and environmental investigations.

Consultation was undertaken online via the project Your Say page, as well as at in-person feedback sessions, where interactive mapping exercises involved attendees identifying locations for inclusion or exclusion in the Village investigation area. Feedback from the community highlighted transport and traffic as key priorities, identified bushfire and ecological constraints, revealed mixed views on change in Glenorie, and showed a preference for smaller lot sizes near the village among those supporting growth. The Feedback Summary Report (**Appendix F**), released in April 2025, outlines a summary of feedback received.

This feedback was incorporated and explored in the Investigation Report and Place Plan, which were exhibited to the community between July and August 2025. Exhibition documents were again made available for viewing on the project Your Say page, and physical copies of exhibition documents were made available at Galston and Hornsby libraries. Additionally, during the exhibition period Council officers undertook three face-to-face drop-in sessions at the Glenorie Memorial Hall. The drop-in sessions provided opportunities for people to ask questions of Council officers, view printed materials and make a submission.

To ensure that the community is informed of the progression of the Glenorie Village Investigations project, the Planning Proposal will be publicly exhibited in accordance with the requirements of the Gateway Determination and Council's Community Engagement Plan. Public exhibition will include:

### Public authorities

Notification letters and a copy of the Planning Proposal will be sent to public authorities identified in the Gateway Determination. Proposed public authorities to be notified for this planning proposal include:

- NSW Department of Primary Industries and Regional Development
- NSW Rural Fire Service
- Transport for NSW
- The Hills Shire Council

### Letters to affected and adjoining property owners

Notification letters will be sent to affected and adjoining property owners advising them of the exhibition of the Planning Proposal.

### Advertisement on the Council website

The Planning Proposal will be exhibited on Council's 'Your Say Hornsby' page.

(<https://yoursay.hornsby.nsw.gov.au/>)

### E-News

An advertisement would be placed in Council's electronic newsletter.

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## 7 Project timeline

Table 13 - Project timeline

Stage	Timeframe
Council decision	May 2026
Gateway assessment	June/July 2026
Gateway determination	August 2026
Pre exhibition consultation and updates as required	September/October 2026
Public/agency exhibition	November/December 2026
Submission analysis	January/February 2027
Council decision	March 2027
Finalisation	April/May 2027

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## Appendices

- Appendix A Assessment Against Applicable Local Planning Directions
- Appendix B Glenorie Village Traffic Evacuation Study
- Appendix C Glenorie Village Place Plan
- Appendix D Glenorie Village Investigation Report
- Appendix E Opportunities and Constraints Paper
- Appendix F Feedback Summary Report
- Appendix G Hornsby Rural Lands Study and Implementation Action Plan
- Appendix H 12 November 2025 Council Business Paper & Minutes

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# Appendix A Assessment Against Applicable Local Planning Directions

Table 14 - Assessment of Planning Proposal against applicable Local Planning Directions

Ministerial Direction	Objective and Direction	Response
1.1 Implementation of Regional Plans	<p><u>Objective</u> The objective of this direction is to give legal effect to the vision, land use strategy, goals, directions and actions contained in Regional Plans</p> <p><u>Direction</u> Planning proposals must be consistent with a Regional Plan released by the Minister for Planning.</p>	<p>Consistent.</p> <p>Glenorie is located within the MRA. A key strategic objective of both the State Government and Council is to protect productive agricultural land, prevent urban development on rural land and uphold the values of the MRA. However, a place-based approach to support rural villages is appropriate.</p> <p>As such, the Planning Proposal is consistent with the objectives and priorities of the Greater Sydney Region Plan and North District Plan as demonstrated in Part 4.2 of this Planning Proposal.</p>
1.3 Approval and Referral Requirements	<p><u>Objective</u> The objective of this direction is to ensure that LEP provisions encourage the efficient and appropriate assessment of development.</p> <p><u>Direction</u> (1) A planning proposal to which this direction applies must:</p>	<p>Consistent.</p> <p>The Planning Proposal does not contain provisions requiring concurrence, consultation or referral provisions to a Minister or a Public Authority or identify development as designated development.</p>

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Ministerial Direction	Objective and Direction	Response
<p>1.4 Site Specific Provisions</p>	<p>(a) minimise the inclusion of provisions that require the concurrence, consultation or referral of development applications to a Minister or public authority, and</p> <p>(b) not contain provisions requiring concurrence, consultation or referral of a Minister or public authority unless the relevant planning authority has obtained the approval of:</p> <ul style="list-style-type: none"> <li>i. the appropriate Minister or public authority, and</li> <li>ii. the Planning Secretary (or an officer of the Department nominated by the Secretary), prior to undertaking community consultation in satisfaction of Schedule 1 to the EP&amp;A Act, and</li> </ul> <p>(c) not identify development as designated development unless the relevant planning authority:</p> <ul style="list-style-type: none"> <li>i. can satisfy the Planning Secretary (or an officer of the Department nominated by the Secretary) that the class of development is likely to have a significant impact on the environment, and</li> <li>ii. has obtained the approval of the Planning Secretary (or an officer of the Department nominated by the Secretary) prior to undertaking community consultation in satisfaction of Schedule 1 to the EP&amp;A Act.</li> </ul>	<p>Consistent.</p> <p>The Planning Proposal will enable changes to planning controls applying to certain land in Glenorie Village that has been identified as a result of detailed planning and environmental investigations.</p> <p>The Planning Proposal does not contain or refer to development drawings nor amend planning controls to enable a specific development to be carried out.</p>
<p><u>Objective</u> The objective of this direction is to discourage unnecessarily restrictive site specific planning controls</p> <p><u>Direction</u> (1) A planning proposal that will amend another environmental planning instrument in order to allow particular development to be carried out must either:</p> <ul style="list-style-type: none"> <li>(a) allow that land use to be carried out in the zone the land is situated on, or</li> <li>(b) rezone the site to an existing zone already in the environmental planning instrument that allows that land use without imposing any development standards or requirements in addition to those already contained in that zone, or</li> <li>(c) allow that land use on the relevant land without imposing any development standards or requirements in addition to those already contained in the principal environmental planning instrument being amended.</li> </ul>		

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Ministerial Direction	Objective and Direction	Response
1.4A Exclusion of Development Standards from Variation	<p>(2) A planning proposal must not contain or refer to drawings that show details of the proposed development.</p> <p><u>Objective</u> The objective of this direction is to maintain flexibility in the application of development standards by ensuring that exclusions from the application of clause 4.6 of a Standard Instrument Local Environmental Plan (Standard Instrument LEP) or an equivalent provision of any other environmental planning instrument, are only applied in limited circumstances.</p> <p><u>Direction</u> (1) In preparing a planning proposal the planning proposal authority must have regard to the Guide to exclusions from clause 4.6 of the Standard Instrument. (2) A planning proposal to which this direction applies must: (a) minimise the exclusion of development standards from variation under clause 4.6 of a Standard Instrument LEP, or an equivalent provision of any other environmental planning instrument; and (b) not propose to exclude a development standard from variation under clause 4.6 of a Standard Instrument LEP, or an equivalent provision of any other environmental planning instrument unless the exclusion is consistent with the criteria in Part 2 of the Guide to exclusions from clause 4.6 of the Standard Instrument.</p>	<p>Consistent.</p> <p>The Planning Proposal does not propose to exclude a development standard from variation under clause 4.6 of the Hornsby LEP.</p>
3.1 Conservation Zones	<p><u>Objective</u> The objective of this direction is to protect and conserve environmentally sensitive areas.</p> <p><u>Direction</u> (1) A planning proposal must include provisions that facilitate the protection and conservation of environmentally sensitive areas. (2) A planning proposal that applies to land within a conservation zone or land otherwise identified for environment conservation/protection purposes in a LEP must not reduce the conservation standards that apply to the land (including by modifying development standards that apply to the land). This requirement does not apply to a change to a development standard for minimum lot size for a dwelling in accordance with Direction 9.2 (2) of "Rural Lands"</p>	<p>Consistent.</p> <p>The Planning Proposal seeks to protect and conserve environmentally sensitive areas by changing zoning for particular land from RU4 Primary Production Small Lots to C4 Environmental Living. As part of the transition from RU4 Primary Production Small Lots to C4 Environmental Living, Amendment 3 proposes to amend Schedule 1 of the Hornsby LEP to permit</p>

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Ministerial Direction	Objective and Direction	Response
<p>3.2 Heritage Conservation</p>	<p><u>Objective</u> The objective of this direction is to conserve items, areas, objects and places of environmental heritage significance and indigenous heritage significance.</p> <p><u>Direction</u> (1) A planning proposal must contain provisions that facilitate the conservation of:</p> <ul style="list-style-type: none"> <li>(a) items, places, buildings, works, relics, moveable objects or precincts of environmental heritage significance to an area, in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item, area, object or place, identified in a study of the environmental heritage of the area,</li> </ul>	<p>dual occupancies (attached) and secondary dwellings as additional permitted uses on land in Area A and Area B in Figure 1.</p> <p>This amendment has been proposed to allow the continued permissibility of dual occupancies (attached) and secondary dwellings on the land affected. These uses allow low-intensity additional housing opportunities that do not compromise the rural character or environmentally sensitive nature of the area. They offer greater housing choice and flexibility to people in rural areas, including opportunities for extended family living and ageing in place.</p> <p>By introducing an environmental zone (while predominantly a rural lifestyle zone) to land currently zoned RU4 Primary Production Small Lots, Council will be protecting and conserving important creeks and riparian areas.</p> <p>Consistent.</p> <p>As part of planning and environmental investigations undertaken for the OCP (<b>Appendix E</b>), investigations were undertaken into the extent of any possible heritage items or any items of potential indigenous heritage significance in the area. While areas with a high likelihood of an AHIMS site were found in bushland to the north of Glenorie, these</p>

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Ministerial Direction	Objective and Direction	Response
	<p>(b) Aboriginal objects or Aboriginal places that are protected under the National Parks and Wildlife Act 1974, and</p> <p>(c) Aboriginal areas, Aboriginal objects, Aboriginal places or landscapes identified by an Aboriginal heritage survey prepared by or on behalf of an Aboriginal Land Council, Aboriginal body or public authority and provided to the relevant planning authority, which identifies the area, object, place or landscape as being of heritage significance to Aboriginal culture and people.</p>	<p>investigations ultimately found no items of heritage significance in the final area affected by the Planning Proposal.</p> <p>As such, the Planning Proposal does not apply to land identified for any form of heritage conservation.</p>
3.6 Public Bushland	<p><u>Objective</u></p> <p>The objective of this direction is to protect bushland in urban areas, including rehabilitated areas, and ensure the ecological viability of the bushland, by:</p> <p>(a) preserving:</p> <ul style="list-style-type: none"> <li>i. biodiversity and habitat corridors,</li> <li>ii. links between public bushland and other nearby bushland,</li> <li>iii. bushland as a natural stabiliser of the soil surface,</li> <li>iv. existing hydrological landforms, processes and functions, including natural drainage lines, watercourses, wetlands and foreshores,</li> <li>v. the recreational, educational, scientific, aesthetic, environmental, ecological and cultural values and potential of the land, and</li> </ul> <p>(b) mitigating disturbance caused by development,</p> <p>(c) giving priority to retaining public bushland.</p> <p><u>Direction</u></p> <p>(1) When preparing a planning proposal, the planning proposal authority must be satisfied that the planning proposal:</p> <ul style="list-style-type: none"> <li>(a) is consistent with the objectives of this direction, and</li> <li>(b) gives priority to retaining public bushland, unless the planning proposal authority is satisfied that significant environmental, economic or social benefits will arise that outweigh the value of the public bushland</li> </ul>	<p>Consistent.</p> <p>The planning proposal would not impact on any public bushland within the urban area of Hornsby Shire.</p>

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Ministerial Direction	Objective and Direction	Response
<p>3.10 Water Catchment Protection</p>	<p><u>Objective</u>                      The objectives of this direction are to:                      (a) maintain and improve the water quality (including ground water) and flows of natural waterbodies, and reduce urban run-off and stormwater pollution                      (b) protect and improve the hydrological, ecological and geomorphological processes of natural waterbodies and their connectivity                      (c) protect and enhance the environmental quality of water catchments by managing them in an ecologically sustainable manner, for the benefit of all users                      (d) protect, maintain and rehabilitate watercourses, wetlands, riparian lands and their vegetation and ecological connectivity.</p> <p><u>Direction</u>                      (1) When preparing a planning proposal, the planning proposal authority must be satisfied that the planning proposal achieves the following:                      (a) is consistent with the objectives of this direction,                      (b) is consistent with the Australian and New Zealand Guidelines for Fresh and Marine Water Quality, as published by Water Quality Australia, and any water quality management plan prepared in accordance with those guidelines,                      (c) includes documentation, prepared by a suitably qualified person(s), indicating whether the planning proposal:                      i. is likely to have an adverse direct, indirect or cumulative impact on terrestrial, aquatic or migratory animals or vegetation, and any steps taken to minimise such impacts                      ii. is likely to have an impact on periodic flooding that may affect wetlands and other riverine ecosystems                      iii. is likely to have an adverse impact on recreational land uses within the regulated catchment                      (d) identifies and considers the cumulative impact of the planning proposal on water quality (including groundwater) and flows of natural waterbodies and on the environment more generally, including on land adjacent to or downstream of the area to which this direction applies,                      (e) identifies how the planning proposal will:</p>	<p>Consistent.</p> <p>The Planning Proposal applies to land located within the Hawkesbury River water catchment. While the proposed amendments may result in a marginal increase in the number of dwellings relying on on-site sewage management systems in Glenorie, the limited scale of these changes is not expected to result in any measurable adverse impacts.</p> <p>Additionally, existing controls found within the Hornsby LEP and Hornsby DCP and any relevant guidelines would continue to apply to land affect by the Planning Proposal. Accordingly, the Planning Proposal is anticipated to have a negligible effect on water quality, aquatic and terrestrial habitats, groundwater, natural drainage lines, or other natural environmental processes.</p>

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Ministerial Direction	Objective and Direction	Response
	<ul style="list-style-type: none"> <li>i. protect and improve environmental values, having regard to maintaining biodiversity, and protecting native vegetation, cultural heritage and water resources (including groundwater),</li> <li>ii. impact the scenic quality of the natural waterbodies and the social, economic and environmental interests of the community,</li> <li>iii. protect and rehabilitate land from current and future urban salinity, and prevent or restore land degradation,</li> </ul> <p>(f) considers any feasible alternatives to the planning proposal.</p> <p>(2) When preparing a planning proposal, the planning proposal authority must:</p> <ul style="list-style-type: none"> <li>(a) consult with the councils of adjacent or downstream local government areas where the planning proposal is likely to have an adverse environmental impact on land in that local government area, and</li> <li>(b) as far as is practicable, give effect to any requests of the adjacent or downstream council.</li> </ul>	
4.1 Flooding	<p><u>Objective</u></p> <p>The objectives of this direction are to:</p> <ul style="list-style-type: none"> <li>(a) ensure that development of flood prone land is consistent with the NSW Government's Flood Prone Land Policy and the principles of the Floodplain Development Manual 2005, and</li> <li>(b) ensure that the provisions of an LEP that apply to flood prone land are commensurate with flood behaviour and includes consideration of the potential flood impacts both on and off the subject land.</li> </ul> <p><u>Direction</u></p> <p>(1) A planning proposal must include provisions that give effect to and are consistent with:</p> <ul style="list-style-type: none"> <li>(a) the NSW Flood Prone Land Policy,</li> <li>(b) the principles of the Floodplain Development Manual 2005,</li> <li>(c) the Considering flooding in land use planning guideline 2021, and (d) any adopted flood study and/or floodplain risk management plan prepared in accordance with the principles of the Floodplain Development Manual 2005 and adopted by the relevant council.</li> </ul>	<p>Consistent.</p> <p>While the Planning Proposal does seek to rezone land within the flood planning area, the Planning Proposal does not contradict direction (1) or (2), nor does it seek to change existing requirements for development of land at or below the flood planning level.</p> <p>The existing controls contained within the Hornsby LEP, Hornsby DCP and relevant guidelines would continue to apply to any flood prone land and be considered further as part of any future Development Application.</p>

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Ministerial Direction	Objective and Direction	Response
	<p>(2) A planning proposal must not rezone land within the flood planning area from Recreation, Rural, Special Purpose or Conservation Zones to a Residential, Employment, Mixed Use, W4 Working Waterfront or Special Purpose Zones.</p> <p>(3) A planning proposal must not contain provisions that apply to the flood planning area which:</p> <ul style="list-style-type: none"> <li>(a) permit development in floodway areas,</li> <li>(b) permit development that will result in significant flood impacts to other properties,</li> <li>(c) permit development for the purposes of residential accommodation in high hazard areas,</li> <li>(d) permit a significant increase in the development and/or dwelling density of that land,</li> <li>(e) permit development for the purpose of centre-based childcare facilities, hostels, boarding houses, group homes, hospitals, residential care facilities, respite day care centres and seniors housing in areas where the occupants of the development cannot effectively evacuate,</li> <li>(f) permit development to be carried out without development consent except for the purposes of exempt development or agriculture. Dams, drainage canals, levees, still require development consent,</li> <li>(g) are likely to result in a significantly increased requirement for government spending on emergency management services, flood mitigation and emergency response measures, which can include but are not limited to the provision of road infrastructure, flood mitigation infrastructure and utilities, or</li> <li>(h) permit hazardous industries or hazardous storage establishments where hazardous materials cannot be effectively contained during the occurrence of a flood event.</li> </ul>	
<p>4.3 Planning for Bushfire Protection</p>	<p><u>Objective</u> The objectives of this direction are to:</p> <ul style="list-style-type: none"> <li>(a) protect life, property and the environment from bush fire hazards, by discouraging the establishment of incompatible land uses in bush fire prone areas, and</li> <li>(b) encourage sound management of bush fire prone areas.</li> </ul> <p><u>Direction</u></p>	<p>Consistent</p> <p>Parts of Glenorie contain significant areas of bushfire prone land due to the extensive natural areas of bushland surrounding the village. While most land affected by the Planning Proposal is not bush fire prone, a small part of one lot is categorised as</p>

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Ministerial Direction	Objective and Direction	Response
	<p>(1) In the preparation of a planning proposal the relevant planning authority must consult with the Commissioner of the NSW Rural Fire Service following receipt of a gateway determination under section 3.34 of the Act, and prior to undertaking community consultation in satisfaction of clause 4, Schedule 1 to the EP&amp;A Act, and take into account any comments so made.</p> <p>(2) A planning proposal must:</p> <ul style="list-style-type: none"> <li>(a) have regard to Planning for Bushfire Protection 2019,</li> <li>(b) introduce controls that avoid placing inappropriate developments in hazardous areas, and</li> <li>(c) ensure that bushfire hazard reduction is not prohibited within the Asset Protection Zone (APZ).</li> </ul> <p>(3) A planning proposal must, where development is proposed, comply with the following provisions, as appropriate:</p> <ul style="list-style-type: none"> <li>(a) provide an Asset Protection Zone (APZ) incorporating at a minimum:                             <ul style="list-style-type: none"> <li>i. an Inner Protection Area bounded by a perimeter road or reserve which circumscribes the hazard side of the land intended for development and has a building line consistent with the incorporation of an APZ, within the property, and</li> <li>ii. an Outer Protection Area managed for hazard reduction and located on the bushland side of the perimeter road,</li> </ul> </li> <li>(b) for infill development (that is development within an already subdivided area), where an appropriate APZ cannot be achieved, provide for an appropriate performance standard, in consultation with the NSW Rural Fire Service. If the provisions of the planning proposal permit Special Fire Protection Purposes (as defined under section 100B of the Rural Fires Act 1997), the APZ provisions must be complied with,</li> <li>(c) contain provisions for two-way access roads which links to perimeter roads and/or to fire trail networks,</li> <li>(d) contain provisions for adequate water supply for firefighting purposes,</li> <li>(e) minimise the perimeter of the area of land interfacing the hazard which may be developed,</li> </ul>	<p>Vegetation Category 2 and some lots are categorised as Vegetation Buffer.</p> <p>Regardless of affectation, a bushfire constraints assessment was undertaken during the drafting of the OCP, which ultimately assisted in informing the extent of change proposed in the Place Plan. The bushfire constraints assessment also recommended that a new road be built linking Tekapo Road with Cairnes Road. Amendments 4, 5, and 7 have been proposed to facilitate the creation of this new road that will comply with PBP and act as an APZ.</p> <p>Following RFS consultation on the Place Plan, a traffic evacuation study was commissioned by a suitably qualified traffic engineer. This study, reviewed by the RFS, found that traffic resulting from any potential new dwellings associated with subdivision of land affected by the Planning Proposal would have no impact on the operation of existing intersections or road capacities. A copy of the study is attached at <b>Appendix B</b>.</p> <p>Direction 4.3 states that the relevant planning authority must consult with the Commissioner of the RFS following the receipt of any gateway and this is reflected in the consultation requirements listed in Part 6 Consultation of this report. Any</p>

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Ministerial Direction	Objective and Direction	Response
	<p>(f) introduce controls on the placement of combustible materials in the Inner Protection Area.</p>	<p>comments made by the Commissioner will be considered and addressed as required.</p>
<p>4.4 Remediation of Contaminated Land</p>	<p><u>Objective</u> The objective of this direction is to reduce the risk of harm to human health and the environment by ensuring that contamination and remediation are considered by planning proposal authorities.</p> <p><u>Direction</u> (1) A planning proposal authority must not include in a particular zone (within the meaning of the local environmental plan) any land to which this direction applies if the inclusion of the land in that zone would permit a change of use of the land, unless:</p> <p>(a) the planning proposal authority has considered whether the land is contaminated, and</p> <p>(b) if the land is contaminated, the planning proposal authority is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for all the purposes for which land in the zone concerned is permitted to be used, and</p> <p>(c) if the land requires remediation to be made suitable for any purpose for which land in that zone is permitted to be used, the planning proposal authority is satisfied that the land will be so remediated before the land is used for that purpose. In order to satisfy itself as to paragraph 1(c), the planning proposal authority may need to include certain provisions in the local environmental plan.</p> <p>(2) Before including any land to which this direction applies in a particular zone, the planning proposal authority is to obtain and have regard to a report specifying the findings of a preliminary investigation of the land carried out in accordance with the contaminated land planning guidelines.</p>	<p>Consistent.</p> <p>Rural areas of Hornsby Shire are known to have been used for agricultural and horticultural activities, which are listed as potentially contaminating activities under Table 1 of the Managing Contaminated Land Planning Guidelines.</p> <p>A Preliminary Contamination Assessment was undertaken as part of the OCP (<b>Appendix E</b>), which found that no significant indications of gross and/or widespread contamination were identified within lands affected by the Planning Proposal, and as such all areas could be made suitable for rural residential land uses.</p> <p>Ultimately, development on any land that is affected by the Planning Proposal would be assessed at the time a development application is received.</p>
<p>4.5 Acid Sulfate Soils</p>	<p><u>Objective</u> The objective of this direction is to avoid significant adverse environmental impacts from the use of land that has a probability of containing acid sulfate soils.</p> <p><u>Direction</u> (1) The relevant planning authority must consider the Acid Sulfate Soils Planning Guidelines adopted by the Planning Secretary when preparing a planning proposal that applies to any</p>	<p>Consistent.</p> <p>The Planning Proposal would not alter existing Acid Sulfate Soils (ASS) development controls contained within the Hornsby LEP or Hornsby DCP, does not propose the intensification of</p>

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Ministerial Direction	Objective and Direction	Response
	<p>land identified on the Acid Sulfate Soils Planning Maps as having a probability of acid sulfate soils being present.</p> <p>(2) When a relevant planning authority is preparing a planning proposal to introduce provisions to regulate works in acid sulfate soils, those provisions must be consistent with:</p> <ul style="list-style-type: none"> <li>(a) the Acid Sulfate Soils Model LEP in the Acid Sulfate Soils Planning Guidelines adopted by the Planning Secretary, or</li> <li>(b) other such provisions provided by the Planning Secretary that are consistent with the Acid Sulfate Soils Planning Guidelines.</li> </ul> <p>(3) A relevant planning authority must not prepare a planning proposal that proposes an intensification of land uses on land identified as having a probability of containing acid sulfate soils on the Acid Sulfate Soils Planning Maps unless the relevant planning authority has considered an acid sulfate soils study assessing the appropriateness of the change of land use given the presence of acid sulfate soils. The relevant planning authority must provide a copy of any such study to the Planning Secretary prior to undertaking community consultation in satisfaction of clause 4 of Schedule 1 to the Act.</p> <p>(4) Where provisions referred to under 2(a) and 2(b) above of this direction have not been introduced and the relevant planning authority is preparing a planning proposal that proposes an intensification of land uses on land identified as having a probability of acid sulfate soils on the Acid Sulfate Soils Planning Maps, the planning proposal must contain provisions consistent with 2(a) and 2(b).</p>	<p>development on any potential ASS land and does not seek to allow for the disturbance of any potential ASS.</p>
<p>5.2 Reserving Land for Public Purposes</p>	<p><u>Objective</u></p> <p>The objectives of this direction are to:</p> <ul style="list-style-type: none"> <li>(a) facilitate the provision of public services and facilities by reserving land for public purposes, and</li> <li>(b) facilitate the removal of reservations of land for public purposes where the land is no longer required for acquisition.</li> </ul> <p><u>Direction</u></p> <ul style="list-style-type: none"> <li>(1) A planning proposal must not create, alter or reduce existing zonings or reservations of land for public purposes without the approval of the relevant public authority and the Planning Secretary (or an officer of the Department nominated by the Secretary).</li> <li>(2) When a Minister or public authority requests a relevant planning authority to reserve land for a public purpose in a planning proposal and the land would be required to be acquired</li> </ul>	<p>Consistent.</p> <p>The Planning Proposal proposes a number of amendments to facilitate the creation of a new public road, with Amendment 7 in particular, reserving land for the public purpose of a road.</p> <p>In order to fully satisfy direction (1), the Planning Secretary (or an officer of the Department nominated by the Secretary) would approve Amendment 7 by issuing a</p>

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	<p>under Division 3 of Part 2 of the Land Acquisition (Just Terms Compensation) Act 1991, the relevant planning authority must:</p> <ul style="list-style-type: none"> <li>(a) reserve the land in accordance with the request, and</li> <li>(b) include the land in a zone appropriate to its intended future use or a zone advised by the Planning Secretary (or an officer of the Department nominated by the Secretary), and</li> <li>(c) identify the relevant acquiring authority for the land.</li> </ul> <p>(3) When a Minister or public authority requests a relevant planning authority to include provisions in a planning proposal relating to the use of any land reserved for a public purpose before that land is acquired, the relevant planning authority must:</p> <ul style="list-style-type: none"> <li>(a) include the requested provisions, or</li> <li>(b) take such other action as advised by the Planning Secretary (or an officer of the Department nominated by the Secretary) with respect to the use of the land before it is acquired.</li> </ul> <p>(4) When a Minister or public authority requests a relevant planning authority to include provisions in a planning proposal to rezone and/or remove a reservation of any land that is reserved for public purposes because the land is no longer designated by that public authority for acquisition, the relevant planning authority must rezone and/or remove the relevant reservation in accordance with the request</p>	<p>Gateway Determination for the Planning Proposal.</p>
<p>8.1 Mining, Petroleum Production and Extractive Industries</p>	<p><u>Objective</u> The objective of this direction is to ensure that the future extraction of State or regionally significant reserves of coal, other minerals, petroleum and extractive materials are not compromised by inappropriate development</p> <p><u>Direction</u> (1) In the preparation of a planning proposal affected by this direction, the relevant planning authority must:</p> <ul style="list-style-type: none"> <li>(a) consult the Secretary of the Department of Primary Industries (DPI) to identify any:                             <ul style="list-style-type: none"> <li>i. resources of coal, other minerals, petroleum or extractive material that are of either State or regional significance, and</li> <li>ii. existing mines, petroleum production operations or extractive industries occurring in the area subject to the planning proposal, and</li> </ul> </li> </ul>	<p>Consistent</p> <p>The Planning Proposal proposes land be rezoned from RU4 Primary Production Small Lots, where development for the purposes of extractive industry is permitted, to C4 Environmental Living, where it is prohibited. This would have the effect of prohibiting or restricting the obtaining of extractive materials on that land.</p> <p>During the exhibition period for the Place Plan, the Department of Primary Industries</p>

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Ministerial Direction	Objective and Direction	Response
<p>9.1 Rural Zones</p>	<p><u>Objective</u> The objective of this direction is to protect the agricultural production value of rural land.</p> <p><u>Direction</u> (1) A planning proposal must:</p> <ul style="list-style-type: none"> <li>(a) not rezone land from a rural zone to a residential, employment, mixed use, SP4 Enterprise, SP5 Metropolitan Centre, W4 Working Waterfront, village or tourist zone.</li> <li>(b) not contain provisions that will increase the permissible density of land within a rural zone (other than land within an existing town or village).</li> </ul> <p><u>Consistency</u> A planning proposal may be inconsistent with the terms of this direction only if the relevant planning authority can satisfy the Planning Secretary (or an officer of the Department nominated by the Secretary) that the provisions of the planning proposal that are inconsistent are:</p> <ul style="list-style-type: none"> <li>(a) justified by a strategy approved by the Planning Secretary which:</li> </ul>	<p>(DPI) was asked to provide feedback on the Place Plan and Investigation Report. The DPI feedback did not comment on the potential for any extractive material of State or regional significance. A summary of the DPI feedback can be found at Table 12.</p> <p>Direction 8.1 states that the relevant planning authority must consult with the Secretary of DPI prior to undertaking community consultation in satisfaction of Schedule 1 to the Act. This is reflected in the Consultation requirements listed in Part 6 Consultation of this report. Any comments made by the Secretary will be considered as per the requirements of Direction 8.1.</p> <p>Not consistent but meets consistency exceptions.</p> <p>The Planning Proposal seeks to rezone land from a rural zone to the RU5 Village zone. This amendment has been proposed in order to formalise commercial land use already occurring on the site and to allow for moderate intensification of village-scale commercial activity in order to better meet the community's desire for more shops and services closer to the village centre.</p> <p>This inconsistency is justified for the purposes of clauses (b), (c) and (d) of the</p>

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i. gives consideration to the objectives of this direction, and

ii. identifies the land which is the subject of the planning proposal (if the planning proposal relates to a particular site or sites), or

(b) justified by a study prepared in support of the planning proposal which gives consideration to the objectives of this direction, or

(c) in accordance with the relevant Regional Strategy, Regional Plan or District Plan prepared by the Department of Planning and Environment which gives consideration to the objective of this direction, or

(d) is of minor significance.

Direction. The proposal is supported by detailed strategic work prepared in support of the Planning Proposal, including the OCP and Investigation Report, both of which give consideration to the objectives of Direction 9.1, including protecting rural land and maintaining rural character (clause b).

The Planning Proposal is also consistent with the strategic intent of the relevant regional and district planning framework, which promotes the role of existing rural villages as centres for surrounding rural areas and supports appropriately located, village-scaled development to meet local community needs, thereby satisfying clause (c).

Further, the changes proposed in the Planning Proposal are considered to be of minor significance (clause d), as they apply to a limited area of land within the existing Glenorie Village, represent just 0.6% of rurally zoned land in the Shire, formalise a long-established non-rural use, and do not create fragmentation or broader impacts on surrounding rural land.

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## Appendix B Glenorie Village Traffic Evacuation Study

To download a copy, please visit [https://hdp-au-prod-app-hornsby-yoursay-files.s3.ap-southeast-2.amazonaws.com/3117/7666/4766/P0604r1v3\\_Glenorie\\_Village\\_Traffic\\_Evacuation\\_Study.pdf](https://hdp-au-prod-app-hornsby-yoursay-files.s3.ap-southeast-2.amazonaws.com/3117/7666/4766/P0604r1v3_Glenorie_Village_Traffic_Evacuation_Study.pdf)

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## Appendix C Glenorie Village Place Plan

To download a copy, please visit [https://issuu.com/hsccommunications/docs/glenorie\\_village\\_place\\_plan](https://issuu.com/hsccommunications/docs/glenorie_village_place_plan)

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## Appendix D Glenorie Village Investigation Report

To download a copy, please visit <https://yoursay.hornsby.nsw.gov.au/glenorie-village/glenorie-village-investigations-investigation-report>

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## Appendix E Opportunities and Constraints Paper

To download a copy, please visit <https://yoursay.hornsby.nsw.gov.au/glenorie-village/glenorie-village-investigations-opportunities-and-constraints-paper>

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# Appendix F Feedback Summary Report

To download a copy, please visit [https://hdp-au-prod-app-hornsby-yoursay-files.s3.ap-southeast-2.amazonaws.com/8017/5098/0384/Glenorie\\_Feedback\\_Summary\\_Report.pdf](https://hdp-au-prod-app-hornsby-yoursay-files.s3.ap-southeast-2.amazonaws.com/8017/5098/0384/Glenorie_Feedback_Summary_Report.pdf)

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## Appendix G   Hornsby Rural Lands Study and Implementation Action Plan

To download a copy of the Hornsby Rural Lands Study, please visit <https://www.hornsby.nsw.gov.au/files/assets/public/v1/council/forms-and-publications/publications/strategies-and-plans/documents/hornsby-shire-rural-lands-strategy-2022.pdf>

To download a copy of the Implementation Action Plan, please visit <https://www.hornsby.nsw.gov.au/files/assets/public/v1/property/building-and-development/policies-and-guidelines/planning-strategies-and-studies/rural-lands-study/documents/rls-implementation-action-plan.pdf>

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## Appendix H 12 November 2025 Council Business Paper & Minutes

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**ATTACHMENT 1 - ITEM 3**

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Glenorie Village

**ATTACHMENT 1 - ITEM 3**



DRAFT

# Hornsby Development Control Plan 2024

## Part 2 Rural



## 2 Rural

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## Introduction

This Part of the DCP applies to land within the Rural area of Hornsby Shire. The Rural areas extend from Glenhaven and Dural in the south to Wisemans Ferry in the North, as indicated in Figure 2-a.

The planning controls for the rural area are informed by the Rural Lands Study (1995), the Rural Resource Lands Study (2006), the Hornsby Shire Rural Lands Planning Provisions Review (2009) and the Hornsby Shire Rural Lands Strategy (2022).

The Rural Lands Strategy (2022) supports the Hornsby LSPS, presenting a vision, principles and recommendations for the future planning of Hornsby Shire's rural area. The implementation of the Strategy's recommendations will inform future changes to the development controls in this DCP.

Development in rural areas will be environmentally sustainable and protect and improve water quality, native flora and fauna, soil, air and other environmental values. Development will also protect and enhance the visual qualities and characteristics of the rural environment by being compatible with the scale, form, design, colour, height, materials, setbacks and landscaping of the surrounding rural area.

Rural uses will be protected and promoted in Hornsby Shire as they are important for the local and regional economy. Existing or potentially productive agricultural land will be protected from fragmentation and sterilisation by competing land uses as agricultural production provides an important source of food supply and natural resources for the Sydney Basin. Natural and manmade tourism and tourist infrastructure important for the economy will also be protected from the encroachment of urban and rural residential development.



## 2.1 Rural Buildings

The following section provides controls for the erection of a building or structure in the following zones: RU1 Primary Production, RU2 Rural Landscape, RU4 Small Lot Primary Production, SP3 Tourist (Wisemans Ferry), C2 Environmental Conservation, ~~and~~ C3 Environmental Management, and C4 Environmental Living (Glenorie).

### 2.1.1 Scale

#### Desired Outcomes

- a. Development with a height, bulk and scale that is compatible with the rural area.

#### Prescriptive Measures

##### Height

- a. Sites with the following maximum building heights under Clause 4.3 of the HLEP should comply with the maximum number of storeys in Table 2.1.1-a.

Table 2.1.1-a: Translations of Height to Storeys

HLEP Area	Maximum Building Height (m)	Maximum Storeys (excluding basement carparking)
K	10.5m	2 storeys + attic

- b. Buildings should respond to the topography of the site by minimising earthworks (cut and fill).
- c. A transition in building height should be provided at sensitive interface areas adjacent to heritage items.

#### Notes

**Building height (or height of building)** means the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.

**Storey** means a space within a building that is situated between one floor level and the floor level next above, or if there is no floor above, the ceiling or roof above, but does not include:

- (a) a space that contains only a lift shaft, stairway or meter room,
- (b) a mezzanine, or
- (c) an attic.

**Basement** means the space of a building where the floor level of that space is predominantly below ground level (existing) and where the floor level of the storey immediately above is less than 1 metre above ground level (existing).

#### Roof Design

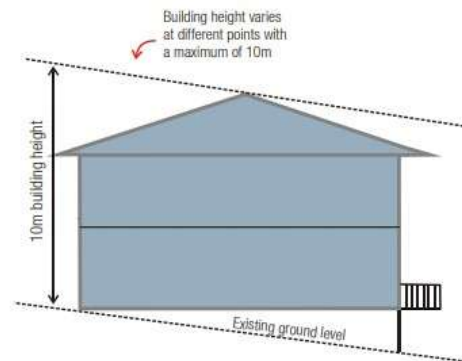
- d. To ensure conformity with the landscape and protection of the scenic quality of the area, roof pitch and design should:
  - sit below the dominant tree canopy, and
  - not detract from natural ridgelines, and
  - consider the slope of land.
- e. The roof should have a maximum pitch of 35 degrees, except if a steeper roof pitch is more consistent with the existing character of the locality.
- f. Any attic level is to be contained wholly within the roofspace.
- g. The external walls of the building should not extend above the attic floor level.

#### Notes:

**Attic** means any habitable space, but not a separate dwelling, contained wholly within a roof above the ceiling line of the storey immediately below, except for minor elements such as dormer windows and the like.

Figure 2.1-a: Explanation of building height controls (I)

Height controls are based on a typical residential floor to floor height of 3 metres, with allowances for roof articulation and undercroft areas for steeply sloping sites.



Site Coverage

- h. The maximum site coverage of all buildings on the property should comply with Table 2.1.1-b as follows:

Table 2.1.1-b: Maximum Site Coverage

Lot Size	Maximum Site coverage (% of total lot size)
Up to 899m <sup>2</sup>	50%
900m <sup>2</sup> to 1499m <sup>2</sup>	40%
1500m <sup>2</sup> to 3999m <sup>2</sup>	30%
4000m <sup>2</sup> or larger	On merit, based on- site constraints

Notes:

**Site coverage** means the proportion of a site area covered by buildings. However, the following are not included for the purpose of calculating site coverage:

- (a) any basement, and
- (b) any part of an awning that is outside the outer walls of a building and that adjoins the street frontage or other site boundary, and
- (c) any eaves, and
- (d) unenclosed balconies, decks, pergolas and the like.

**Lot size (or site area)** in relation to development, means the area of the lot to which an application for consent to carry out the development relates, excluding:

- (a) any land on which the development is not permitted under an environmental planning instrument, and
- (b) if a lot is a battle-axe or other lot with an access handle, the minimum lot size excludes the area of the access handle.

Rural Outbuildings

- i. All rural outbuildings on lots 4000m<sup>2</sup> or larger should have a maximum area of 250m<sup>2</sup> for each outbuilding and a total maximum combined area of all outbuildings of 500m<sup>2</sup> unless demonstrated that they are required for an intensive rural activity.

Roadside Stalls

- j. Roadside stalls on land zoned RU1, RU2, and RU4 should be no greater than 40m<sup>2</sup> pursuant to Clause 5.4 of the HLEP.
- k. Roadside stalls should be constructed in a form and of materials that are of a rural character.
- l. Roadside stalls should provide a concession to the setbacks contained in Table 2.1.2-a to enable a temporary structure to have a minimum setback of 1 metre from the front property.

Figure 2.1-b: Examples of roadside stalls that are of a rural character (Globe Notes Travel 2014, Fruit Growers Tasmania Inc 2008). (E)



Notes:

**Outbuilding** means any of the following class 10a buildings under the Building Code of Australia:

- (a) balcony, deck, patio, pergola, terrace or verandah that is detached from a dwelling house,
- (b) cabana, cubby house, fernery, garden shed, gazebo or greenhouse,
- (c) carport that is detached from a dwelling house,
- (d) farm building,
- (e) garage that is detached from a dwelling house,
- (f) rainwater tank (above ground) that is detached from a dwelling house,
- (g) shade structure that is detached from a dwelling house,
- (h) shed.

**An intensive rural activity** includes intensive agriculture, garden centres, plant nurseries and landscaping material supplies, animal boarding or training establishments, rural industries and the like.

**Roadside stall** means a place or temporary structure used for the retail sale of agriculture produce of hand crafted goods (or both) produced from the property on which the stall is situated or from an adjacent property.

### 2.1.2 Setbacks

#### Desired Outcomes

- a. Setbacks that complement the rural character and allow for separation between neighbouring rural developments.
- b. Setbacks that retain natural landscape features.

#### Prescriptive Measures

- a. All buildings and structures should comply with the minimum boundary setbacks in Table 2.1.2-a.

**Table 2.1.2-a: Minimum Boundary Setbacks**

Property Boundary	Lots < 4,000m <sup>2</sup>	Lots > 4,000m <sup>2</sup>
Waterfront Setback	see Clause 6.1 of HLEP and Foreshore Building Line Map	
Front boundary (primary frontage)	10m or the average of the front setbacks of the nearest two neighbouring houses, whichever is greater	15m to local roads and 30m to designated roads
Secondary boundary (on corner lots)	5m	10m
Side boundary	5m	10m
Rear boundary	10m	15m

- b. The above setback controls also apply to structures, including crop netting and green houses.

#### Sites with more than one frontage

- c. For buildings with a corner frontage:
  - front and rear boundary setbacks apply to the shorter street frontage (the primary frontage), and
  - side boundary setbacks apply to the longer of the two street frontages (the secondary boundary).
- d. For a lot that adjoins parallel roads, the front boundary setback control applies to both the primary frontage and the parallel road boundary.

#### Setbacks to Landscape Features

- e. The setback of buildings from the property boundary may need to be increased to maintain landscape features, as detailed in Section 2.1.3 of this DCP.

#### Landuse Separation

- f. Despite the setbacks in Table 2.1.2-a, a proposed sensitive landuse located adjacent to an existing intensive rural activity, may need an increased boundary setback to minimise potential landuse conflict and comply with the Landuse Separation provisions in Section 2.2 of this DCP.

#### Setback Encroachments

- g. The following minor structures are able to encroach into the prescribed setbacks:
  - A driveway between the on-site car parking area and a public road,
  - Stairs to the ground floor of the dwelling,
  - Fences,
  - A rural outbuilding on a designated road, with a maximum floor area of 200m<sup>2</sup> is able to encroach to within 20 metres of the primary frontage on a designated road,
  - An inground swimming pool is able to encroach to within 1 metre of the side or rear boundary, measured to the water line,
  - A dam with a wall height less than 3 metres is able to encroach to within 5 metres of any boundary, and
  - A roadside stall with a maximum area of 20m<sup>2</sup> may be located on-site adjacent to the front property boundary.

Notes:

#### Designated roads

Designated roads are Council identified roads that require development to have an increased setback from the road edge, consistent with the established streetscape. A list of designated roads is provided in Annexure C.

**An intensive rural activity** includes intensive agriculture, garden centres, plant nurseries and landscaping material supplies, animal boarding or training establishments, rural industries, extractive industries and the like.

**Sensitive land uses** include dwellings or approved building envelopes on vacant lots, tourist accommodation, community uses, educational uses, public open space, and sheds or premises used for the manufacture, preparation, sale or storage of food.

## 2.1.3 Landscaping

### Desired Outcomes

- Landscaping that integrates the built form with the locality and enhances the tree canopy.
- Landscaping that retains existing landscape features.
- Landscaping that is consistent with the visual landscapes in the rural area.

### Prescriptive Measures

#### General

- Landscaping should maintain the natural features, topography and vegetation on the site.
- Setback areas should be landscaped.
- Vehicle crossings should be located to preserve natural vegetation which contributes to the visual amenity of the area.
- Intensive rural activities should provide a landscape buffer to boundaries with a minimum width of 5 metres.
- Development along main roads should be provided with screening vegetation in front and side setback areas that maintains existing rural character.

#### Retention of Landscape Features

- Buildings, driveways and service trenches should have a minimum setback:
  - in accordance with the 'Watercourses' element in Section 1.3.1.3 of this DCP,
  - 10 to 20 metres to significant bushland as prescribed in the 'Biodiversity' element in Section 1.3.1.1 of this DCP, and
  - in accordance with the requirements of AS4970 from significant trees to be retained.

#### Notes:

**An intensive rural activity** includes intensive agriculture, garden centres, plant nurseries and landscaping material supplies, animal boarding or training establishments, rural industries, extractive industries and the like.

**A Landscape buffer** is to include screen planting, preferably including vegetation that is endemic to the area. Alternatively, fire retardant species should be considered in bushfire prone areas.

The applicant is encouraged to incorporate plant species indigenous to Hornsby Shire as part of the development. Refer to Council's website [www.hornsby.nsw.gov.au](http://www.hornsby.nsw.gov.au).

#### Main roads

Development adjoining roads that are subject to Section 2.119 of the Transport and Infrastructure SEPP require separate approval from Transport for NSW (TfNSW) for access to State and Regional Roads as classified by TfNSW. A list of classified

and unclassified main roads for Hornsby Shire is provided in Annexure C.

#### Fences and Gates

- Frontages/streetscapes should not contain excessively urban features such as formal gates and high fences.
- Fences should be open style and constructed of materials such as timber or post and wire, with a maximum height of 1.8 metres.
- Any masonry gate entry feature should not extend more than 3 metres either side of the driveway entrance.
- High, solid fences constructed as sound barriers should be avoided. On main roads alternative measures of reducing traffic noise should be explored, such as double glazing, internal layout, earth mounds and vegetation, rather than high solid fences.

Figure 2.1-c: Example of a suitable open style rural fence (E)



Figure 2.1-d: Example of a masonry entry feature that does not extend more than 3 metres either side of the driveway (E)



### 2.1.4 Open Space

#### Desired Outcomes

- a. Private open space that functions as an extension to a dwelling house.

#### Prescriptive Measures

##### Principal Private Open Space

- a. A dwelling house should be provided with private open space that incorporates a principal private open space area in accordance with Table 2.1.4-a.

Table 2.1.4-a: Minimum Private Open Space

Minimum Principal Area	Minimum Dimension of Principal Area
24m <sup>2</sup>	3m

- b. The principal private open space area should be sited behind the front building line and be directly accessible from the living area of the dwelling.
- c. The principal private open space area should be generally level and may be in the form of a deck, patio, terrace or paved area.

##### Clothes Drying Area

- d. Each dwelling should have an external air clothes drying area that is separate from the principal private open space area. This facility is to be screened from public areas.

### 2.1.5 Vehicle Access and Parking

#### Desired Outcomes

- a. Development that provides sufficient and convenient parking with vehicular access that is simple, safe and direct.

#### Prescriptive Measures

- a. Car parking for dwelling houses should be provided behind the front building line.
- b. A paved driveway should be provided between the required on-site car parking area and a public road.
- c. A driveway should be setback a minimum 2 metres from side boundaries to provide for landscaping between the driveway and the side boundary.

#### Note:

Refer to Part 1 General of the DCP for more detailed parking and service vehicle design requirements.

## 2.1.6 Design Details

### Desired Outcomes

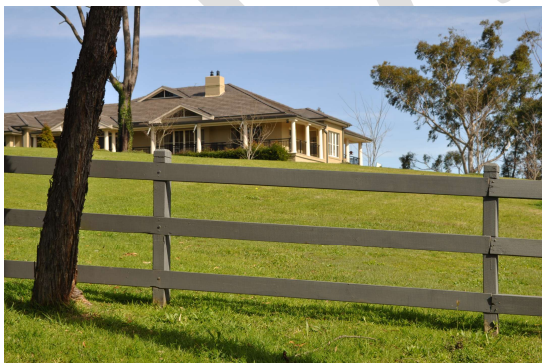
- Development that contributes positively to the character of the rural area.
- Building sizes, styles and forms that relate to the character of the area.

### Prescriptive Measures

#### Building Form

- Buildings should be sited to maintain the continuity of, and minimise the disturbance to, agriculturally productive land.
- Buildings should consist of simple forms and planes.
- Extensive blank or unarticulated walls to street frontages are discouraged.
- Buildings and structures should respond to the topography of the site by minimising earthworks (cut and fill).
- On steeply sloping sites, split level and/or pole or pier construction of buildings is encouraged.
- Buildings, structures and driveways should be located to retain natural vegetation and follow the natural contours of the land.
- Parking areas and driveways should not dominate the streetscape.
- Development along main roads should be designed and sited to contribute positively to the surrounding rural landscape.

Figure 2.1-e: Example of a dwelling house designed and sited to contribute positively to the rural landscape. (E)



### Colours and Materials

- Building materials of dwelling houses should contribute to the rural character, including: stone masonry, brickwork or timber construction with tile, slate or metal roofing.
- Building materials, colours and finishes of development along main roads should be sympathetic to the surrounding landscape.
- Building colours should be harmonious with the surrounding natural environment.

### Storage Areas

- Outdoor storage areas should be located behind the front building setback and screened from view from adjoining sensitive areas.
- Above ground liquid storage facilities, including chemicals and waste, should be in a covered bunded area that is constructed of impervious materials.

### Undercrofts (Steep Sites)

- Undercroft spaces with a vertical height at any point of more than 1.5 metres above existing ground level should not be enclosed.
- Undercrofts, including any plumbing or rainwater tanks located within, should be painted in dark recessive colours.
- Supports to habitable platforms above undercrofts should be setback a minimum of 2 metres from the leading platform edge to reduce the overall bulk and scale of the undercroft area.

Figure 2.1-f: Example of a rural outbuilding sited and designed to contribute positively to the rural landscape. (E)



## 2.2 Rural Land Uses

The following section provides controls for rural land uses, in addition to the building controls provided elsewhere in this DCP.

### 2.2.1 Intensive Plant Agriculture

#### Desired Outcome

- Intensive plant agriculture establishments that are appropriately separated from adjoining sensitive land uses to minimise visual impacts and land use conflicts.
- Development for intensive plant agriculture that does not result in significant landform modification.

#### Prescriptive Measures

##### General

- Site planning should provide adequate area for:
  - landscaping buffers,
  - dams and/or water tanks,
  - waste water treatment,
  - water quality treatment,
  - driveways and parking areas, and
  - dwelling houses and ancillary facilities.
- Any portion of a site with a slope greater than 10% should not be used for intensive plant agriculture.

##### Landuse Separation

- Intensive plant agriculture should be sited to limit the potential for land use conflicts with neighbouring sensitive land uses.
- Structures should be screened by the use of crops or landscape buffers.
- The distance between intensive plant agriculture and an adjoining dwelling house should conform to the minimum requirements in Table 2.2.1-a.

**Table 2.2.1-a: Minimum separation to intensive plant agriculture**

Land use in Rural Zone	Separation to Intensive Plant Agriculture (metres)
Any dwelling (whether on a neighbouring property) (with no vegetation buffer)	50m
Any dwelling (whether on a neighbouring property) (with a vegetation buffer)	20m

Notes:

**Intensive plant agriculture** means any of the following:

- the cultivation of irrigated crops for commercial purposes (other than irrigated pasture or fodder crops),
- horticulture,
- turf farming,
- viticulture.

**Sensitive land uses** include dwellings or approved building envelopes on vacant lots, tourist accommodation, community uses, educational uses, public open space, and sheds or premises used for the manufacture, preparation, sale or storage of food.

**Vegetation buffers** should provide significant foliage and grow to a height to screen structures. In bushfire prone areas, fire retardant species should be utilised.

For further information refer to Prime Fact 1139 Assessing Intensive Plant Agriculture Developments (Dec 2011) by the Department of Primary Industries available on [www.dpi.nsw.gov.au](http://www.dpi.nsw.gov.au).

The minimum separations prescribed in Table 2.2.1-a aim to minimise rather than eliminate impacts from rural activities. Larger separations between intensive plant agriculture and sensitive uses at a zone interface would be appropriate to ensure all impacts are internalised.

**2.2.2 Water Storage Facilities (Dams)**

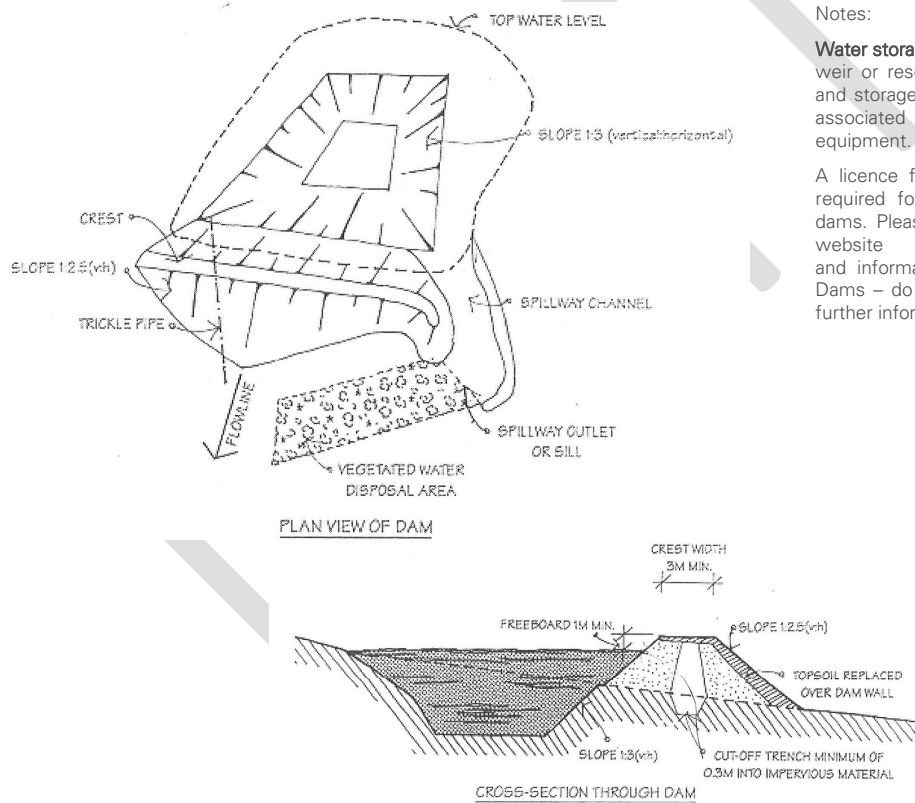
**Desired Outcomes**

- a. Water storage facilities that are constructed and sited to be stable and have minimal environmental impact.

**Prescriptive Measures**

- a. Dams should not prevent or significantly alter water flows to adjoining properties or natural ecosystems.
- b. Dams should not be located on sites with a gradient in excess of 15%.

- c. Dam design guidelines are illustrated in Figure 2.2-a. The dam spillway should be designed for the 1 in 20 year storm event.
- d. Development applications for a dam that has a maximum capacity greater than 0.4 megalitres or for an additional dam that results in the total capacity of all dams on the property exceeding 1 megalitre should be accompanied by a report from a suitably qualified hydraulic services consultant, assessing the impact that the proposed dam will have on downstream flows and environments.
- e. Water quality management measures should be incorporated with the dam, such as vegetation on the perimeter of the dam and within the dam to reduce the occurrence of problematic algae.



Notes:  
**Water storage facility** means a dam, weir or reservoir for the collection and storage of water, and includes associated monitoring or gauging equipment.  
 A licence from the WaterNSW is required for certain categories of dams. Please refer to the Office's website [www.water.nsw.gov.au](http://www.water.nsw.gov.au) and information sheet titled Farm Dams – do you need a licence for further information

Figure 2.2-a: Dam Design Guidelines (C)

Catchment area (Ha)	Channel width (m)	Outlet or sill width (m)
<20	3	7
20-40	6	12
>40	(Need to be designed)	(Need to be designed)

RECOMMENDED MINIMUM SPILLWAY SIZES FOR STABLE SOILS

### 2.2.3 Garden Centres, Plant Nurseries and Landscaping Material Supplies

#### Desired Outcome

- a. Garden centres, plant nurseries and landscaping material supplies that are sympathetic to the rural character of the area and appropriately separated from adjoining sensitive land uses to minimise visual impacts and land use conflicts.

#### Prescriptive Measures

##### General

- a. Site planning should provide adequate area for:
- landscaping buffers,
  - dams and/or rainwater tanks,
  - waste water treatment,
  - water quality treatment,
  - driveways and parking areas, and
  - sanitary facilities for staff and customers.
- b. External storage areas, including bulk bin storage, should be:
- located behind the front building line, and
  - setback a minimum of 10 metres from side and rear boundaries, and
  - landscaped with significant foliage to screen any storage items and structures.

##### Landuse Separation

- c. Noise generating components of the development such as loading and unloading areas, cafes, and childrens play areas should be sited to limit the potential for land use conflicts with neighbouring sensitive land uses.
- d. The distance between any planted areas/green houses and an adjoining dwelling house should conform to the minimum requirements in Table 2.2.1-a.

#### Ancillary Land Uses

- e. The maximum floor space permitted to be constructed/utilised for a permissible ancillary use such as retailing and restaurants combined is:
- (a) a maximum of 20% of the site area used for the garden centre; or
  - (b) 400m<sup>2</sup>,
- whichever is the lesser.
- f. Ancillary uses to garden centres and the like should have the same hours of operation as the landscape and/or material supply business.

#### Notes:

**Garden centre** means a building or place the principal purpose of which is the retail sale of plants and landscaping and gardening supplies and equipment. It may, if ancillary to the principal purpose for which the building or place is used, include a restaurant or cafe and the sale of any the following:

(a) outdoor furniture and furnishings, barbeques, shading and awnings, pools, spas and associated supplies, and items associated with the construction and maintenance of outdoor areas,

(b) pets and pet supplies,

(c) fresh produce.

**Plant nursery** means a building or place the principal purpose of which is the retail sale of plants that are grown or propagated on-site or on an adjacent site. It may include the on-site sale of any such plants by wholesale and, if ancillary to the principal purpose for which the building or place is used, the sale of landscape and gardening supplies and equipment and the storage of these items.

**Landscaping material supplies** means a building or place used for the storage and sale of landscaping supplies such as soil, gravel, potting mix, mulch, sand, railway sleepers, screenings, rock and the like.

### 2.2.4 Animal Boarding or Training Establishments

#### Desired Outcomes

- a. Animal boarding and training establishments (including exercising areas) should be sited and designed to minimise noise and odour impacts on adjoining land.

#### Prescriptive Measures

##### General

- a. Animal boarding and training establishments (including exercising areas) should be sited and designed to minimise noise and odour impacts on adjoining land.
- b. Applications should be accompanied with a management plan addressing sustainable stocking rates that take into account pasture quality, hand feeding and land degradation.

##### Landuse Separation

- c. Animal accommodation (such as stables, kennels, exercise areas, aviaries, pens and the like) should be separated from sensitive land uses at least in accordance with Table 2.2.4-a.

**Table 2.2.4-a: Minimum separation between animal boarding and training establishment and sensitive land uses**

Animal Accommodated	Minimum Separation to Sensitive Land Uses (metres)
Poultry	30m
Ducks	30m
Horses	30m
Goats	45m
Pigs	60m
Cats and Dogs	100m

- d. Notwithstanding the above, an increase in the minimum separation to sensitive land uses may be required, taking into account the following:
  - The likely generation of noise. An Acoustic Consultant should recommend suitable separations to sensitive land uses taking into account the intensity of the facility (number of animals), the building construction proposed, any exercise run design and other noise attenuation measures, and

- The likely generation of offensive odours. An odour modelling assessment should be provided that may require an increase in land use separation to sensitive land uses.
- e. Noise from barking dogs should be limited by design techniques such as:
  - siting kennels so that they do not face each other,
  - limiting external stimulation, e.g. by partitioning between kennels or using blinds,
  - provide screening between the dogs and neighbouring properties and the public domain in order to avoid distracting the animals, (eg. by children playing, vehicles entering and leaving a property), and
  - holding dogs singly or in compatible pairs.

##### Notes:

**An animal boarding or training establishment** means a building or place used for the breeding, boarding, training, keeping or caring of animals for commercial purposes (other than for the agistment of horses), and includes any associated riding school or ancillary veterinary hospital.

**Sensitive land uses** include dwellings or approved building envelopes on vacant lots, tourist facilities, community uses, educational uses, public open space, and sheds or premises used for the manufacture, preparation, sale or storage of food.

For further information refer to Prime Fact 932 Planning for Horse Establishments 2009 for details on stocking rates for horses available at [www.dpi.nsw.gov.au](http://www.dpi.nsw.gov.au) and/or contact the NSW Department of Primary Industries.

Refer to the Schedule 2 of the Local Government (General) Regulation 2021 for additional controls on the keeping on animals.

## 2.2.5 Rural Industry

### Desired Outcome

- a. Rural industries that are sympathetic to the rural character of the area and have minimal impact on environment and the amenity of surrounding land uses.

### Prescriptive Measures

- a. The following criteria should be considered in selecting a site for a rural industry:
- sites greater than 4000m<sup>2</sup>,
  - reduced exposure to neighbouring dwellings and noise sensitive areas,
  - the intensity, size and scale of the industry,
  - sites with good vehicular access, parking, and loading/unloading facilities,
  - ability to visually screen the development, and
  - an appropriate area for expansion.
- b. Rural industries should be sited and designed to minimise noise, odour and visual impacts on adjoining land uses and include measures such as:
- landscaped buffers,
  - odour management,
  - sound attenuation, such as earth mounds, fencing and insulation of machinery.

#### Note:

A rural industry means the handling, treating, production, processing, storage or packing of animal or plant agricultural products for commercial purposes, and includes any of the following:

- (a) agricultural produce industries,
- (b) livestock processing industries,
- (c) composting facilities and works (including the production of mushroom substrate),
- (d) sawmill or log processing works,
- (e) stock and sale yards,
- (f) the regular servicing or repairing of plant or equipment used for the purposes of a rural enterprise.

## 2.2.6 Rural Workers' Dwelling

### Desired Outcomes

- a. Rural workers' dwellings that facilitate the use of land for a commercially viable rural operation and maintain the rural character of the area.

### Prescriptive Measures

- a. A rural workers' dwelling should:
- have a maximum gross floor area of 110m<sup>2</sup>, or
  - involve the conversion of an existing dwelling.
- b. Rural workers' dwellings should only be constructed where rural undertakings on the property have the capacity to support both the primary producer and the rural worker.
- c. Rural workers' dwellings should be located not to affect the capability of land to be used for agriculture.
- d. All applications for rural workers dwellings should be accompanied by advice from a qualified agricultural consultant or financial documentation certifying that the agricultural activity on the allotment justifies the demand for a rural workers dwelling.
- e. Development applications for a rural workers' dwellings should be accompanied by:
- (a) a site plan showing the nature and extent of agricultural undertakings on the land;
  - (b) a detailed description of the agricultural undertakings on the land which should include:
    - the calculated area of the site used for each agricultural activity,
    - the rural workers' hours of employment, and
    - the number of people employed, and on what basis (e.g. full-time, part-time, casual, seasonal).
  - (c) gross margin budgets or accounts which demonstrate the ability of the established enterprises to support both the farmer and the rural worker.
- f. A rural workers dwelling cannot be erected on a separate lot created for the purposes of primary production pursuant to Clause 4.2 of the HLEP.

#### Note:

A **rural worker's dwelling** means a building or place that is additional to a dwelling house on the same lot and that is used predominantly as a place of residence by persons employed, whether on a long-term or short-term basis, for the purpose of agriculture or a rural industry on that land.

## 2.2.7 Secondary Dwelling

HLEP Clause 5.5 contains provisions for development of Secondary Dwellings on rural land. The following controls apply to land zoned RU1 Primary Production, RU2 Rural Landscape, RU4 Small Lot Primary Production, ~~and~~ RU5 Village, and C4 Environmental Living (Glenorie).

### Desired Outcomes

- a. Secondary dwellings that provide opportunity for an extension of family accommodation or affordable rental accommodation in the rural area and maintain the rural character of the area.

### Prescriptive Measures

- a. A secondary dwelling should:
  - have a maximum total floor area of 120m<sup>2</sup>, or
  - 33% of the total floor area of the principal dwelling, whichever is the greater.
- b. Secondary dwellings should not be attached to farm buildings or rural buildings.
- c. Secondary dwellings should be located not to affect the capability of land to be used for agriculture.
- d. Vehicular access to both dwellings should be from a single common driveway or access from the public road.
- e. Where the creation of a secondary dwelling involves an extension to an existing dwelling house, the secondary dwelling should be constructed of the same materials of the existing dwelling, or the existing dwelling should be renovated to match the proposed external materials of the new dwelling.
- f. Where the primary and secondary dwelling are attached on land zoned RU1, RU2, ~~and~~ RU4, and C4, the total length of the front elevation should not exceed 50% of the frontage of the lot.
- g. Subdivision of land to provide a separate lot for an approved secondary dwelling is not supported if the resultant lots are smaller than the applicable minimum lot size shown on the HLEP Lot Size Map, pursuant to Clause 2.6 of the HLEP.
- h. A secondary dwelling cannot be erected on a separate lot created for the purposes of primary production pursuant to Clause 4.2 of the HLEP.

Notes:

**A secondary dwelling** means a self-contained dwelling that:

- (a) is established in conjunction with another dwelling (the principal dwelling), and
- (b) is on the same lot of land as the principal dwelling, and
- (c) is located within, or is attached to, or is separate from, the principal dwelling.

**Total Floor Area** means gross floor area as defined by the HLEP.

Case Study Example:

Mike and Lisa own a 2 hectare block of land zoned RU4 and have developed a 500m<sup>2</sup> principal dwelling on the site (excluding the garage). The property can therefore accommodate a secondary dwelling with a gross floor area of up to 165m<sup>2</sup> (33% of 500m<sup>2</sup>).

In determining where and how the secondary dwelling should be accommodated, they now need to consider the provisions of Section 2.2.7 of the DCP and other applicable controls, (eg. Part 1 and Section 2.1 of the DCP) that includes controls such as:

- Scale (height, roof design, design details);
- Setbacks (including separation to intensive rural activities);
- Private Open Space;
- Car parking;
- Biodiversity;
- Bushfire;
- Landscaping;
- Effluent Disposal; and
- Building Sustainability (BASIX).

## 2.2.8 Bed and Breakfast and Short Term Rental Accommodation

These controls apply to Bed and Breakfast Accommodation and Short-Term Rental Accommodation (comprising short-term holiday letting of a dwelling).

### Desired Outcomes

- a. Tourist and visitor accommodation that is compatible in scale and character with development in the locality.
- b. Tourist and visitor accommodation that provides adequate facilities and services for occupants and are located and designed to minimise amenity impacts on the locality.

### Prescriptive Measures

#### General

- a. A single sign should be displayed in public view within the property boundaries that:
  - has a maximum area of 0.5m<sup>2</sup>,
  - includes details of the land use, name(s) of the owner/establishment and 24 hour contact phone number, and
  - should not be illuminated.
- b. In unsewered areas, it should be demonstrated that the existing sewage management system is adequate for the proposed use or will be upgraded.
- c. Active recreation facilities, such as barbeque areas, should be located away from the bedroom areas of adjoining dwellings.
- d. If relevant, a bushfire evacuation plan should be submitted with the development application showing means of evacuation in an emergency. The bushfire evacuation plan should be displayed within the dwelling or sleeping rooms.

#### Bed and Breakfast accommodation

- e. Bed and breakfast accommodation should:
  - be undertaken by the permanent residents of the dwelling-house, and
  - be on a short-term basis, and
  - comprise a maximum of 3 bedrooms catering for a maximum of 6 guests.

#### Short-Term Rental Accommodation

- f. Short-term rental accommodation should:
  - be undertaken in a lawful dwelling,
  - be on a short-term basis (less than 90 days), and
  - comprise a maximum of 6 guests.
- g. A Code of Conduct to be signed and adhered to by guests should be prepared and submitted with the development application. The Code of Conduct should, at a minimum, address the following responsibilities of guests during their stay:
  - maximum guest numbers,
  - contact number of the property manager including an after hours number
  - noise and lighting restrictions for activities between 10pm and 8am,
  - instructions concerning recycling, garbage services and special requirements relating to the disposal of garbage, and
  - procedures in case of an emergency.

#### Notes:

The change of use of a dwelling to tourist and visitor accommodation may require a change of classification under the Building Code of Australia (BCA). This may require significant fire upgrading work and disabled access provision to the building.

**Bed and breakfast accommodation** means an existing dwelling in which temporary or short-term accommodation is provided on a commercial basis by the permanent residents of the dwelling and where:

- (a) meals are provided for guests only, and
- (b) cooking facilities for the preparation of meals are not provided within guests' rooms, and
- (c) dormitory-style accommodation is not provided.

**Short-term rental accommodation** differs from bed and breakfast accommodation in that visitors of the latter are hosted by the permanent residents of the dwelling where the former has no on-site manager. It is otherwise known as short-term holiday letting. So called "party houses" conflict with residential amenity, damaging to the Holiday Rental industry and are not permitted.

For further information on the Code of Conduct for the Short-term Rental Accommodation Industry, refer to [www.fairtrading.nsw.gov.au](http://www.fairtrading.nsw.gov.au).

### 2.2.9 Attached Dual Occupancy

The following controls apply to the development of Attached Dual Occupancies on land zoned RU1 Primary Production, RU2 Rural Landscape, ~~and~~ RU4 Small Lot Primary Production, and C4 Environmental Living (Glenorie).

#### Desired Outcomes

- a. Attached dual occupancies that provide opportunity for an extension of family accommodation or affordable rental accommodation in the rural area and maintain the rural character of the area.

#### Prescriptive Measures

- a. An attached dual occupancy should be on land with a lot size equal to or greater than the applicable minimum lot size shown on the HLEP Lot Size Map, pursuant to Clause 6.9 of the HLEP.
- b. One of the dwellings that forms an attached dual occupancy should not have a total floor area that is greater than 200m<sup>2</sup>, pursuant to Clause 6.9 of the HLEP.
- c. An attached dual occupancy should either be attached by a common wall or the main roof and have the general appearance of a single dwelling house when viewed from the primary street frontage. Mirror reversed dual occupancies or replica dwelling designs are not supported.
- d. Where attached dual occupancies front a public road, the total length of the front elevation should not exceed 50% of the frontage of the lot.
- e. Where the roof is shared, the closest walls of the dwelling should not be more than 6 metres apart. Structures such as carports, pergolas or covered walkways are not acceptable means of attaching the two dwellings.

Figure 2.2-b: Covered walkways are not acceptable means of attaching the two dwellings (E)



- f. Vehicular access to both dwellings should be from a single common driveway or access from the public road.
- g. Where the creation of an attached dual occupancy involves an extension to an existing dwelling house, the new dwelling should be constructed of the same materials of the existing dwelling, or the existing dwelling should be renovated to match the proposed external materials of the new dwelling.
- h. Subdivision of land pursuant to provide a separate lot for an approved attached dual occupancy is not supported if the resultant lots are smaller than the applicable minimum lot size shown on the HLEP Lot Size Map, pursuant to Clauses 4.1, 4.1AA and 4.1A of the HLEP.
- i. An attached dual occupancy cannot be erected on a separate lot created for the purposes of primary production pursuant to Clause 4.2 of the HLEP.

#### Notes:

**Attached dual occupancy or Dual occupancy (attached)** means two dwellings on one lot of land that are attached to each other, but does not include a secondary dwelling.

**Total Floor Area** means gross floor area as defined by the HLEP.

#### Case Study Example:

John and Mary own a 2.5 hectare block of RU2 zoned land and have a 500m<sup>2</sup> existing dwelling on the site (excluding the garage). They propose to attach a second dwelling to the existing dwelling. The property can therefore accommodate an attached dual occupancy with a gross floor area of up to 200m<sup>2</sup>, pursuant to Clause 6.9 of the HLEP.

In determining where and how the second dwelling should be accommodated, they now need to consider the provisions of Section 2.2.9 of the HDCP and other applicable controls (eg. Part 1 and Section 2.1 of the DCP) that includes controls such as:

- Scale (height, roof design, design details);
- Setbacks (including separation to intensive rural activities);
- Private Open Space;
- Car Parking;
- Biodiversity;
- Bushfire;
- Landscaping;
- Effluent Disposal; and
- Building Sustainability (BASIX).

### 2.2.10 Agritourism and Farm Stay Accommodation

The following section provides controls for Agritourism land uses, including farm gate premises, farm stay premises, and farm stay accommodation in rural areas zoned RU1, RU2, RU4 and C3.

These controls are in addition to the building controls provided elsewhere in this DCP.

#### Desired Outcomes

- a. To allow for agritourism development on commercial farms that is ancillary to and complements the agricultural use of the land.
- b. To ensure that agritourism land uses are compatible with the rural character of the property and do not unnecessarily intrude on the landscape.
- c. To reduce land use conflicts by separating Agritourism development from existing uses on the property or on nearby land.
- d. To manage the number of visitors to a property to address cumulative effects of traffic on roads.

#### Prescriptive Measures

##### General

- a. Agritourism land uses should be ancillary to, and compatible with, the commercial operations of the farm and not restrict the day-to-day functions of the farm.
- b. The design of buildings and structures should enhance the rural character and scenic landscape through the selection of materials and design quality.
- c. Farm gate premises, Farm experience premises and/or Farm Stay Accommodation should not have a significant adverse impact on:
  - Residential accommodation;
  - Primary production operations;
  - Other land uses;
  - Visual amenity, heritage or scenic values;
  - Native flora and fauna including threatened species and ecological communities;
  - Water quality;
  - Existing water supplies for residential and primary production uses on the land holding;
  - Traffic; and
  - Visitor safety.
- d. A management plan for the ongoing operation of farm experience premises, farm gate premises and farm stay accommodation should be provided in accordance with Table 2.2.10-a.

##### Note:

The definition for farm stay accommodation does not permit events.

**Table 2.2.10-a: Requirements for Management Plans**

Requirements for Ongoing Management Plans
A description of the development to be carried out on the property.
A map of where the development will be on the property, relevant dimensions and key features on the land.
The proposed months, days and hours of operation of the farm gate premises, farm experience premises or farm stay accommodation.
The maximum number of guests at one time for the farm gate premises, farm experience premises or farm stay accommodation, and how this will be monitored.
How visitors and guests will be advised to: <ul style="list-style-type: none"> <li>▪ limit impacts to the operational farm;</li> <li>▪ preserve and protect existing native flora, fauna and waterways, heritage items and Aboriginal heritage located on the property;</li> <li>▪ minimise any biosecurity risk through dispersal of weeds, seeds, insects and contaminants;</li> <li>▪ manage their waste; and</li> <li>▪ be alerted as to risks that may be present on the property such as natural hazards or changing weather.</li> </ul>
Measures to mitigate adverse environmental and amenity impacts, including how the business and water resources will be managed during drought.
The way vehicles will access the properties and the premises, including emergency vehicles.
Any safety hazards on the property and how they will be managed to ensure the safety of visitors and guests, including any measures to ensure visitors do not access restricted or dangerous areas.
Emergency contact details, including for emergency services in the event of bush fire, flooding or other natural disasters.
Bush fire and flood safety measures to protect human life and property, e.g. bush fire and flood safety plans and procedures for closing the premises, such as when bush fire and flood warnings are in place
A plan to demonstrate that an adequate potable water supply, in both quality and quantity, is available for the proposed use. This water supply should be in addition to any water required for fire fighting purposes.
For farm gate premises and farm experience premises, how all events would be recorded and the following be detailed as a minimum: <ul style="list-style-type: none"> <li>▪ Time and date of event;</li> <li>▪ Number of persons in attendance;</li> <li>▪ Person responsible for event organisation;</li> <li>▪ Whether amplified music or sound is used and what measures will be in place to control the impact of amplified music on adjoining property</li> </ul> If amplified music is provided after 6pm, a statement confirming that no more than 4 events involving amplified music past 6pm will be held in a calendar period.
Procedures for receiving and managing complaints.

**Location and Setbacks**

- e. Agritourism buildings should be clustered on the property where possible, to minimise the amount of land occupied by the development.
- f. The development is not to be located in a portion of the site that would restrict the day-to-day functions of adjacent farms or other existing activities or known future uses on adjoining land.
- g. A building structure, movable dwelling, activity for farm stay accommodation, farm gate premise or farm experience premises should be setback from property boundaries and development constraints in accordance with Table 2.2.10-b.

**Table 2.2.10-b: Separation Requirements**

Separation Requirements	Separation to Farm stay accommodation, Farm experience premises or Farm gate premises
Residential accommodation on adjacent land (including land separated by a road)	250m
Any property boundary or road	50m
Any waterway	50m
Any land used for the purpose of forestry, intensive livestock agriculture, intensive plant agriculture, mining, extractive industries, railway lines or rural industry	250m

Note:

Separation requirements for agritourism land uses take precedent over the general rural building setbacks outlined in Section 2.1.2 of the DCP.

- h. A development may be closer than the above distances to property boundaries and roads if it can be demonstrated that measures incorporated into the design, such as boundary planting, will appropriately mitigate impacts.
- i. Car parking areas should not form a visually prominent element of the rural landscape or be highly visible from the road frontage and should be located behind the front building line.

**Hazards and Biosecurity**

- j. An emergency evacuation plan should be provided with a development application for farm stay accommodation, farm gate premises or a farm experience premises. The plan should identify:
  - Evacuation routes from the premises in the event of bushfire or flood. Evacuation routes from the location of a development to a main road or alternate point of refuge are to avoid flood and bush fire prone land where practicable;
  - When the facility will be on alert and will close;
  - Evacuation procedures and assembly points;
  - Proposed signage;
  - Measures to protect human life and property in the event of flooding or fire;
  - Contact details for emergency services; and
  - Any maintenance measures required.
- k. To manage biosecurity risks from pests, disease, weeds, contaminates and respond to biosecurity duties, development applications should demonstrate consideration of the NSW Department of Primary Industries Managing biosecurity risks in land use planning and development guide (2020) and detail biosecurity measures in relation to any:
  - Buffer zones;
  - Wash down facilities;
  - Designated parking areas;
  - Location to major potable water supply storages and watercourses – poultry production; and
  - Dumping and burying rubbish on site.
- l. A biosecurity plan for ongoing use of farm stay accommodation, farm experience premises or farm gate premises should be prepared in accordance with the NSW Department of Primary Industries’ requirements, including the Farm Biosecurity Action Planner.

Note:

Controls relating to the development of bushfire and flood prone land, land subject to contamination, steep lands and acid sulfate soils are included in Part 1 General of this DCP.

The Farm Biosecurity Action Planner is available at [www.farmbiosecurity.com.au/toolkit/planner/](http://www.farmbiosecurity.com.au/toolkit/planner/).

#### Vehicle Access

m. Only one driveway should be provided on a property unless the property has a frontage of greater 100m and can demonstrate that an additional access would improve:

- Traffic management on the property or on and off the road;
- Separation between the farming operations and the development; or
- Resident employee and visitor safety.

Note:

Refer to Table 1.3.2-c for parking rate requirements.

#### Farm Gate Premises and Farm Experience Premises

n. The gross floor area of a building (or part of a building) for farm gate premises or farm experience premises should be no more than 200m<sup>2</sup>.

o. The total footprint of all buildings used for farm gate premises and farm experience premises on the property should not to exceed 500m<sup>2</sup>.

p. The height of a new building for farm gate premises or farm experience premises should be in keeping with the low scale built form of the rural area.

q. The hours of operation of farm gate premises should be:

- 8am to 5pm Sunday to Friday and public holidays, and
- 7am to 5pm on Saturdays.

r. The hours of operation of farm experience premises should be:

- 8am to 6pm Sunday to Thursday and public holidays, and
- 8am to 12am Friday and Saturday.

s. The maximum number of visitors, excluding visitors participating in fruit and produce picking, farm tours, horse riding and school groups for farm gate premises should not exceed 100 on a property at any one time.

t. The maximum number of visitors, excluding visitors participating in fruit and produce picking, farm tours, horse riding and school groups for farm experience premises should not exceed 50 on a property at any one time.

u. The maximum number of visitors, excluding visitors participating in fruit and produce picking, farm tours, horse riding and school groups for all farm gate premises and farm experience premises should not exceed 100 on a property at any one time.

v. Farm experience premises should be limited to 52 events per year, including a maximum of 4 events per year after 6pm that have amplified noise.

w. Toilet facilities should be provided including at least one unisex accessible toilet.

x. Development applications for farm gate premises and farm experience that:

- Propose to undertake more than 4 events a year after 6pm on a Friday or Saturday, and

- Involve amplified noise

should be accompanied by an acoustic report demonstrating that the development can comply with the following noise criteria:

- The LAeq (15 minute) noise level from the use must not exceed the background noise level (LA90, 15 minute) in any octave band (from 31.5Hz to 8kHz inclusive) by more than 5dB(A) when measured in accordance with the Noise Policy for Industry (EPA 2017).

Note:

An acoustic report may also be required for development applications that exceed the maximum number of visitor controls contained within this chapter.

#### Farm Stay Accommodation

- y. A building, manufactured home or moveable dwelling used for farm stay accommodation (except for the use of an existing dwelling for farm stay accommodation) should only be located on an allotment that:
- Has an existing lawful dwelling house, or
  - Is not less than the minimum lot size as depicted on the Lot Size Map contained within the HLEP.
- z. The maximum number of buildings and manufactured homes used for farm stay accommodation on a property should be no more than 1 per 5 hectares (or part thereof) to a maximum of 6.
- aa. The maximum number of moveable dwellings used for the purposes of farm stay accommodation on a property should be no more than 2 per 5 hectares (or part thereof) to a maximum of 6.
- bb. Farm stay accommodation, including moveable dwellings, is limited to:
- A maximum of 20 guests at any one time on a property, and
  - A maximum stay for guests of 21 consecutive days.
- cc. The gross floor area of a new building or manufactured home for farm stay accommodation should not be more than 60m<sup>2</sup>.
- dd. The gross floor area of part of an existing building or manufactured home used for farm stay accommodation should not be more than 60m<sup>2</sup>.
- ee. The height of a building, manufactured home, or moveable dwelling used for farm stay accommodation should be in keeping with the low scale built form of the rural area.
- ff. Where mains water is not available, an application should demonstrate that adequate water is available to service the development. Water required for farm stay accommodation should be in addition to that required for the dwelling house and any required fire fighting purposes.
- gg. One toilet per 10 guests in farm stay accommodation should be provided, with at least one toilet being be a unisex accessible toilet.

## 2.3 Village Masterplans ~~Plans~~

### 2.3.1 Village Masterplans – General

The following section provides controls for the Rural area localities identified on the Masterplans. This includes a variety of zones including, but not limited to Rural Zones, Residential Zones, and Employment Zones.

#### Desired Outcomes

- a. Orderly development that is consistent with the principles in the village masterplans.

#### Prescriptive Measures

- a. Village masterplans apply to the following localities:
  - Dural Village,
  - Galston, and
  - Wisemans Ferry.
- b. Development should be designed to embody the urban design guidelines and principles of the relevant village masterplans.
- c. Vehicular access should be rationalised in accordance with the relevant masterplan.
- d. Public domain works and pedestrian thoroughfares should be provided in accordance with the relevant masterplan.

### 2.3.2 Village Place Plans – General

c.

The following section provides controls for the Rural area localities identified on the place plans. This includes a variety of zones including, but not limited to Rural Zones and Conservation Zones.

#### Desired Outcomes

a. Orderly development that is consistent with the principles in the village masterplans.

#### Prescriptive Measures

- a. Village place plans apply to the following localities:
- Glenorie Village.
- b. Development should be designed to embody the place principles and place actions of the relevant village place plans.
- d. Public domain works should be provided in accordance with the relevant place plan.

DRAFT

ATTACHMENT 2 - ITEM 3

Dural Village Masterplan

MAJOR CONSTRAINTS

During the preparation of this plan a number of major constraints were identified and considered. These included:-

- \* overhead power and telephone wires
- \* underground services
- \* vision for vehicles and pedestrians
- \* future road widening
- \* dry, harsh site conditions

SUGGESTED PLANTING LIST

INDIGENOUS SPECIES

BENEATH OVERHEAD WIRES

- Callicoma serratifolia*
- Ceratopetalum gummiferum*
- Hakea sericea*

NO OVERHEAD WIRES

- Eucalyptus gummifera*
- Eucalyptus haemastoma*
- Eucalyptus piperita*
- Syncarpia glomulifera*
- Tristaniopsis laurina*

LARGE TREES FOR UNRESTRICTED AREAS

- Eucalyptus ptilularis*
- Eucalyptus saligna*

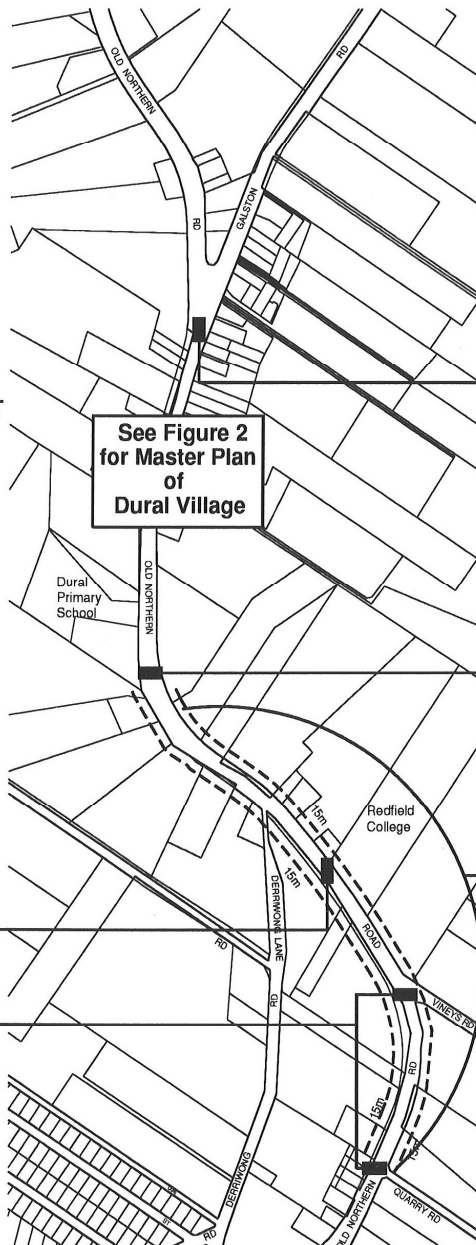
EXOTIC SPECIES

NO OVERHEAD WIRES

- Jacaranda mimosifolia*
- Pistacia chinensis*
- Ulmus parvifolia*
- Pinus radiata*

Low planting under wires subject to future road widening

Channelised intersections



See Figure 2 for Master Plan of Dural Village

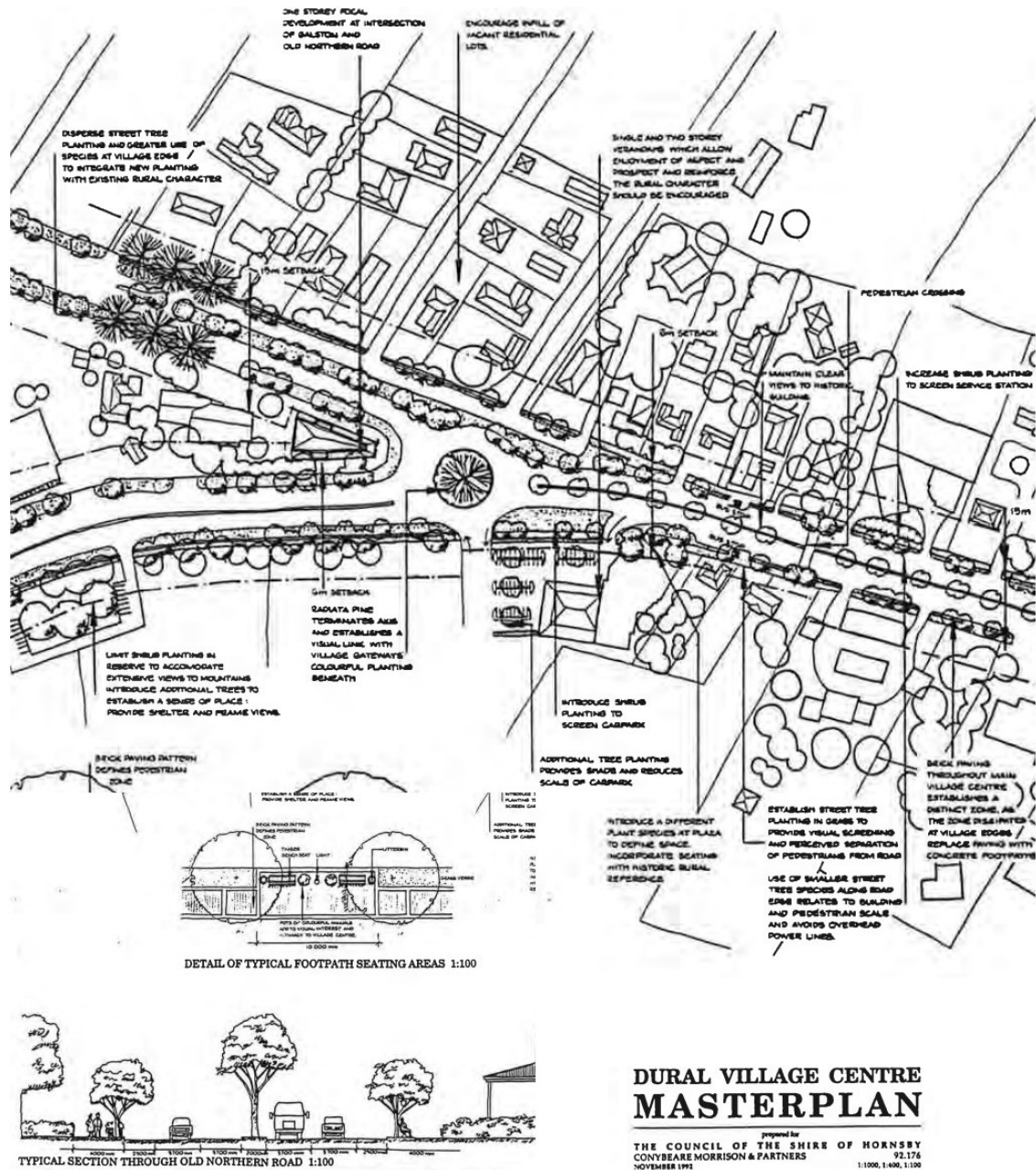
DURAL VILLAGE CENTRE

This area requires special attention to create its own identity or 'sense of place'. A rural theme should be established through the choice of signs, fencing and street furniture.

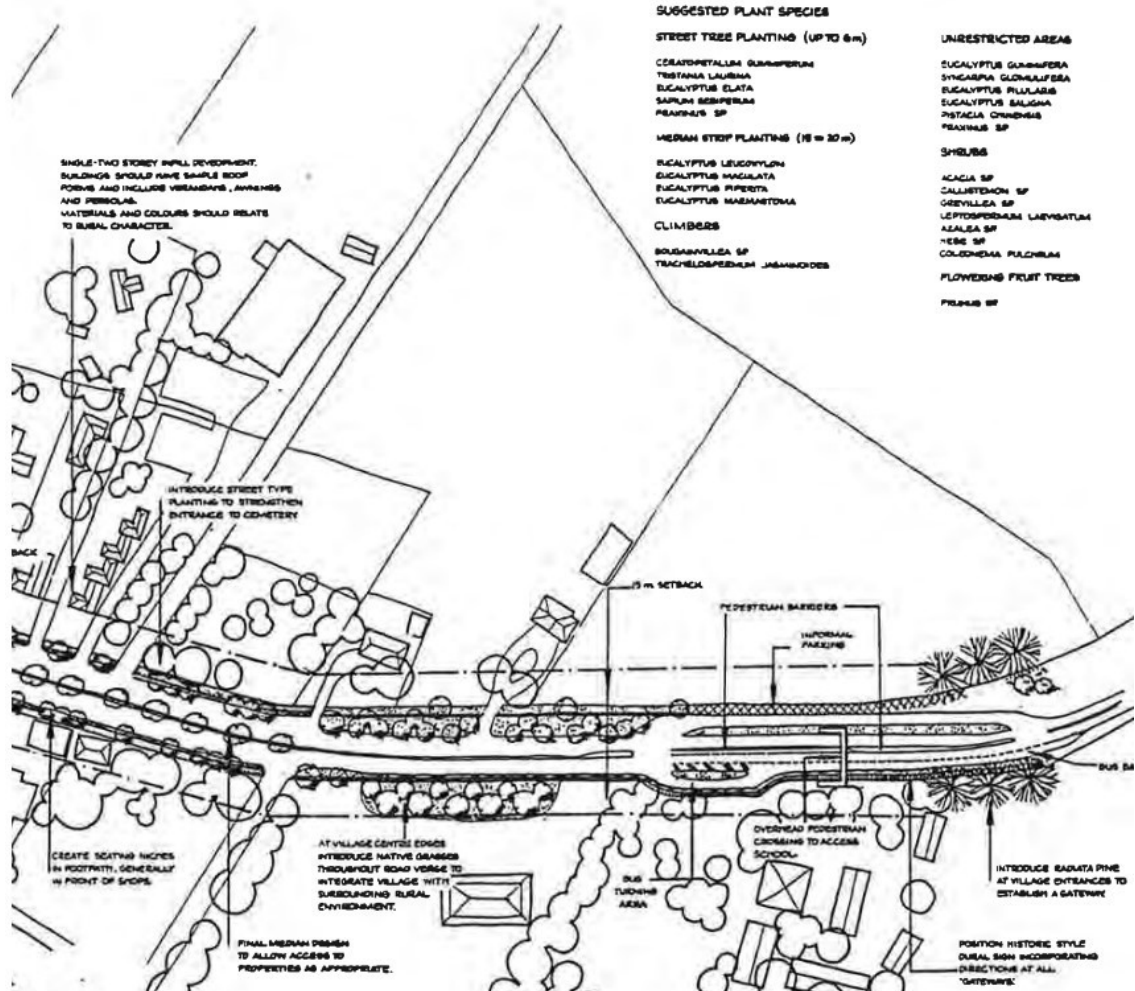
Planting subject to future road widening. Planting not to be placed in front of school to ensure vision is unrestricted.

Road to be widened to four lanes with a median strip extending from the Dural Village Centre to Quarry Rd. A 15m setback applies from the realigned road bound. Street tree planting to be implemented along both sides of Old Northern Road, north of Quarry Road where road widening has been completed.

Dural Village Masterplan (Figure 2)

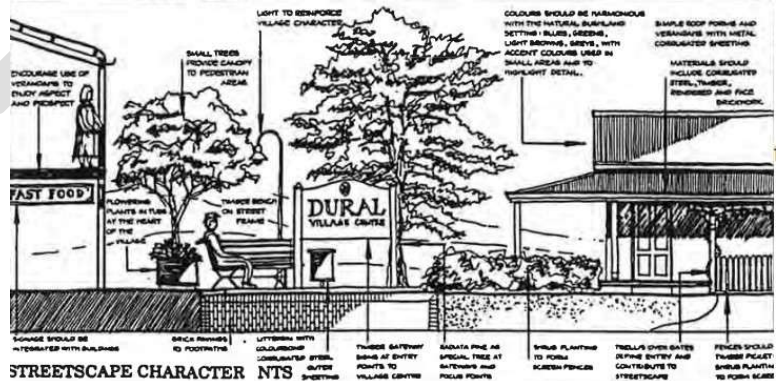


Dural Village Masterplan (Figure 2 cont)



- SUGGESTED PLANT SPECIES**
- STREET TREE PLANTING (UP TO 6m)**
- CECAYOPETALUM SUBSPERUM
  - YESTANIA LAURINA
  - EUCALYPTUS ELATA
  - SAPALM BESPERUM
  - PEARLWAVE SP
- MESHAN STREET PLANTING (15 = 20m)**
- EUCALYPTUS LEUCOPYLON
  - EUCALYPTUS MAGALATA
  - EUCALYPTUS PIPERITA
  - EUCALYPTUS MAEMASTOMA
- CLIMBERS**
- BOLSAWYLLA SP
  - TRACHELOPEDELM JAMAICANODES
- UNRESTRICTED AREAS**
- EUCALYPTUS GUMMIFERA
  - SINGAPURA GLOMERATA
  - EUCALYPTUS PULLABA
  - EUCALYPTUS SALIGNA
  - PTISIA CRANHEAS
  - FRAXINUS SP
- SHRUBS**
- ACACIA SP
  - CALISTEMON SP
  - GEVILLIA SP
  - LEPTOSPERMUM LAEVISATUM
  - AZALEA SP
  - HEBE SP
  - COLONHEMIA PALMIRUM
- FLOWERING FRUIT TREES**
- FRAXINUS SP

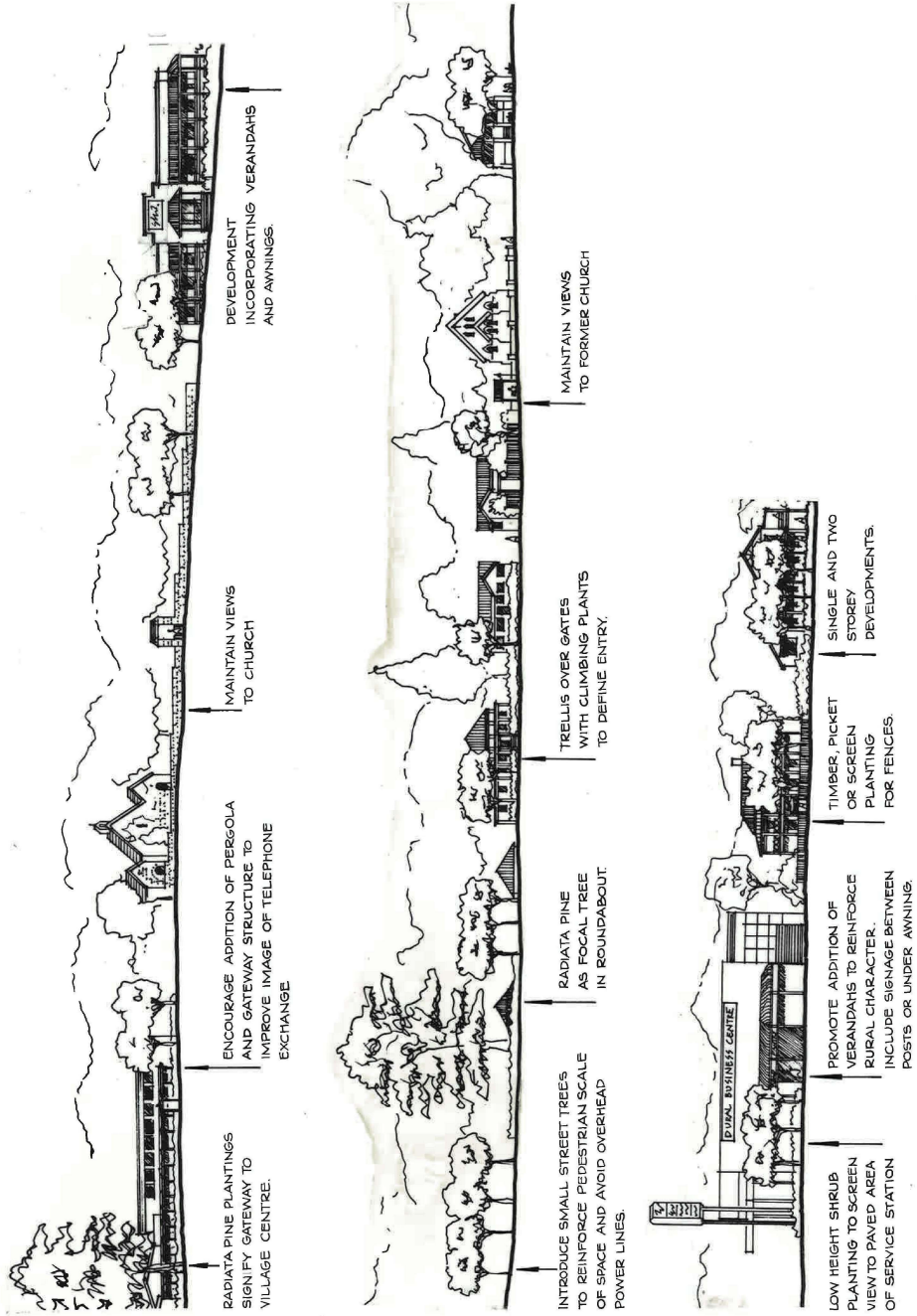
Note: A large scale plan is available from Hornsby Council's Planning Division if required.



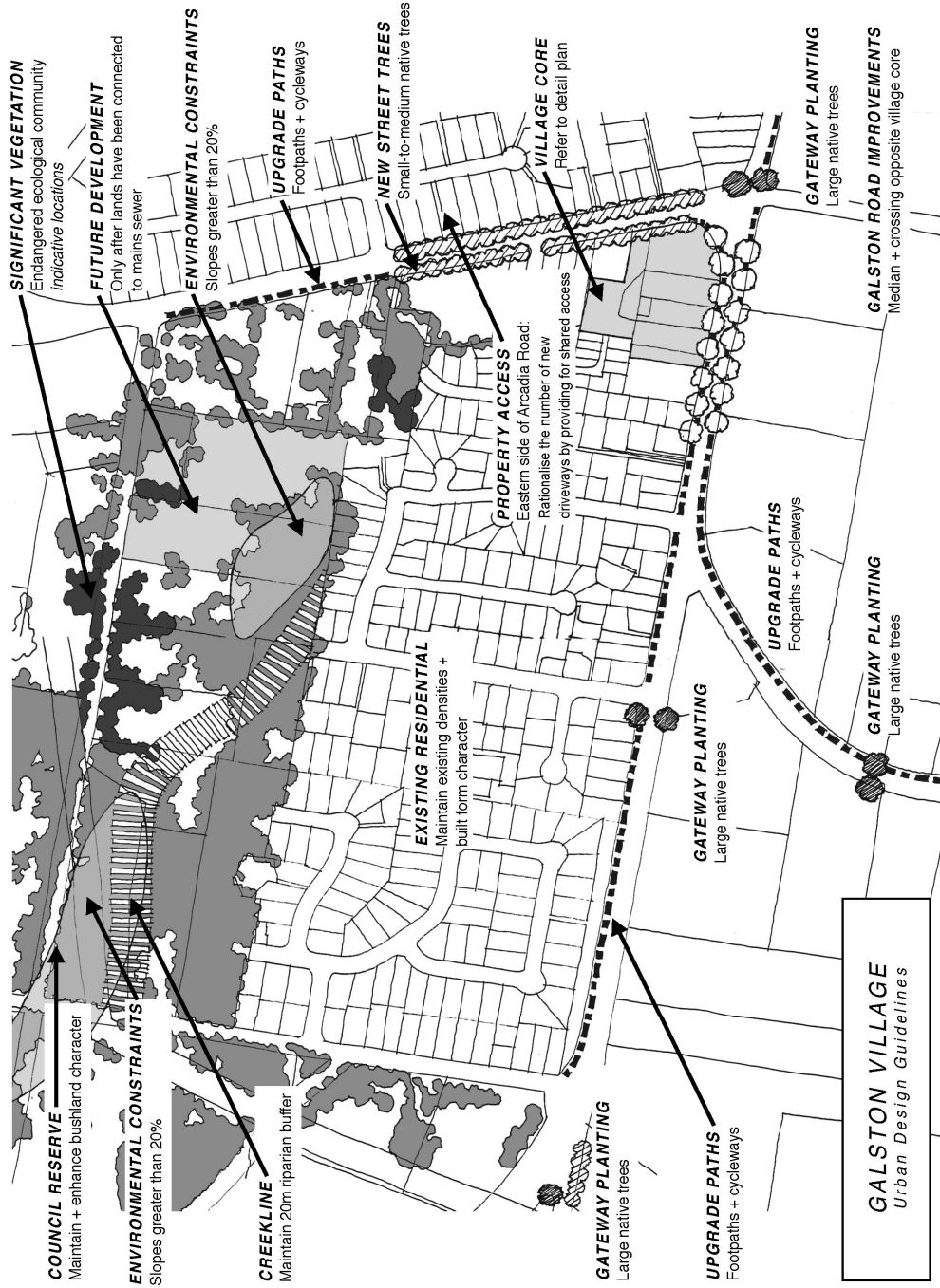
ATTACHMENT 2 - ITEM 3

Dural Village Masterplan (Elevation)

PART ELEVATION TO EASTERN SIDE OF GALSTON ROAD AND OLD NORTHERN ROAD



Galston Village Masterplan



ATTACHMENT 2 - ITEM 3

### Galston Village Masterplan

**STRATEGY**  
Complete the 1999 Master Plan with mixed use redevelopment of the remaining original property at 350-352 Galston Road

**BUILT FORM**  
Redevelopment on the remaining original property should not be taller than two storeys. The building should surround a central courtyard suitable for cafes and parking. The courtyard should be accessed only from the rear carpark area, and should sit next to the neighbouring driveway. Building forms should be compatible with scale and design of the existing shop building at 354-356 Galston Road.

**LANDSCAPE**  
Install the final portion of the Village Green. Emphasise identity of the village core by planting indigenous trees to shade the Green and associated carparking. Plant hedges or erect a low fence around the Green as a screen and as barriers to vehicles. Plant trees and hedges throughout the future courtyard development.

**SERVICING**  
Extend the existing laneway and carparking to create a one-way circuit that links Arcadia Road, Galston Road + Griffith Close. Extend existing 90 degree parking that is located behind numbers 354 - 356. Design pavements and intersections along the laneway and associated parking for cars and small rigid vehicles, and accommodate all access to existing buildings. Convert existing parking along Galston Road to angle parking spaces in conjunction with main road upgrading, subject to final design and RMS approval.

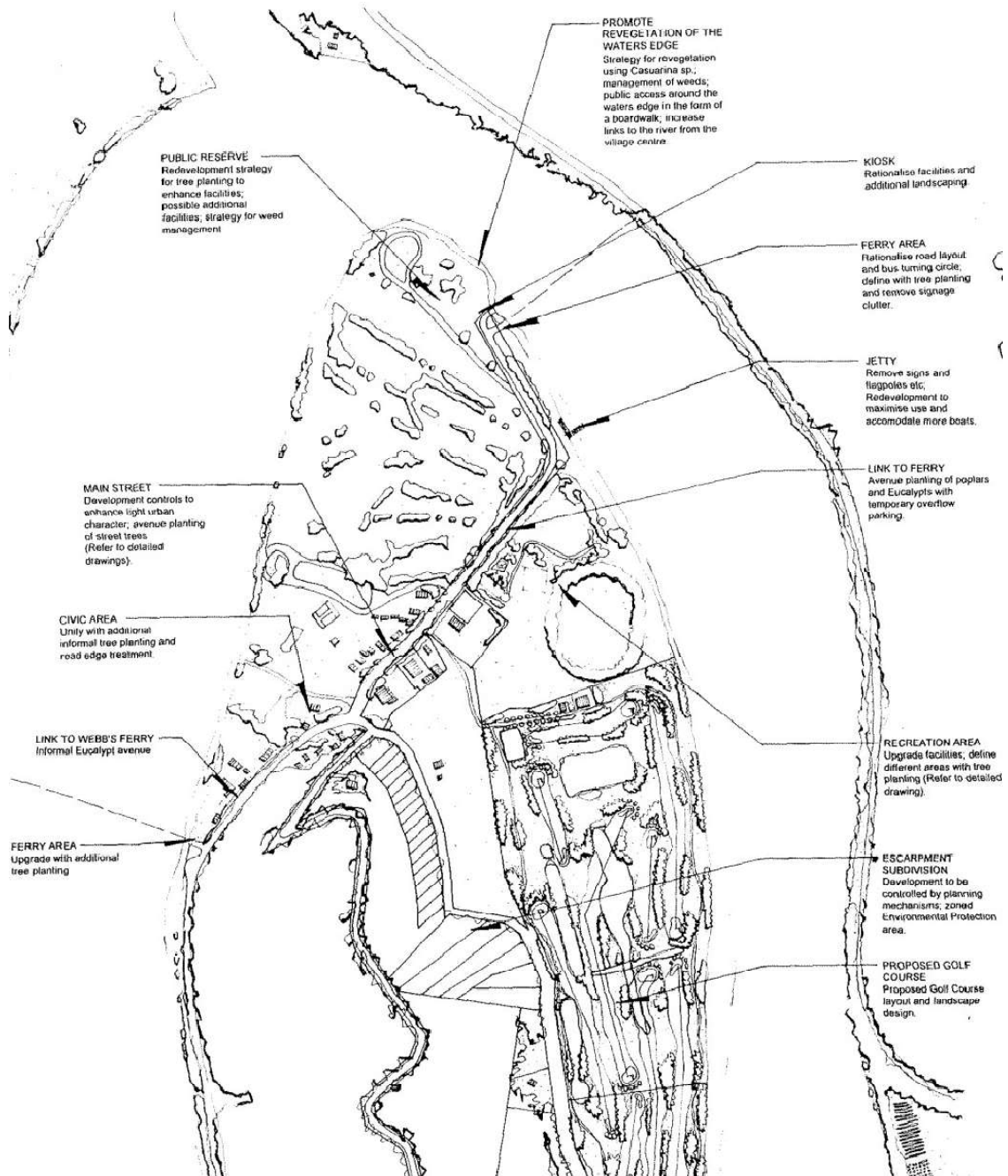
**PUBLIC FRONTAGES**  
Maximise pedestrian and retail activity by near-continuous shop fronts facing Galston Road and the Village Green. Divide the site by a covered walkway from Galston Road, which provides access and views toward the Village Green and the rear carpark. Provide near-continuous shopfronts along that walkway and facing the central courtyard. Relocate the pedestrian footpath located to the south of No.350-352 Galston Road to realign and link with the adjacent existing footpaths to the east and west.

**GALSTON VILLAGE CORE**  
*Urban Design Guidelines*

Rural Lands Development Control Plan  
Page 21

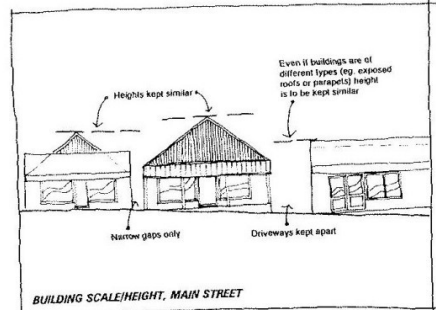
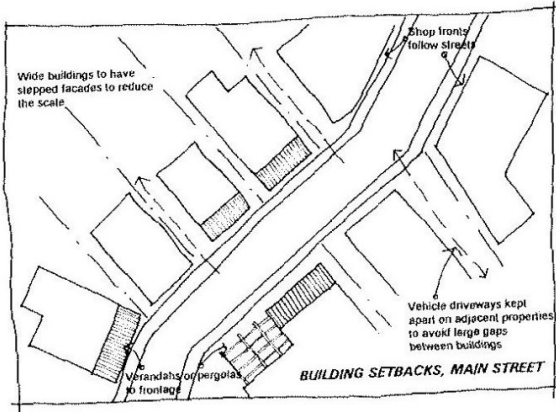
# ATTACHMENT 2 - ITEM 3

### Wisemans Ferry Village Masterplan

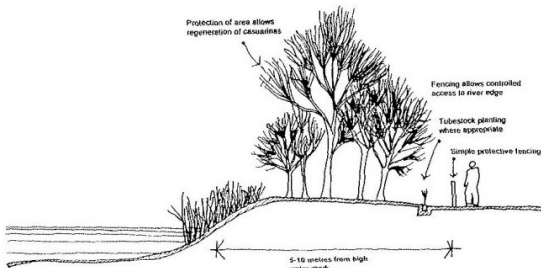


**ATTACHMENT 2 - ITEM 3**

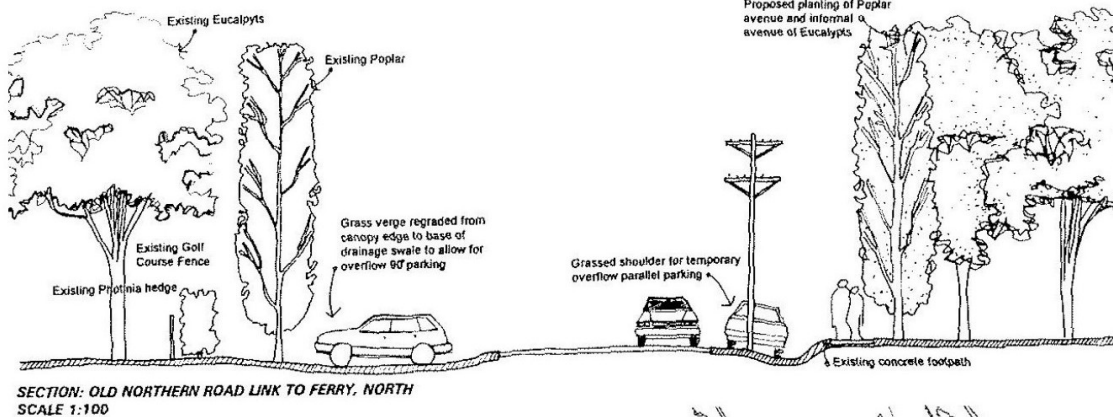
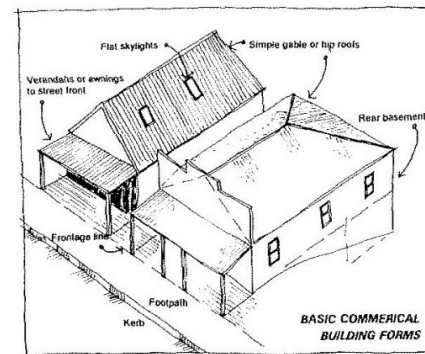
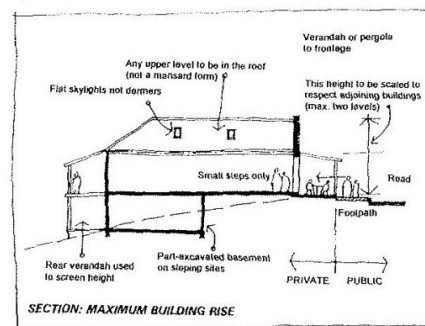
Wisemans Ferry Village Masterplan



SCALE 1:100



SCALE 1:100



SCALE 1:100

Glenorie Village Place Plan

# Place principles



**Strengthen the heart of the village**  
Enhance the central area of Glenorie Village by improving public spaces, transport systems, and accessibility to homes and businesses.



**Encourage housing diversity**  
Promote a more diverse and accessible range of housing in Glenorie Village to meet the changing needs and expectations of the Glenorie Community.



**Protect ecologically sensitive areas**  
Safeguard the natural landscapes and ecosystems of Glenorie by preserving areas with biodiversity and riparian value and keeping development away from hazard prone areas.



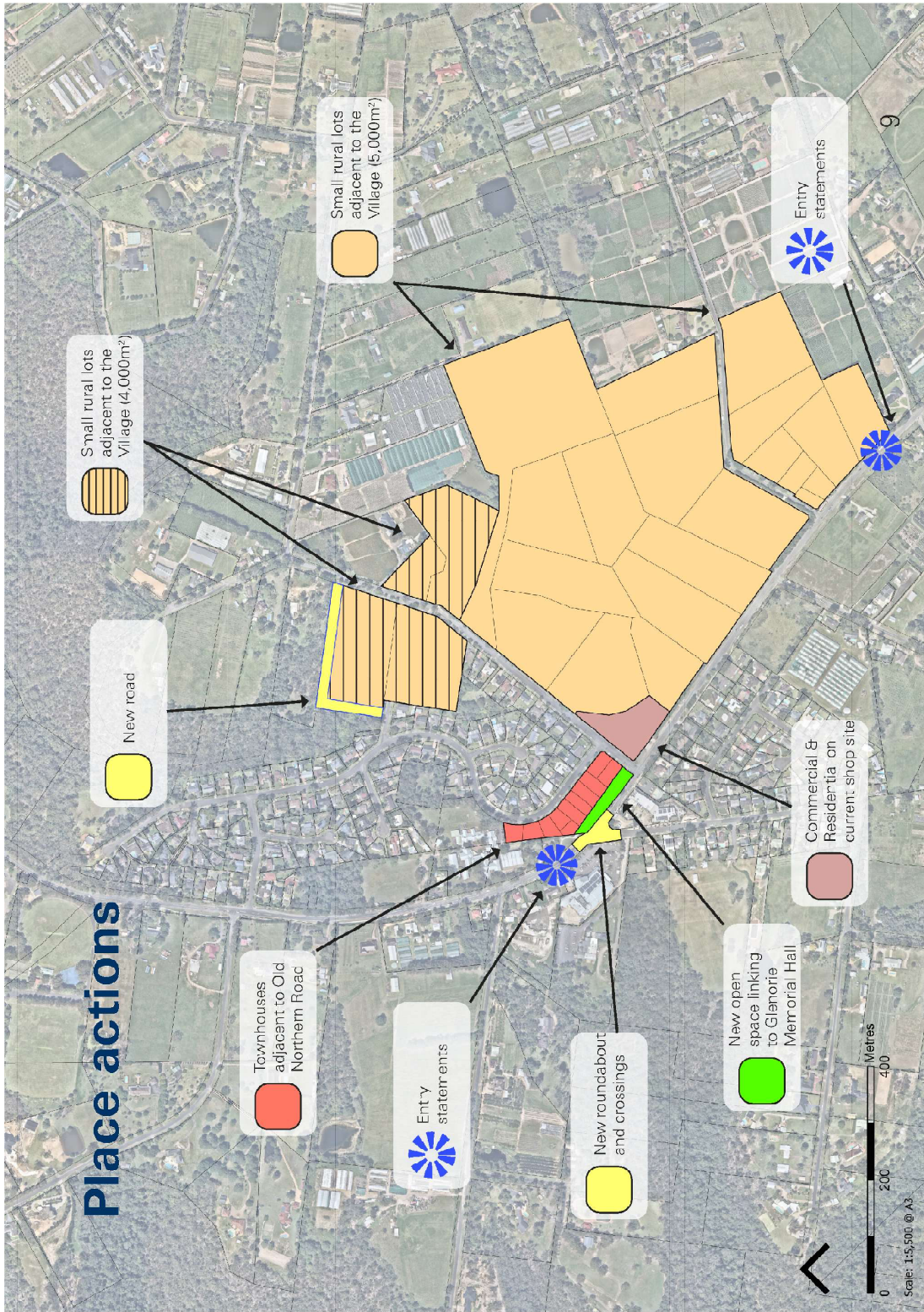
**Retain the rural character of Glenorie**  
Retain and preserve the distinctive rural charm and heritage of Glenorie by safeguarding agricultural lands, supporting rural employment, and minimising conflicts between rural activity and adjoining land uses.

8

[Glenorie Village Place Plan](#)

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**ATTACHMENT 2 - ITEM 3**



# ATTACHMENT 2 - ITEM 3

## 2.4 Rural Villages

The following provides controls for commercial and shop top housing development on land zoned RU5 Village.

### 2.4.1 Scale

#### Desired Outcomes

- a. Development with a height, scale and intensity compatible with the role and function of a rural village.

#### Prescriptive Measures

##### Height

- a. Sites with the following maximum building height under Clause 4.3 of the HLEP should comply with the maximum number of storeys in Table 2.4.1-a.

**Table 2.4.1-a: Translations of Height to Storeys**

HLEP Area	Maximum Building Height (m)	Shop Top Housing Maximum Storeys (excluding basement carparking)
I	8.5m	2
K	10.5m	3

- b. Basement car parking that protrudes more than 1 metre above existing ground level is counted as a storey.
- c. A transition in building height should be provided at sensitive interface areas adjacent to heritage items.

##### Floor Space Ratio

- d. The maximum floor space ratio for shop top housing development shall be in accordance with the HLEP Floor Space Ratio Map as follows:

**Table 2.4.1-b: Summary of HLEP FSR Provisions**

HLEP Area	Maximum Floor Space Ratio
D	0.5:1

#### Notes:

Building height (or height of building) means the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.

Storey means a space within a building that is situated between one floor level and the floor level next above, or if there is no floor above, the ceiling or roof above, but does not include:

- (a) a space that contains only a lift shaft, stairway or meter room, or
- (b) a mezzanine, or
- (c) an attic.

Commercial means business, office and retail premises.

Shop top housing means one or more dwellings located above the ground floor of a building, where at least the ground floor is used for commercial premises or health services facilities.

Basement means the space of a building where the floor level of that space is predominantly below ground level (existing) and where the floor level of the storey immediately above is less than 1 metre above ground level (existing).

Refer to Part 9 Heritage of this DCP for additional heritage controls.

As detailed in Clause 4.5 of the HLEP, the floor space ratio of buildings on a site is the ratio of the gross floor area of all buildings within the site to the site area. See the HLEP for the definition of gross floor area.

Storey controls are based on a typical industrial floor to floor height of 5 metres, commercial floor to floor height of 4 metres, residential floor to floor height of 3 metres and some roof projections. The storey controls provided in the DCP are a best fit for the height controls (metres) provided in the HLEP.

**2.4.2 Setbacks**

**Desired Outcomes**

- a. Setbacks that complement the streetscape and establish a “pedestrian-friendly” scale for primary and secondary retail frontages.
- b. Setbacks that maintain the amenity of adjoining land uses.

**Prescriptive Measures**

General

- a. Buildings and structures should comply with the setbacks prescribed in Table 2.4.2-a.

**Table 2.4.2-a: Minimum boundary setbacks**

Setback	Minimum Setback
<u>Front Boundary (to all roads)</u>	<u>0m</u>
<u>Side Boundary (including balconies)</u>	<u>0m unless adjoining a residential or open space zone</u>
<u>Rear Boundary</u>	<u>0m unless adjoining a residential or open space zone</u>
<u>Side and Rear Boundaries (where the site adjoins a residential or open space zone)</u>	<u>A minimum of: 1m for buildings up to 8.5m high, and 3m for buildings above 8.5m</u>
<u>Basement Parking</u>	<u>3m</u>

- b. Where a property adjoins a boundary with a residential land use, greater setbacks may apply to the upper storeys in accordance with the separation controls in Section 2.4.5 Privacy and Security.
- c. A transition in setbacks should be provided at sensitive interface areas adjacent to heritage items.

Setbacks to Landscape Features

- d. The setback of buildings and ancillary facilities from the property boundary may need to be increased to maintain landscape features, as detailed in Section 2.4.4 of this DCP.

Setback Encroachments

- d. The following minor structures are able to encroach into the prescribed setbacks:
  - Driveways or basement ramps up to 6 metres wide with deep soil verges at least 2 metres wide adjacent to the side boundary.
  - Roof eaves and awnings.
  - Pergolas for private or communal open spaces which are situated upon a podium.
  - Sunshades and screens, and
  - Blade columns which support roofs or sunshades

### 2.4.3 Open Spaces

#### Desired Outcomes

- a. Development that incorporates passive and active recreation areas with privacy and access to sunlight.

#### Prescriptive Measures

##### Private Open Space

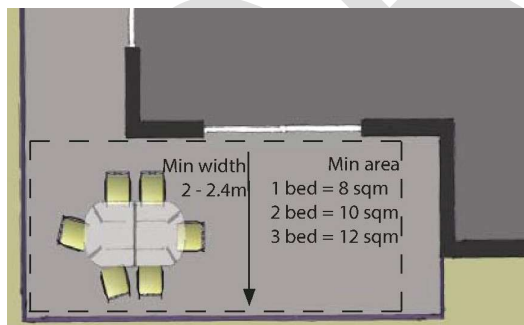
- a. Every dwelling should be provided with a principal private open space in accordance with Table 2.4.3-a.

**Table 2.4.3-a: Minimum Private Open Space**

Dwelling Type	Minimum Principal Private Open Space Area	Minimum Width
Studio	4m <sup>2</sup>	1m
1 Bed Unit	8m <sup>2</sup>	2m
2 Bed Unit	10m <sup>2</sup>	2m
3+ Bed Unit	12m <sup>2</sup>	2.4m
Ground level	15m <sup>2</sup>	3m

- b. Private open spaces should be designed as "outdoor rooms" that adjoin interior living areas, with L-shaped or irregular floorplans that would accommodate a number of outdoor activities plus extensive screening to provide privacy and shade.
- c. Enclosure of private open space areas as 'wintergardens' should be avoided.

**Figure 2.4-a: Private open space in a residential flat (I)**



##### Clothes Drying Area

- d. Each dwelling should have an external air clothes drying area that is separate from the principal private open space area. This facility is to be screened from public places and communal areas.

## 2.4.4 Landscaping

### Desired Outcomes

- a. Development that contributes to attractive streetscapes by providing shade along pedestrian frontages and screen planting along boundaries.
- b. Development that preserves significant trees that add to the environmental character of the rural village.

### Prescriptive Measures

#### General

- a. Landscaping should be included in building setback areas to complement the appearance of the building.
- b. Setbacks from sensitive areas should be fully landscaped.
- c. Primary and secondary retail frontages should be landscaped with tree plantings combined with paving in accordance with the following:
  - Street tree planting should be provided where appropriate having regard to site lines, footpath widths, underground services and awnings. Consideration should be given to the use of trees to provide shade in summer and allow sunlight in winter when selecting and positioning trees.
  - Pavements within each precinct should be of a consistent design, constructed of durable and non-slip modular units that are resistant to fading, discolouration and chipping, and that may be readily removed and replaced following future installation of in-ground services.

#### Shop Top Housing

- d. Residential levels should be landscaped with native or exotic species in planter boxes watered by recycled grey water or stormwater to provide screening.
- e. Where communal open space is provided, these spaces should include lawn areas surrounded by hedges of shrubs.

### Retention of Landscape Features

- f. The proposed building, ancillary structures, driveways, drainage and service trenches should be setback:
  - in accordance with the 'Watercourses' element in Section 1.3.1.3 of this DCP,
  - 10-20 metres to significant bushland as detailed in the 'Biodiversity' element in Section 1.3.1.1 of this DCP, and
  - in accordance with the requirements of AS 4970 for significant trees to be retained.

### Fencing

- g. Fencing is discouraged in the primary and secondary boundary setbacks.
- h. Allotments adjoining residential lands should be fenced with appropriate residential style fencing.
- i. Fencing enclosing private residential courtyards may be up to 1.8 metres high if constructed from lightweight materials with the design allowing at least 50 percent openings/transparency.

#### Notes:

Sensitive areas include any adjoining residential lands, community uses, educational uses, public open spaces and recreational areas.

The applicant is encouraged to incorporate plant species indigenous to Hornsby Shire as part of the development. Refer to Council's website [www.hornsby.nsw.gov.au](http://www.hornsby.nsw.gov.au).

#### Main roads

Development adjoining roads that are subject to Section 2.119 of the Transport and Infrastructure SEPP require separate approval from Transport for NSW (TfNSW) for access to State and Regional Roads as classified by TfNSW. A list of classified and unclassified main roads for Hornsby Shire is provided in Annexure C.

## 2.4.5 Privacy and Security

### Desired Outcomes

- a. Development designed to provide reasonable privacy to proposed and adjacent residential properties and high levels of security.

### Prescriptive Measures

#### Privacy

- a. For development at the interface of a village area and a residential or rural zone, development should encourage views from the village area to the horizon rather than downward onto residential or rural areas.
- b. The commercial and residential component of the development should be distinguished in terms of building entries and private, communal and public open space.
- c. Orient dwellings living rooms and principal private open space areas primarily towards the front and rear of the site to promote privacy to dwellings.
- d. Building separation should comply with Part 2F Building Separation of the Apartment Design Guide.
- e. For properties with a boundary interface with a lower density zone, an additional 3 metre building separation should be provided.
- f. Where communal open space is provided, balconies, terraces or bedroom windows near communal areas should be screened or separated from the street and active communal areas by landscaping to protect the privacy of dwelling occupants.
- g. Common residential lobbies that face a side boundary should be screened to prevent overlooking and the transfer of noise across side boundaries.

#### Security

- h. Identify a safe, clear and direct pedestrian and cyclist entrance to the building/s from the primary street frontage.
- i. Private open spaces, living room windows, commercial unit windows and lobbies should be designed and oriented to overlook the street and communal open spaces on the side.
- j. Communal hallways, including access to entrance foyers, should be limited in length and desirably provide windows so that hallways may overlook the street or communal areas.
- k. Where a mix of land uses are proposed, separate, secure access should be provided to lift lobbies, basement, and communal storage areas.

#### Notes:

A privacy screen means a screen that is at least 1.5 metres high, measured from the floor level, and has no individual opening more than 30 millimetres wide, and has a total of all openings less than 30 percent of the surface area of the screen. A privacy screen required to protect an adjacent residence is to be fixed.

## 2.4.6 Sunlight and Ventilation

### Desired Outcomes

- a. Development designed provide reasonable solar access to living areas and open space areas.
- b. Development designed to provide natural cross ventilation.

### Prescriptive Measures

#### General

- a. On 22 June, public open space areas, plaza areas and footpaths should receive at least 2 hours of sunlight between 9am and 3pm to at least 50% of the area.
- b. On 22 June, at least 70 percent of dwellings should receive 2 or more hours of unobstructed sunlight access to at least half of the dwellings principal living room windows and principal private open space area between 9am and 3pm.
- c. On 22 June, communal open space should receive a minimum 50% direct sunlight to the principal useable part of the communal open space for a minimum of 2 hours between 9am and 3pm.
- d. Every habitable room should have a window in an external room with a total minimum glass area of not less than 10% of the floor area of the room.
- e. A window should be visible from any point in a habitable room.
- f. At least 60 percent of dwellings should have dual aspect and natural cross ventilation.

#### Note:

The Sustainable Buildings SEPP requires a BASIX certificate for new dwellings to facilitate energy efficient housing.

## 2.4.7 Housing Choice

### Desired Outcomes

- a. A range of dwelling types that match the demographic diversity of Hornsby Shire and are accessible or may be adapted to meet the needs of people who have limited physical mobility.

### Prescriptive Measures

- a. Development should include a mix of 1, 2 and 3 bedroom dwellings. For developments with 10 or more dwellings, at least 10 percent of each dwelling type should be provided.
- b. For developments with more than 10 dwellings:
  - At least 10% of proposed dwellings should be Adaptable Housing, designed to meet the needs of residents as they age.
  - At least 20% of proposed dwellings should be Universal Design housing in accordance with the Liveable Housing Guidelines silver level design features.
  - Adaptable and Universal Design housing is to be equitably distributed through all types and sizes of dwellings.

#### Notes:

See Section 1.3.2.2 of this DCP for more details on Universal Housing and Adaptable Housing.

**2.4.8 Vehicle Access and Parking**

**Desired Outcomes**

a. Development that provides sufficient and convenient parking for residents and visitors with vehicular access that is simple, safe, and direct.

**Prescriptive Measures**

**Vehicular Access**

a. Access to garages and storage areas should be confined to side and rear facades, with access from main roads avoided.

**Note:**

Refer to Part 1 General of the DCP for car parking, service vehicle, bicycle parking provisions and ancillary general design requirements.

**Main roads**

Development adjoining roads that are subject to Section 2.119 of the Transport and Infrastructure SEPP require separate approval from Transport for NSW (TfNSW) for access to State and Regional Roads as classified by TfNSW. A list of classified and unclassified main roads for Hornsby Shire is provided in Annexure C.

**Parking**

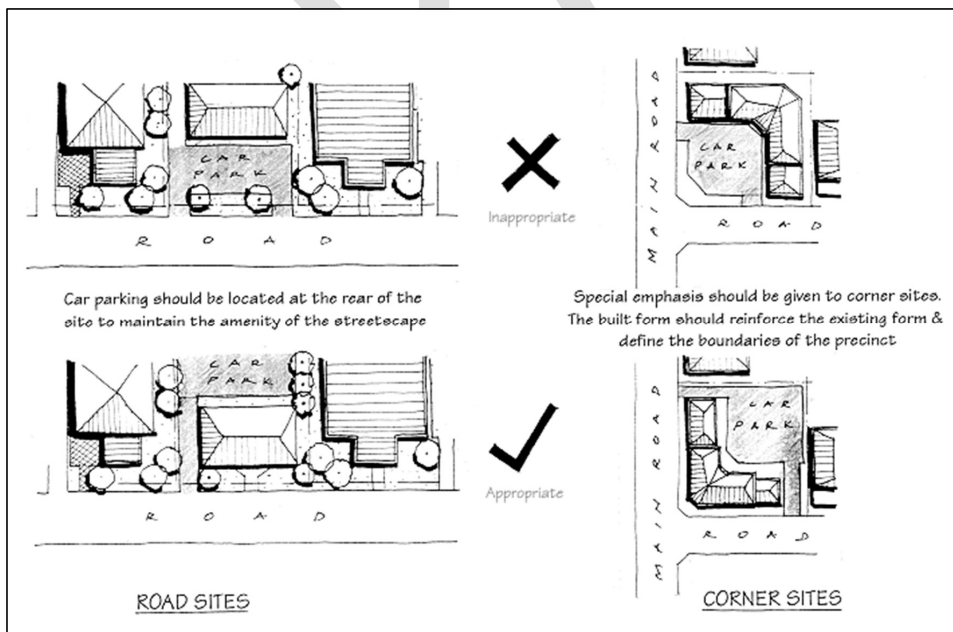
b. On-site car parking should:

- be provided behind buildings or beneath buildings in a basement.
- not be sited within a front setback area.
- be accessed via rear laneways or side streets where available.
- be screened from the street and other public areas by landscaping.
- design the basement car park entrance to incorporate other facade elements such as overhanging balconies or side planter boxes in the composition of the facade.
- All ramps are to be designed as two way ramps accordance with AS 2890.1 and AS 2890.2, and
- All ramps are to be designed in accordance with the exits and entry widths of AS 2890.1 and AS 2890.2.

**Ancillary Fixtures and Facilities**

c. Separate dedicated and secure storage areas for each dwelling should be provided in basement car parks suitable to accommodate larger items such as sporting equipment.

Figure 2.4-b: Car park siting principles (I)



## 2.4.9 Public Domain and Traffic Management Works

### Desired Outcomes

- a. A public domain that encourages vitality around and within development precincts.
- b. Traffic management works that provide for the safe and efficient movement of vehicles to, from and within precincts.

### Prescriptive Measures

#### Public Domain

- a. Development of the public domain should make the villages ~~each precinct~~ an attractive place that encourages development and provides amenity for workers, residents, and visitors.
- b. Embellishment of the public domain should include street furniture, new street plantings, and footpath improvements.
- c. Dedicated pedestrian paths should be provided in front of businesses and continuous awnings should be provided along principal active street frontages.
- d. Mixed use development within villages should enhance the role of the public domain as a meeting and gathering place and should encourage active use of the public domain through active street frontages.
- e. Balconies should not be located on, or overhang the road reservation.
- f. For development incorporating shopfront awnings, the awnings should be continuous and setback from the edge of the kerb in accordance with Council or the Transport for NSW requirements.

#### Outdoor Dining

- g. Outdoor dining areas should be located in areas with good amenity, landscape, outlook, solar access in winter, shading in summer and a compatible local traffic environment.

#### Note:

Outdoor dining proposed on Council land should comply with Council's Outdoor Dining Code.

### Traffic Management Works

- h. Council or the relevant authority will undertake the necessary traffic management improvements located on public land and roads. Development should be designed to accommodate and complement the proposed traffic improvements or offer alternative traffic management solutions.
- i. Development proposing alternative traffic management solutions should be accompanied by a comprehensive traffic assessment.

#### Note:

This DCP will inform Council's Civic Works Program and Street Tree Planting Program.

**2.4.10 Design Details**

**Desired Outcomes**

a. Development that contributes positively to the streetscape and the creation of a vibrant active precinct.

**Prescriptive Measures**

**General**

a. Building design should:

- have an external appearance that provides for a distinctive base, middle and top.
- provide active commercial ground floor uses that are at the same general level as the public footpath and area accessible directly from the public domain.
- provide frontages on upper levels that facilitate passive surveillance of the street.
- incorporate awnings that relate to the architecture of the facade and provide for continuous shelter for pedestrians, and
- embody active living principles.

b. Corner buildings should be designed to:

- address both streets.
- incorporate distinctive features to enhance the streetscape, and
- incorporate a splayed or square recess-treatment to give form to the intersection and provide more circulation space for pedestrians at the corner.

c. Roof fixtures and lift overruns or service plans should be incorporated into the design of the roof to minimise visual intrusiveness and support an integrated building design.

**Note:**

These controls apply to all developments unless contrary to the Masterplans that prevail in the event of any inconsistency.

To achieve active living principles development should have regard to NSW Health's Healthy Urban Development Checklist and the National Heart Foundation's Blueprint for an Active Australia.

See Section 1.3.2.5 Noise and Vibration of this DCP for additional controls that may apply regarding noise and vibration may for development along major road corridors. See Section 1.3.2.4 of this DCP for additional controls that may apply regarding effluent disposal.

Figure 2.4-c: A two - three storey development with an active commercial ground floor (l)



Facades

- d. Continuous active frontages are to incorporate windows and doors and avoid long expanses of blank walls along street frontages or other public areas.
- e. Infill buildings should be designed to reinforce continuity, symmetry, and unity in the streetscape (see Figure 2.4-d)
- f. Materials should relate to the context of buildings within the area to achieve continuity and harmony.
- g. Large areas of glass may be included, however, mirrored glass with a reflectivity in excess of 15 percent should be avoided.
- h. Where adjacent to bushland areas, buildings should have recessive colours and external finishes consistent with the nearby bushland areas (i.e. grey greens, grey blues, browns, etc).
- i. A balance between horizontal and vertical elements should be provided through careful placement of windows, colour patterns and signage.
- j. Security screens, grilles and bars should provide minimum 60 percent transparency.

Figure 2.4-d: Infill development design principles. (C)



### 2.4.11 Effluent Disposal

#### Desired Outcomes

- a. Development that disposes of effluent in a manner that minimises impacts on public health, village amenity, and the natural and built environment.

#### Prescriptive Measures

- a. Development for commercial or shop top housing purposes should not rely on on-site effluent disposal where the size of the lot is less than 5,000m<sup>2</sup>, unless it can be demonstrated that the site is capable of accommodating on-site effluent disposal that achieves the desired outcomes of Section 1.3.2.4 of this DCP.
- b. Pump-out effluent disposal should not be used for commercial or shop top housing development.

#### Note:

See Section 1.3.2.4 Effluent Disposal of this DCP for additional controls that may apply regarding effluent disposal.

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ATTACHMENT 2 - ITEM 3

## 2.4.2.5 Dural Village

The following provides controls for development in the RU5 Rural-Village Zone (Dural):

### 2.4.1.2.5.1 Scale

#### Desired Outcomes

- a. Development with a height, bulk and scale that is compatible with the character and amenity of the Village Centre.

#### Prescriptive Measures

##### Height

- a. Sites with the following maximum building heights under Clause 4.3 of the HLEP should comply with the maximum number of storeys in Table 2.5.1-a.

Table 2.5.1-a: Translations of Height to Storeys

HLEP Area	Maximum Building Height (m)	Maximum Storeys (excluding basement carparking)
I	8.5m	2 storeys + attic

- b. Buildings should respond to the topography of the site by:
  - minimising earthworks (cut and fill), and
  - siting the floor level of the lowest residential storey a maximum of 1.5 metres above natural ground level.
- c. A transition in building height should be provided at sensitive interface areas adjacent to heritage items.

#### Notes:

**Building height (or height of building)** means the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.

**Storey** means a space within a building that is situated between one floor level and the floor level next above, or if there is no floor above, the ceiling or roof above, but does not include:

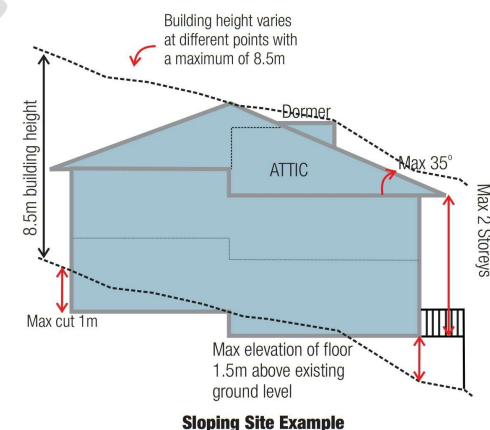
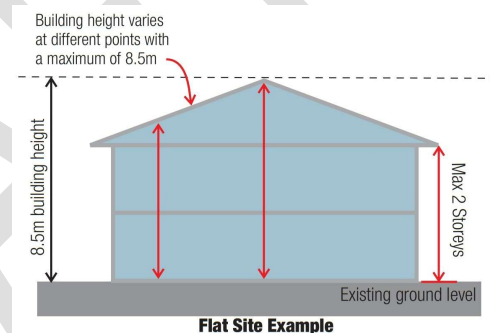
- (a) a space that contains only a lift shaft, stairway or meter room, or
- (b) mezzanine, or
- (c) an attic.

**Basement** means the space of a building where the floor level of that space is predominantly below ground level (existing) and where the floor level of the storey immediately above is less than 1 metre above ground level (existing).

#### Roof Design

- d. Low pitched roofs with wide eaves should be encouraged for compatibility with streetscape character and sun control.
- e. The roof should have a maximum pitch of 35 degrees, except if a steeper roof pitch is more consistent with the existing character of the locality.
- f. Any attic level is to be contained wholly within the roofspace.
- g. The external walls of the building should not extend above the attic floor level.

Figure 2.5-a: Explanation of building height controls (I) Height controls are based on a typical residential floor to floor height of 3 metres, with allowances for roof articulation and undercroft areas for steeply sloping sites.



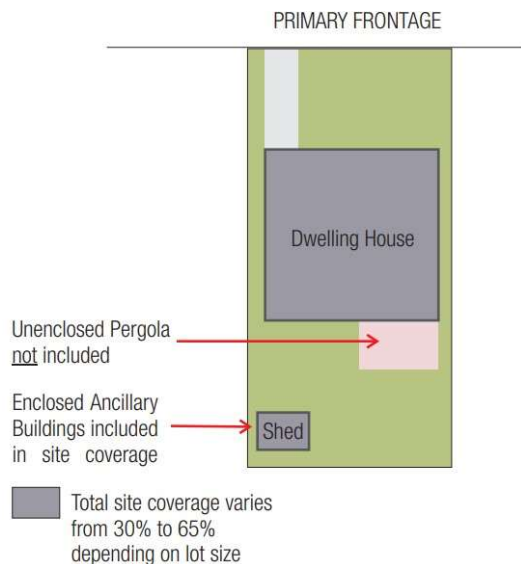
Site Coverage

h. The maximum site coverage of all buildings on the property should comply with Table 2.5.1-b:

Table 2.5.1-b: Maximum Site Coverage

Lot size	Maximum site coverage (% of total lot size)
200m <sup>2</sup> to 249m <sup>2</sup>	65%
250m <sup>2</sup> to 299m <sup>2</sup>	60%
300m <sup>2</sup> to 449m <sup>2</sup>	55%
450m <sup>2</sup> to 899m <sup>2</sup>	50%
900m <sup>2</sup> to 1499m <sup>2</sup>	40%
1500m <sup>2</sup> or larger	30%

Figure 2.5-b: Site coverage calculation (l)



Floor Space

i. The maximum floor space ratio shall be in accordance with the HLEP Floor Space Ratio Map as summarised in Table 2.5.1-c.

Table 2.5.1-c: Maximum Floor Space Ratio

HLEP Area	Maximum Floor Space Ratio
D	0.5:1

j. In accordance with Clause 6.6 of the HLEP, development for the purpose of health consulting rooms, medical centres, office premises, restaurants, or cafes, or take away food and drink premises, is limited to the following per allotment:

- a maximum gross floor area per premises of 100m<sup>2</sup> and a maximum of 3 premises listed above per allotment, or
- if the use is wholly within the external walls of a dwelling that existed prior to 21 February 2003, there is no prescribed limit.

Notes:

**Site coverage** means the proportion of a site area covered by buildings. However, the following are not included for the purpose of calculating site coverage:

- any basement,
- any part of an awning that is outside the outer walls of a building and that adjoins the street frontage or other site boundary,
- any eaves,
- unenclosed balconies, decks, pergolas and the like.

**Floor Space Ratio** as detailed in Clause 4.5 of the HLEP, means the ratio of the gross floor area of all buildings within the site to the site area. See the HLEP for the definition of Gross Floor Area.

**2.4.2.5.2 Setbacks**

**Desired Outcomes**

- a. Setbacks that are compatible with adjacent development and complement the streetscape.
- b. Setbacks that allow for canopy trees to be retained and planted along the front and rear property boundaries.

**Prescriptive Measures**

- a. All buildings and structures should comply with the minimum boundary setbacks in Table 2.5.2-a.

**Table 2.5.2-a: Minimum Boundary Setbacks**

Boundary Setback	Minimum Building Setback
All public road boundaries	6m to local roads and 9m to designated roads, except for: 539 Galston Rd and 925-945 Old Northern Road - 6m to designated road
Side boundary	up to 1 storey = 0.9m 2 storey element = 1.5m
Rear boundary	up to 1 storey = 3m 2 storey element = 8m

- b. The setback is to be measured from the TfNSW realigned road boundary. The road reservation is depicted on the HLEP Land Reservation Acquisition Map.
- c. For the purpose of the setback controls, a 1 storey building, or element is not to exceed a building height of 4.5 metres above existing ground level.
- d. Notwithstanding the above, carparking for commercial uses should be setback 3 metres from side boundaries.
- e. The setback of the building and ancillary structures from the property boundary may need to be increased to maintain landscape features, as detailed in Section 2.5.3 of this DCP.

**Setback Encroachments**

- f. The following minor structures are able to encroach into the prescribed setbacks:
  - A driveway between the on-site car parking area and a public road,
  - Stairs to the ground floor of the building,
  - Fences,
  - A single storey outbuilding, with a maximum floor area of 25m<sup>2</sup>, is able to encroach to within 0.9 metres of the rear boundary (e.g. garden shed, garage, pergola), and
  - An inground swimming pool is able to encroach to within 1 metre of the rear boundary, measured to the water line.

**Notes:**

**Designated roads** are Council identified roads that require development to have an increased setback from the road edge, consistent with the established streetscape. A list of designated roads is provided in Annexure C.

The rear boundary is ordinarily located parallel to and/or opposite the primary frontage which is the shorter street frontage.

**2.4.3 2.5.3 Landscaping**

**Desired Outcomes**

- a. Landscaping that integrates the built form with soft landscaping and retains and enhances the tree canopy.
- b. Development that retains existing landscape features.

**Prescriptive Measures**

- a. The minimum landscaped area on a property should comply with Table 2.5.3-a:

**Table 2.5.3-a: Minimum Landscaped Area**

Lot size	Minimum Landscaped Area (% of the lot size)
200m <sup>2</sup> to 299m <sup>2</sup>	10%
300m <sup>2</sup> to 449m <sup>2</sup>	15%
450m <sup>2</sup> to 599m <sup>2</sup>	20%
600m <sup>2</sup> to 899m <sup>2</sup>	30%
900m <sup>2</sup> to 1499m <sup>2</sup>	40%
1500m <sup>2</sup> or larger	45%

- b. Areas included as part of the minimum landscaped area should have a minimum width of 1.5 metres.
- c. At least 50 percent of the minimum landscaped area should be located behind the building line to the primary road frontage.
- d. A proportion of the front yard should be maintained as landscaped area as follows:
  - 25 percent of the front yard for lots less than 18 metres wide, and
  - 50 percent of the front yard for lots greater than 18 metres wide.

Notes:

**Landscaped area** means a part of a site used for growing plants, grasses and trees but does not include any building, structure, or hard paved area. (Note: Swimming pools are not included in the minimum landscaped area calculation).

The applicant is encouraged to incorporate plant species indigenous to Hornsby Shire as part of the development. Refer to Council’s website [www.hornsby.nsw.gov.au](http://www.hornsby.nsw.gov.au)

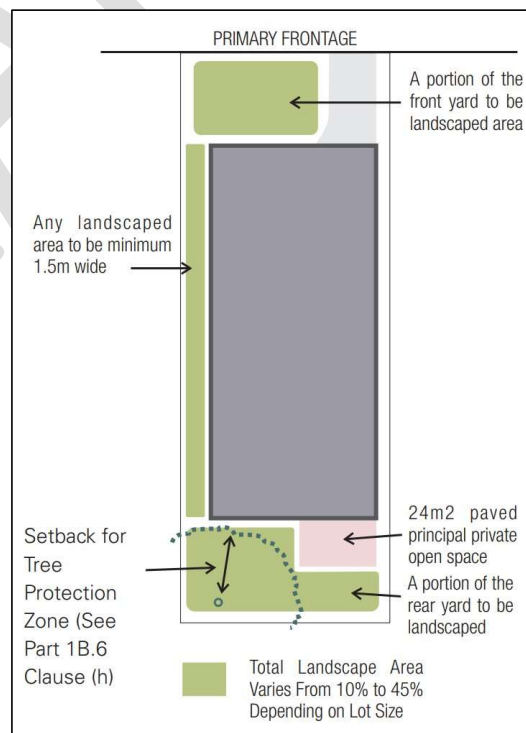
**Retention of Landscape Features**

- e. The proposed building, ancillary structures, driveways, drainage, and service trenches should be setback:
  - in accordance with the ‘Watercourses’ element in Section 1.3.1.3 of this DCP,
  - 10-20 metres to significant bushland as detailed in the ‘Biodiversity’ element in Section 1.3.1.1 of this DCP, and
  - in accordance with the requirements of AS 4970 for significant trees to be retained.

**Fencing**

- f. Within front setbacks, fences should not be higher than 1.2 metres. The use of picket fencing on the front property alignment is encouraged.
- g. Front fencing should be constructed from predominately lightweight materials with the design allowing at least 50 percent openings.
- h. Side and rear boundary fences should be a maximum of 1.8 metres high, sited behind the front building line.

**Figure 2.5-c: Landscaped area (l)**



**2.4.4 2.5.4 Open Space**

**Desired Outcomes**

- a. Private open space that functions as an extension to the dwelling house.

**Prescriptive Measures**

**Private Open Space**

- a. A dwelling house should be provided with private open space that incorporates a principal private open space area in accordance with Table 2.5.4-a.

**Table 2.5.4-a: Minimum Private Open Space**

Minimum Principal Area	Minimum Dimension of Principal Area
24m <sup>2</sup>	3m

- b. The principal private open space area should be sited behind the front building line and is to be directly accessible from the living area of the dwelling.
- c. The principal private open space area should be generally level and may be in the form of a deck, patio, terrace or paved area.

**Clothes Drying Area**

- d. Each dwelling house should have access to an external air clothes drying area, in addition to the minimum principal private open space area. This is to be screened from public places.

**2.4.5 2.5.5 Sunlight Access**

**Desired Outcomes**

- a. Dwelling houses designed to provide solar access to open space areas.
- b. Development designed to provide reasonable sunlight to adjacent properties.

**Prescriptive Measures**

- a. On 22 June, 50 percent of the required principal private open space area should receive 3 hours of unobstructed sunlight access between 9am and 3pm.
- b. On 22 June, 50 percent of the required principal private open space on any adjoining property should receive 3 hours of unobstructed sunlight access between 9am and 3pm.

**Note:**

The Sustainable Buildings SEPP requires a BASIX certificate for new dwellings to facilitate energy efficient housing.

**2.4.6 2.5.6 Privacy and Security**

**Desired Outcomes**

- a. Development that is designed to provide reasonable privacy to adjacent properties and high levels of residential security.

**Prescriptive Measures**

**Privacy**

- a. For development at the interface of a commercial and residential area, development should encourage views from the commercial development to the horizon rather than downward onto residential areas.
- b. Living and entertaining areas of dwelling houses should be orientated towards the private open space of the dwelling house and not side boundaries.
- c. A proposed window in a dwelling house should have a privacy screen if:
  - it is a window to a habitable room, other than a bedroom, that has a floor level of more than 1 metre above existing ground level,
  - the window is setback less than 3 metres from a side or rear boundary, and
  - the window has a sill height of less than 1.5 metres.

- d. A deck, balcony, terrace or the like should be located within 600mm of existing ground level where possible to minimise potential visual and acoustic privacy conflicts.
- e. Decks and the like that need to be located more than 600mm above existing ground should not face a window of a habitable room, balcony or private open space of another dwelling located within 9 metres of the proposed deck unless appropriately screened.

**Security**

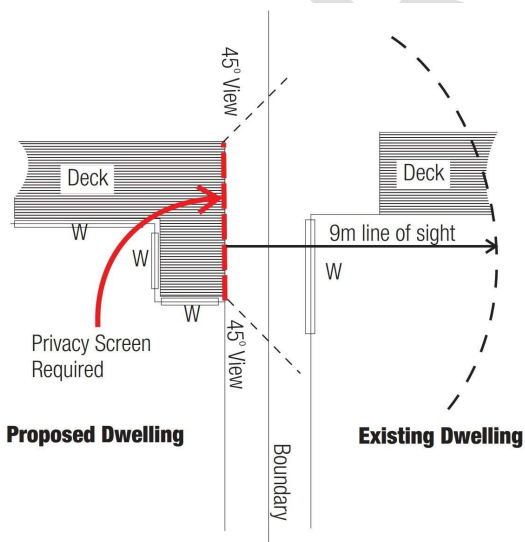
- f. Private open spaces, living room windows and lobbies should be designed and oriented to overlook the street and communal open spaces on the site.
- g. Identify safe, clear and direct pedestrian and cyclist entrance to the building/s from the primary street frontage.
- h. Where a mix of land uses are proposed, separate, secure access should be provided to commercial and residential entrances/ lobbies, and car parking areas.

**Notes:**

All developments should comply with the minimum building setback controls within this DCP which will assist in achieving the desired outcome for privacy.

A **privacy screen** means a screen that is at least 1.5m high, measured from the floor level, and has no individual opening more than 30mm wide, and has a total of all openings less than 30% of the surface area of the screen. A privacy screen required to protect an adjacent residence is to be fixed.

**Figure 2.5-d: Decks adjoining a neighbouring dwelling should be screened (I)**



### 2.4.7 2.5.7 Vehicle Access and Parking

#### Desired Outcomes

- a. Development that provides sufficient and convenient parking for residents with vehicular access that is simple, safe and direct.

#### Prescriptive Measures

- a. The number of existing accessways should be rationalised where possible.
- b. Car parking should be provided behind the front building line for all land uses.
- c. Parking for commercial uses should also be setback a minimum of 3 metres from the side and rear property boundaries and the area landscaped with screening shrubs.
- d. A paved driveway should be provided between the required on-site car parking area and a public road.

Note:

Refer to Part 1 General of the DCP for more detailed parking and service vehicle design requirements.

### 2.4.8 2.5.8 Design Details

#### Desired Outcomes

- a. Development compatible with a low-density residential environment that complements the zone objectives.

#### Prescriptive Measures

##### General

- a. Development should embody the urban design principles in the Dural Village Masterplan.
- b. Buildings should be oriented primarily towards the street and the rear boundary.
- c. Extensive blank or unarticulated walls to street frontages are discouraged.
- d. Dwelling houses should provide a covered entry to the home at least 1.5 metres deep and clearly visible from the street.
- e. Buildings on corner allotments should be designed to provide elevations that address both street frontages.
- f. Garages should not dominate the facade of a building nor the streetscape. Garage doors should be as follows:
  - setback 1 metre from the front facade of the home,
  - no wider than 6 metres, and
  - maximum 2.4 metres high.

##### Dormer Windows

- g. The design of dormer windows in any attic level should comply with the following:
  - Dormers should face the street and/or the rear property boundary,
  - Dormers should be setdown below the ridge line and setback from the side walls,
  - Dormers should not be wider than 1.3 metres,
  - Be vertically proportioned at a ratio of 1.5:1 measured from head to sill of the window frame, and
  - The number of dormer windows is limited to a maximum of two per facade.

##### Materials and Finishes

- h. The colours, textures and materials used in external finishes should be consistent with a heritage theme.



### 2-5-2.6.2 Transport

#### Desired Outcomes

- a. Extractive industries that maintain a safe and efficient road network.
- b. Extractive industries that have minimal impact on the local road network.

#### Prescriptive Measures

- a. Safe, controlled and limited access points to the road network should be provided.
- b. Heavy vehicle routes on the local road network should be direct and avoid sensitive land uses. Where sensitive land uses cannot be avoided the frequency and timing of heavy vehicles should be controlled.
- c. Internal access should be no less than 20 metres wide (easement width).
- d. The standard of construction of internal accessways should have regard to:
  - cross sectional characteristics, both typical of straight and on curves and bends,
  - horizontal and vertical alignment characteristics,
  - pavement and drainage proposals,
  - other technical parameters, and
  - vehicle grades not exceeding 6%.
- e. Extractive operations should contribute to the maintenance of the road network as a result of road damage caused by heavy vehicles.

#### DA Submission Requirement

- f. Documentation outlining anticipated heavy vehicle routes, loading and frequency associated with the extractive industry should be submitted with the application.

#### Post DA Submission Requirement

- g. Certified weighbridge dockets and a log book to verify the frequency and timing of vehicle movements may be required as a condition of consent.

#### Note:

Designs of all access/intersection points to the external road network should comply with the requirements of the Hornsby Shire Civil Works Design Specification and/or TfNSW.

### 2-5-3.2.6.3 Water Resources

#### Desired Outcomes

- a. The protection of existing drainage patterns including location, quantity and quality of water.
- b. The conservation and effective management of the sustainability of surface and groundwater resources.
- c. The protection of downstream dependent riparian ecosystems and natural habitats.

#### Prescriptive Measures

- a. Proposals should employ extraction procedures capable of maintaining, monitoring and managing pre-existing surface drainage patterns and groundwater flow and water quality conditions.
- b. Extraction should not occur within 2 metres of the high groundwater level.

#### DA Submission Requirements

- c. Proposals should be accompanied by a Groundwater Impact Assessment Report which should:
  - identify and classify aquifer systems on extraction sites,
  - identify all groundwater dependent users and environs at the site and within adjacent catchment areas,
  - assess vulnerability of groundwaters,
  - identify a freeboard level (to AHD) above high groundwater level capable of protecting groundwater flow patterns and water quality,
  - identify potential sources of impacts including seepage from tailing dams, and
  - outline procedures for protecting and monitoring groundwater flow and quality.
- d. Applications should be accompanied by a Water Management Plan which provides a framework for the identification, classification and management of artificial and natural surface and subsurface water cycles during all phases of clearing, extraction and rehabilitation including:
  - site investigations used to identify and classify catchment origin, drainage patterns, water flow and quality,
  - source, quantity and quality of water required to provide a reliable supply of water to the operations,
  - procedures capable of maintaining natural surface water flow and quality conditions along downstream boundary alignments,

- the design and likely impact of any temporary diversion of drainage patterns,
- procedures for maintaining and monitoring water quality at downstream boundaries,
- procedures for minimising importation of water,
- procedures for maximising reuse/recycling of collected waters, particularly during extreme climatic conditions,
- risks, safeguards and contingency plans for extreme climatic conditions and operational hazards including groundwater breach or contamination,
- method of treating polluted and contaminated waters,
- destination points for collected waters are retained within each extraction area/stage,
- procedures for ensuring that contaminated waters are contained on-site during 1 in 100 year ARI storm events (1% AEP),
- protection of significant site features and natural springs, and
- procedures for monitoring groundwater flow, quality and recharge areas within catchments having regard to the Groundwater Impact Assessment Report.

#### Post DA Submission Requirement

- e. An updated Water Management Plan may be required to be resubmitted annually to Council as a condition of consent. The report would be required to be prepared by a suitably qualified Environmental Consultant and demonstrate that:
- the protection of water dependent features and ecosystems of the site and adjacent catchments,
  - the actual source, quantity and quality of water used by all aspects of the operation,
  - the effectiveness of the Water Management Plan in providing a framework for a complete balance for both artificial and natural surface and subsurface waters,
  - risks, safeguards and contingency plans for extreme climatic conditions and operational hazards including groundwater breach or contamination,
  - the results of monitoring water at downstream boundaries relative to the stage of extraction,
  - the results of monitoring of groundwater flow and quality within the extraction-site and adjacent catchment,
  - the advice and licensing requirements of state agencies including WaterNSW and the EPA,
  - recommendations to alter operational procedures to improve the performance of artificial and natural surface and subsurface water cycles, and
  - applications should include a determination of the likely impact upon groundwater and nominate an effective freeboard above the high groundwater level capable of protecting groundwater flow patterns and water quality on each extraction site.
  - Based on the above factors, the report should identify any adverse environmental impacts in accordance with the Australian and New Zealand (ANZECC) Guidelines for Fresh and Marine Water Quality and outline any mitigation measures.

#### Note:

All bores and extraction operations which intercept the water table and/or require pumps should be licensed with WaterNSW.

For more information regarding the Australian and New Zealand Guidelines for Fresh and Marine Water Quality, refer to [www.waterquality.gov.au/anz-guidelines](http://www.waterquality.gov.au/anz-guidelines).

## 2.5.4.2.6.4 Soil and Water Management

### Desired Outcome

- a. Extractive operations that minimise soil erosion and water pollution by minimising land disturbance, and requiring control measures on-site.

### Prescriptive Measures

#### Clearing

- a. Vegetation should only be removed in stages to retain as much protective ground cover vegetation as possible.
- b. The natural vegetation outside the extraction site should be protected at all times by the installation and maintenance of sediment control devices.
- c. Progressive clearing should be restricted to within the approved boundaries of the extraction area.

#### Topsoil and overburden removal.

- d. Topsoil and overburden stripping should not advance any more than 30 metres in front of the current extraction operation.
- e. Stockpiles should be located in low erosion hazard areas away from drainage lines and stabilised by vegetation and the use of silt fences.
- f. Removed topsoil should be used for rehabilitation of previously disturbed areas in order to maintain the freshness of the topsoil. Topsoil removal should occur in two stages, organic matter and then the topsoil.
- g. Where material is to be stored in stockpiles, the stockpile should be:
  - of one soil type;
  - kept flat and low to ensure survival of organic matter and aerobic organisms;
  - keep free of traffic and drainage lines;
  - not left for more than 14 days without a vegetation cover;
  - surrounded by sediment control devices, and
  - used as soon as possible (no longer than 12 months).
- h. Stockpiles over 5 metres in height should be benched to ensure stability and incorporate internal drains. The batter slopes should be no steeper than 1:2 (v:h) for stable soils and 1:4(v:h) for highly erodible soils, to limit wind and water erosion.

- i. Topsoil stripping should not be undertaken when soil is too wet or too dry to avoid compaction, loss of structure and viability of seeds.

#### Runoff Controls

- j. Surface runoff from undisturbed areas should be diverted around proposed extraction/operation areas and returned to natural watercourses at non-erosive velocities. All channels should be designed to convey water at velocities less than 1.2m/s for vegetated channels and 0.4m/s for bare earth channels.
- k. All channels, waterways and detention structures should be designed to accommodate peak discharge of a 1 in 20 year average recurrence interval storm with appropriate freeboard margins (generally 750mm for catchments less than 15 hectares).
  - l. The long-term stability of natural channels downstream of the study area should be maintained by ensuring that discharges from sub catchments remain the same.
  - m. Overland flow paths and spillways should be designed to ensure that flood waters and stormwater runoff, which exceeds the design capacity of channels, watercourses, and structures, do not adversely affect adjoining lands.

#### Water Quality

- n. Water quality at the downstream boundary of each development area will be required to be monitored monthly by the proponent. A report, including the results of the water sampling will be required to be prepared by a suitably qualified environmental consultant and submitted to Council annually. Should the results of the water sampling identify elevated levels compared with the ANZECC Guidelines, the report must outline the mitigation measures undertaken at the development area to maintain water quality.

### Sediment Control Devices

- o. Wind breaks including vegetation, bund walls and stockpiles should be of sufficient height, length, orientation, location and permeability to be capable of reducing wind velocity across extraction areas.
- p. Appropriate sediment control devices should be installed to prevent sediment moving off-site (these can include sediment fences, straw bales, sediment traps and sediment basins). Existing rural dams should be retained to serve as sediment basins and to reduce runoff during development.
- q. All sediment and control dams should be sized to retain at least the equivalent volume of 10mm depth of runoff over the entire disturbed area they serve. The settling volume is to be provided as active storage with a minimum depth of 0.6 metres. A sediment storage volume of at least half this allowance is to be provided below the settling volume.
- r. The design of the sediment control dam should include details of the proposed dewatering method for the settling volume, spillway configuration and the design life of the structure.
- s. All water retaining structures should incorporate an impermeable barrier in the dam wall.
- t. A sediment control dam should be located downstream of wet screening plants and the tailing dams. The structure is to have a sediment trapping capacity of at least half the volume of the largest tailing dam.
- u. Batters of dams and detention basins should have a maximum gradient of 1 (vertical) in 4 (horizontal) and be vegetated immediately following construction. Prior to the establishment of this vegetative cover, sediment loss is to be controlled by the installation of catch drains and sediment traps along the downstream toe of the embankment. These should be maintained until such time as 80% vegetation cover is achieved on the batters.
- v. Sedimentation dams associated with sediment control structures will require periodic removal of sediment. This material should be dried and utilised on landfill in rehabilitated landforms.

### Tailing (Sludge) Pond Measures

- w. Tailing (sludge) ponds should be designed having regard to:
  - site investigations including soil profiles, water table level, and in situ materials,

- site suitability, including topography, geotechnical and meteorological conditions of the locality,
- physical, mineral and chemical properties of tailings,
- stability of embankments, including height, slope, nature strength, materials and degree of compaction of foundations,
- potential seepage into groundwater, including high pressure groundwater levels resulting from high water table levels within the embankment, and
- potential seepage through embankments to surface water streams or overtopping from heavy storm events.
- x. Tailing ponds should be rehabilitated having regard to:
  - preventing leaching into ground and surface waters,
  - surface drainage and erosion control to prevent tailing laden waters leaving storage area,
  - stabilised surface cover to prevent wind erosion, and
  - minimise maintenance by designing a cover which provides an effective infiltration rate that prevents surface erosion, saturation of topsoil layer and to function as a capillary barrier.

### DA Submission Requirements

- y. A Soil and Water Management Plan (SWMP) should be submitted containing appropriate Best Management Practices that recognise site constraints and support ESD principles. The Plan should include:
  - Soil conservation and pollution/nutrient control measures to be installed prior to clearing and earthworks and maintained until landscaping measures are complete,
  - Protection measures for site access and exits,
  - Catchment drainage characteristics of existing and proposed drainage patterns,
  - Protection of existing overland flowpaths, watercourses, stormwater kerb inlets and drains,
  - Upslope clean surface runoff diversions around the disturbed areas,
  - Staggered site works to minimise disturbance,
  - Rehabilitation and stabilisation of the disturbed areas,
  - Site investigations used to determine areas most and least suited to extraction operations,

- Clearing, grading and drainage plans for the site layout, including entry and exit points,
- Procedures and timing for installing and maintaining sediment devices for all phases of extraction,
- Procedures and timing for removal of the controls,
- Method of controlling water flow through the site,
- Procedures and timing for maintaining protective ground covers and long term stability of the site, and
- All natural features and environmentally sensitive areas (eg existing vegetation and watercourses).

**Post DA Submission Requirement**

- z. Geotechnical reports may be required to be resubmitted annually to Council as a condition of consent, reporting on the stability and integrity of tailings ponds.

**2.5.5 2.6.5 Acoustic Environment**

**Desired Outcome**

- a. Reasonable acoustic amenity for residents and other users of the area.

**Prescriptive Measures**

- a. Effective noise control measures should be incorporated into extraction sites.
- b. The hours of operation of machinery and the transportation of materials should be in accordance with Table 2.6.5-a.

**Table 2.6.5-a: Hours of Operation**

Weekday	Hours of Operation
Monday to Saturday inclusive	7am to 6pm
Sundays and Public Holidays	No work should occur

- c. Signs and barriers should be maintained at the point of access to ensure compliance with the hours of operation. The barriers should be kept locked except during authorised hours of operation.
- d. The maximum average noise emission level of extraction should not exceed 5dB(A) above maximum average background noise levels.

**DA Submission Requirements**

- e. An Acoustic Impact Assessment Report identifying and assessing the range of noise levels within the locality, the noise levels generated by the extractive operation and detailing proposed measures to ensure noise emission levels are within acceptable limits.



### 2.5.6.2.6.6 Air Quality

#### Desired Outcome

- a. Extractive industries designed with measures to prevent air pollution.

#### Prescriptive Measures

- a. Access roads should be sealed at the entrance to extraction sites.
- b. Internal access roads should be sealed or watered on a regular basis for the purpose of dust suppression.
- c. Dust suppression equipment should be fitted to processing equipment.
- d. Stockpiles of material should be stabilised and maintained so as to prevent any dust nuisance.
- e. Proponents should utilise wind activated water sprinkler systems to ensure extraction sites minimise dust generation particularly during periods of high wind and when sites are unattended.
- f. Prior to leaving extraction sites, all laden trucks should have their payloads fully covered by suitable material to prevent spillage from the trucks onto roads and adjoining properties.
- g. Proponents should provide details of effective measures proposed to be implemented to suppress dust generated from:
  - blasting,
  - removal of overburden,
  - site clearing,
  - extraction and haulage,
  - moving material onto and from stockpiles,
  - mobile earthmoving equipment,
  - blowoff from truck loads, and
  - crushing and screening procedures.
- h. Proponents should ensure that blasting is not undertaken in strong wind and/or prolonged dry weather periods.

#### DA Submission Requirements

- i. An Air Quality Assessment Report detailing:
  - meteorological conditions of the site and locality including temperature, humidity, wind and rain,
  - number and classification of emission sources and distance to potential receptors,
  - propensity for on-site and imported material to generate dust and odour, including washed sands,
  - gaseous emissions from vehicles and machinery including carbon monoxide, nitrogen oxides, hydrocarbons and particulate matters,
  - maximum acceptable increase for dust deposition over existing levels,
  - expected annual average dust concentration and deposition levels,
  - compliance with EPA criteria for dust deposition and concentration rates, and
  - recommendations, including suggested range of dust control measures.

## ~~2.5.7~~ 2.6.7 Mitigation and Monitoring

### Desired Outcomes

- a. The implementation of good environmental management practices and mitigation measures throughout the life of an extractive operation.
- b. The establishment of a framework for ongoing monitoring of the environmental management practices and mitigation measures of an extractive operation including a flora and fauna monitoring program.

### Prescriptive Measures

- a. A framework should be established for the ongoing monitoring of an extractive operations environmental management practices and mitigation measures.

### DA Submission Requirements

- b. An Environmental Management Plan should be submitted to Council outlining appropriate environmental management practices for the proposed extractive operation as well as establishing a framework for ongoing monitoring of the proposed practices.

Note:

The Environmental Management Plan should establish a Flora and Fauna Monitoring Program to verify the effectiveness of mitigation measures implemented.

### Post DA Submission Requirement

- c. An annually updated Environmental Management Plan may be required to be resubmitted to Council as a condition of consent, demonstrating that environmental management practices are being followed and specifying a timeframe for the implementation of any necessary remedial actions identified by monitoring.

Note:

Applicants are advised to consult the publication titled Guidelines for the Preparation of Environmental Management Plans (2004) by the Department of Infrastructure, Planning and Natural Resources.

## ~~2.5.8~~ 2.6.8 Extraction Sequence

### Desired Outcomes

- a. Extraction that occurs in an orderly and controlled manner.
- b. Extraction that is undertaken in an environmentally acceptable manner.
- c. Protection of land holdings not currently being extracted and to facilitate future extraction.

### Prescriptive Measures

- a. Applications should document the means to reduce the depth and area of extraction in locations most likely to have an impact upon groundwater, flora, fauna, archaeology, and other sensitive site features.

### DA Submission Requirements

- b. Applications should be accompanied by an Extraction Program Plan, which identifies an orderly sequence of extraction having regard to:
  - topographical and landscape areas of scenic or environmental sensitivity,
  - variations in the type, quantity and quality of the deposit over the entire development site,
  - location, area, depth of extraction unit/area,
  - the estimated volume of deposit of each extraction unit/area within the overall extraction program plan, and
  - expected duration/lifespan of each extraction unit/area.

Note:

The Extraction Program Plan should be supplemented with scaled plans, profiles and cross sections for all phases and stages of the operation.

## 2.5.9.2.6.9 Rehabilitation

### Desired Outcomes

- a. Extractive industries that implement progressive rehabilitation strategies that minimise long-term impacts on surrounding land uses and optimise sustainable future land use.
- b. Extractive industries that adopt measures to ensure ongoing biodiversity conservation and sustainable management of vegetation.
- c. Extractive industries that rehabilitate sites to a standard that is compatible with the surrounding landscape character and best practice principles of environmental management.

### Prescriptive Measures

- a. Extraction areas should be progressively rehabilitated to reflect the topography, drainage characteristics and landscape quality of the surrounding terrain.
- b. Vegetative cover incorporating native plants and grass covers and endemic species should be established at the earliest possible opportunity.
- c. Stockpiles of clean topsoil and overburden should be appropriately formed and shaped to ensure the viability of the soil and seed source of the site/area for later re-spreading or backfilling.
- d. Topsoil and overburden used as bund walls during extraction should be stabilised using appropriate native species and rehabilitation techniques under the direction of a qualified plant Ecologist or Landscape Architect and used as backfill only when not contaminated with exotic grasses or weeds.
- e. The extraction area should only be backfilled with earth and rock materials sourced as a result of extraction. No solid waste or putrescible materials should be disposed of within the site.

### DA Submission Requirements

- f. A Vegetation Management and Restoration Plan (VMRP) should be submitted with the application.
- g. Applications should be accompanied by a Rehabilitation Plan outlining the rehabilitation program proposed to optimise sustainable future land use including:
  - details of the proposed future land use and final landform,
  - timeframe for rehabilitation works,
  - measures to maintain the viability of topsoil over time and to re-use this resource for site rehabilitation,
  - erosion control measures,
  - revegetation of disturbed areas in line with the Vegetation Management Restoration Plan,
  - weed management proposals,
  - final drainage patterns, and
  - identifying who will be responsible for undertaking any further remediation after operations cease.

#### Note:

Applicants are advised to consult Council's publication *Guidelines for the preparation of Vegetation Management and Restoration Plans (2008)*.

The collection, processing and storage of native seeds should utilise current best practice measures. Visit the FloraBank website [www.florabank.org.au](http://www.florabank.org.au) for further information on best practice in planning for seed collection.

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# Hornsby Development Control Plan 2024

## Part 6 Subdivision



## 6 Subdivision

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**ATTACHMENT 3 - ITEM 3**

## Introduction

This Part of the DCP applies to all land within the Hornsby Local Government Area and provides specific controls for the subdivision of land.

The planning controls are informed by the NSW Housing Code, the Hornsby Shire Housing Strategy (2010), the Hornsby Local Housing Strategy (2020), the Hornsby Shire Rural Lands Planning Provisions (2009) and the Hornsby Shire Rural Lands Strategy (2022).

The Hornsby Shire Housing Strategy identified areas suitable for the provision of additional housing to assist meet Council's housing obligations into the future. A concentrated housing model has been adopted, with housing located in planned precincts rather than dispersed.

Subdivision of land is to be designed to ensure development relates to site conditions, is consistent with the existing or desired future character of the area, is located in areas where services and related infrastructure are available and protects the natural and built environment.

Note that environmental controls relating to subdivision applications are also provided in Part 1 General of the DCP.

## 6.1 General

### 6.1.1 General Provisions

These general provisions apply to all subdivision applications.

#### Desired Outcomes

- a. Subdivision design that provides usable allotments that relate to site conditions.
- b. Subdivision design that provides for the retention of significant landscape features and respects site constraints including:
  - significant trees,
  - remnant bushland,
  - steep topography,
  - watercourses, riparian land and stormwater overland flow paths, and
  - bushfire hazard asset protection zones.
- c. Subdivision design that provides for all necessary services and facilities, including any required extension or amplification to Council infrastructure.

#### Prescriptive Measures

##### General

- a. Where subdivision is a permitted landuse within the zone, any proposed subdivision should demonstrate that the newly created allotments would be capable of accommodating the construction of landuses permitted within that zone and in accordance with the controls within this DCP.

##### Retention of Landscape Features

- b. Developable areas and accessways should be setback:
  - in accordance with the 'Watercourses' element in Section 1.3.1.3 of this DCP,
  - 10-20 metres to significant bushland as detailed in the 'Biodiversity' element in Section 1.3.1.1 of this DCP, and
  - in accordance with the requirements of AS 4970 for significant trees to be retained.

##### Water Management

- c. Stormwater from any new lot should be gravity drained to Council's drainage system and in accordance with the 'Stormwater Management' element in Section 1.3.1.2 of this DCP.

- d. Proponents may require creation of easements over downstream properties for drainage purposes. In this circumstance, a letter of consent from the owner(s) of the downstream properties is to be submitted with the development application.

##### Flood Prone Land

- e. Potential developable areas and ancillary driveways to any new lot should be above the 1:100 ARI (average recurrent interval) flood event.

##### Bushfire Asset Protection Zones (APZs)

- f. Subdivision design and the siting of building envelopes should accommodate required bushfire APZs on the site as described in the 'Bushfire' element in Section 1.3.3.1 of this DCP.
- g. APZs should be located within buffer areas that protect significant vegetation, threatened species and populations as prescribed in the 'Biodiversity' element in Section 1.3.1.1 of this DCP.

##### Notes:

A developable area incorporates:

- a building envelope, and
- an on-site waste water disposal area (where required), and
- area for disposal of stormwater, and
- a principal private open space area (for residential uses), and
- carparking areas.
- Design controls for accessways and public roads are provided in Sections 6.4 and 6.5 of this DCP.
- Other general environmental controls relating to subdivision applications are also provided in Part 1 General of the DCP.

## 6.2 Urban Subdivision

### 6.2.1 Residential Lands Subdivision

The following provides controls for subdivision in the R2 Low Density Residential Zone.

#### Desired Outcomes

- a. Subdivision design should maintain appropriately shaped lots to accommodate a dwelling and associated development that is compatible with a low-density residential environment.
- b. Subdivision design should provide setbacks to developable areas that will:
  - complement the streetscape,
  - provide for landscaping,
  - protect landscape features, and
  - provide separation between existing and future dwellings.

#### Prescriptive Measures

##### Lot Size

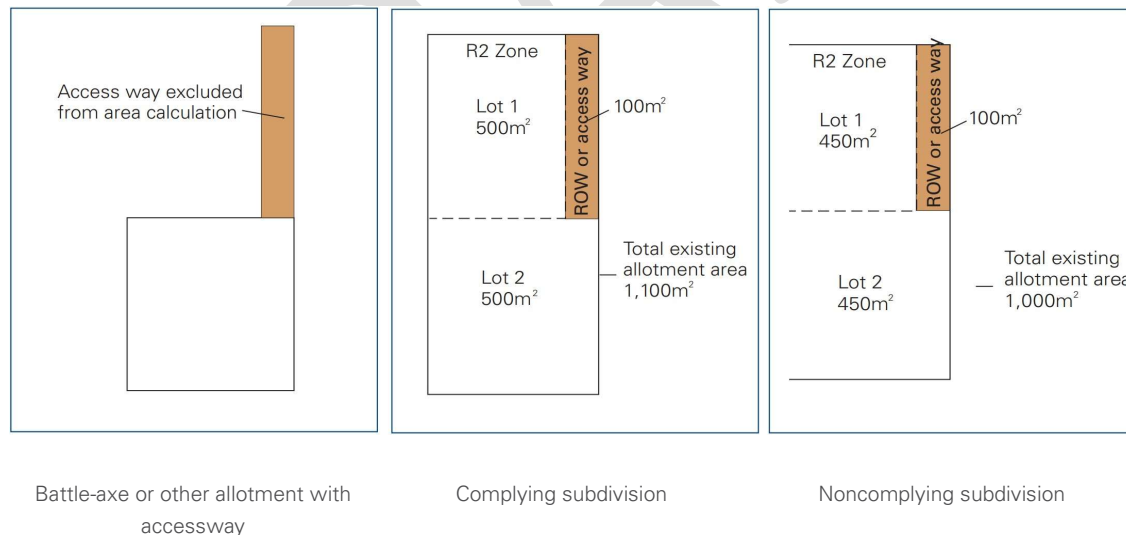
- a. The minimum lot size is depicted on the Minimum Lot Size map (except for dual occupancy subdivision), as summarised in the following:

**Table 6.2.1-a: Minimum Lot Size – R2 Zone**

HLEP Area	Minimum Lot Size
I	500m <sup>2</sup>
M	600m <sup>2</sup>

- b. In calculating the area of a lot resulting from a subdivision of land, the area of any accessway, right of carriageway or the like is to be excluded.
- c. The size of the proposed lot may need to be greater than the area prescribed in the table above in order to achieve the minimum setbacks required from significant landscape features or to address site constraints.

**Figure 6.2-a:** Illustration of lot size controls in the R2 zone, within area I on the HLEP Lot Size Map. (I)



Lot Shape

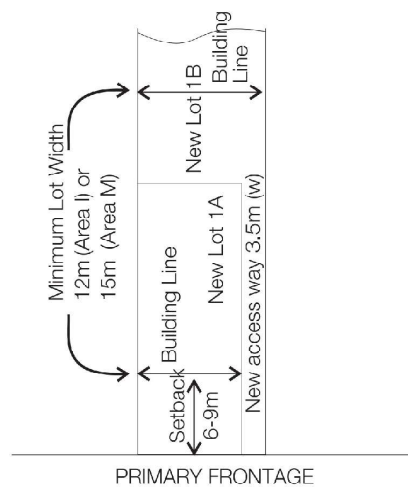
- d. Lot design should maintain a minimum lot width that is compatible with the subdivision pattern, as detailed in Table 6.2.1-b. In accordance with Figure 6.2-b, lot width is measured at:
  - The building line adjacent to the primary street frontage, or
  - Across the front of a building envelope within battle-axe allotments.

Table 6.2.1-b: Minimum Lot Width – R2 Zone

HLEP Area	Minimum Lot Size	Minimum Lot Width
I	500m <sup>2</sup>	12m
M	600m <sup>2</sup>	15m

- e. Lots should be designed to allow the construction of a building, principal private open space area and carriageway with a maximum cut and fill of 1 metre from natural ground level.

Figure 6.2-b: Minimum lot width required for all allotments. (l)

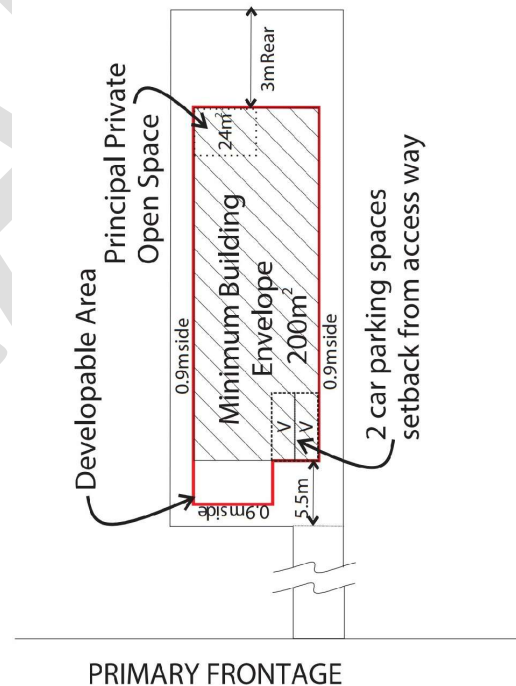


- f. Lot design should identify a potential developable area, as detailed in Figure 6.2-c. This area is to accommodate the following:
  - a building envelope of 200m<sup>2</sup> with a minimum dimension of 10 metres.
  - a principal private open space area,
  - area for parking 2 cars behind the building line, and
  - comply with the general provisions in Section 6.1.
- g. If an existing dwelling is to be retained, the proposed lot should be of sufficient size and design so that the dwelling complies with the 'Dwelling House' element in Section 3.1 of this DCP.

Note:

A **building envelope** is the area of land identified for the purpose of the future erection of a dwelling and its immediate curtilage.

Figure 6.2-c: Proposed subdivision plans should identify a potential developable area for each new lot. (l)



Setbacks

h. Setbacks to the proposed building envelope and ancillary structures should comply with Table 6.2.1-c.

Table 6.2.1-c: Minimum Boundary Setbacks

Setbacks	Minimum Building Envelope Setback
Front boundary (primary frontage)	6m to local roads and 9m to designated roads, except for the following: <ul style="list-style-type: none"> <li>on local roads, where an existing setback of 7.6m or greater exists, it may be necessary to conform to this setback to maintain the streetscape character, and</li> <li>3m to Brooklyn Road, Brooklyn, and</li> <li>9m to roads in Cherrybrook</li> </ul>
Waterfront Setback	See Clause 6.1 of HLEP Foreshore Building Line Map
Secondary boundary (corner lots)	3m
Setbacks from internal accessways	5.5m to a garage/carport
Side boundary	0.9m
Rear boundary	3m

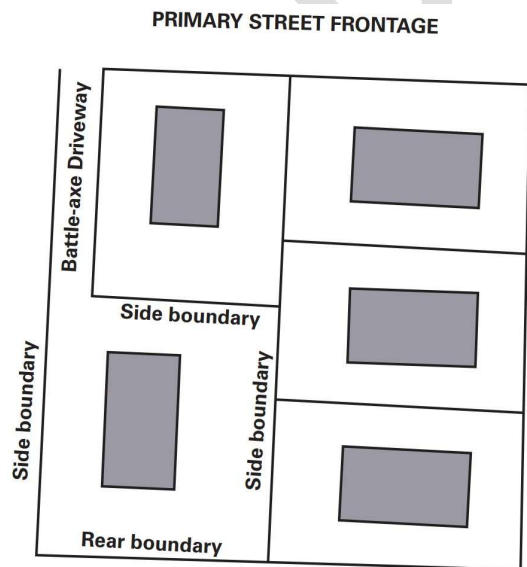
- i. For a site that:
  - Adjoins parallel roads, the front boundary setback control applies to both the primary frontage and the parallel road boundary.
  - Is a battle-axe lot, the setback on the opposite side of the lot to the rear setback, is taken to be a side setback (refer to Figure 6.2-d).
- j. The setback of the building envelope and ancillary structures from the property boundary may need to be increased to comply with the general provisions in Part 1 and Section 6.1 of this DCP.

Note:

**Designated roads**

Designated roads are Council identified roads that require development to have an increased setback from the road edge, consistent with the established streetscape. A list of designated roads is provided in Annexure C.

Figure 6.2-d: Setbacks on battle-axe lots. (l)



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Open Space and Landscaping

- k. Subdivision design should provide a principal private open space area of 24m<sup>2</sup> for each lot. This area is to be generally level, with a minimum width of 3 metres, sited adjacent to the building envelope and behind the front setback.
- l. Subdivision design should demonstrate that the minimum landscaped area on a property complies with Table 6.2.1-d:

Table 6.2.1-d: Minimum Landscaped Area

Lot Size	Minimum Landscaped Area (% of the lot size)
Up to 599m <sup>2</sup>	20%
600m <sup>2</sup> to 899m <sup>2</sup>	30%
900m <sup>2</sup> to 1499m <sup>2</sup>	40%
1500m <sup>2</sup> or larger	45%

- m. Areas included as part of the minimum landscaped area should have a minimum width of 1.5 metres.
- n. At least 50 percent of the minimum landscaped area should be located behind the building line to the primary road frontage.
- o. A proportion of the front yard should be maintained as landscaped area as follows:
  - 25 percent of the front yard for lots less than 18 metres wide, and
  - 50 percent of the front yard for lots greater than 18 metres wide.

Note:

**Landscaped area** refers to a permeable area capable of growing plants, grasses, and trees. It does not include the 200m<sup>2</sup> building envelope, the principle private open space area, clothes drying areas, driveways, and other structures or hard paved areas.

**Lot size (or site area)** in relation to development, means the area of the lot to which an application for consent to carry out the development relates, excluding:

- (a) any land on which the development is not permitted under an environmental planning instrument, and
- (b) if a lot is a battle-axe or other lot with an access handle, the minimum lot size excludes the area of the access handle.

Dual occupancy

- p. The lot size should be as per the Hornsby Local Environmental Plan 2013 for the R2 zone, which is shown below in Table 6.2.1-e below.

Table 6.2.1-e: Dual occupancy lot sizes

Location	Dual occupancy (attached)		Dual occupancy (detached)	
	Original	Subdivided	Original	Subdivided
Land not within an HCA	700m <sup>2</sup>	350m <sup>2</sup>	800m <sup>2</sup>	400m <sup>2</sup>
Land within an HCA	800m <sup>2</sup>	400m <sup>2</sup>	900m <sup>2</sup>	450m <sup>2</sup>

Note: lot sizes do not include the area of a battleaxe lot handle or right of carriage way for a driveway.

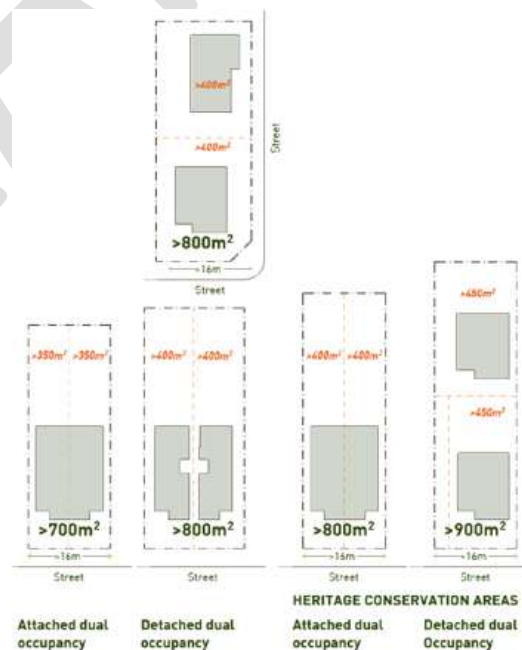
- q. Subdivision is to occur following the completion of construction of the dual occupancy.
- r. The minimum lot width for subdivision of a dual occupancy (attached or detached) is 16m.

Note:

Any approved and constructed dual occupancy development in the R2 zone can be considered for Torrens Title subdivision, except the configuration where one is above the other.

The Housing SEPP contains non-refusal standards regarding lot size for dual occupancy development within nominated centres which will override Council's LEP.

Figure 6.2-e: Dual occupancy lot size configurations (e)



## 6.3 Rural Subdivision

### 6.3.1 Rural Lands Subdivision

The following provides controls for subdivision in the rural areas of Hornsby Shire, including land within the following zones: RU1 Primary Production, RU2 Rural Landscape, RU4 Primary Production Small Lots, C2 Environmental Conservation, ~~and~~ C3 Environmental Management, and C4 Environmental Living (Glenorie).

#### Desired Outcomes

- a. Subdivision density that maintains the character of the area and is consistent with the zone objectives.
- b. Subdivision design that provides setbacks to developable areas that will:
  - provide sufficient boundary setbacks to maintain the open rural character of the area,
  - protect landscape features, and
  - minimise potential landuse conflicts with existing rural activities.

#### Prescriptive Measures

##### Lot Size

- a. The minimum allotment size for land within the rural areas of the Shire shall be in accordance with the HLEP Minimum Lot Size map as summarised in Table 6.3.1-a.

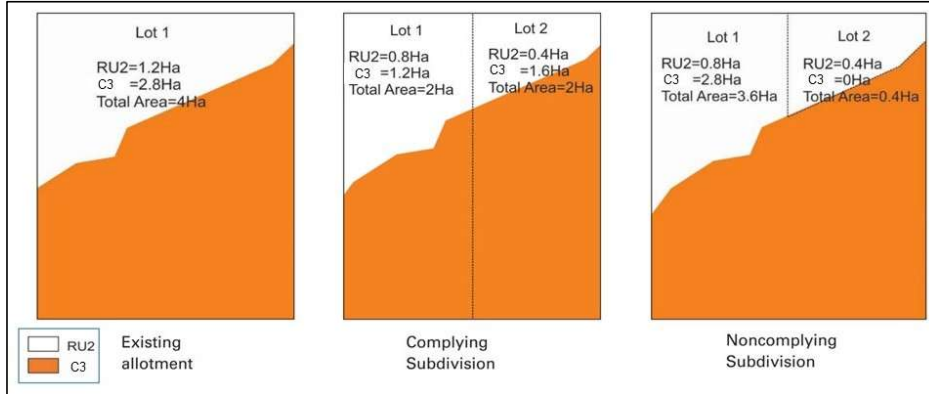
Table 6.3.1-a: Minimum Lot Size – Rural Area

HLEP Area	Minimum Lot Size
U	1,000m <sup>2</sup>
W	4,000m <sup>2</sup>
X	5,000m <sup>2</sup>
Z	2ha
AA	5ha
AB	10ha
AB1	40ha

- b. In calculating the area of a lot resulting from a subdivision of land, the area of any accessway, right of carriageway or the like is to be:
  - Excluded for subdivisions involving C2 Environmental Conservation zoned land.
  - Included for subdivisions involving RU1 Primary Production, RU2 Rural Landscape, RU4 Primary Production Small Lots, ~~and~~ C3 Environmental Management, and C4 Environmental Living zoned land.
- c. Some lots in the rural area have a split zoning, such as a rural zone (e.g. RU2) and an Environmental Protection Zone (e.g. C3). Subdivision of such land is to ensure that:
  - The total area of each new lot is equal to or greater than the minimum rural zone lot size over land; and
  - Includes a component of rural zoned land equal to or greater than 20% of the minimum lot size (Excluding RU5).

Figure 6.3-a: Application of minimum lot size controls to land within different zones and different areas in the HLEP Maps. (e.g. in the below example, the complying subdivision creates 2 lots both of which comply with the minimum lot size as they

have both a total area in excess of the minimum rural zone lot size of 2 hectares and both include a component of rural zoned land greater than 1 acre.



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**ATTACHMENT 3 - ITEM 3**

- d. In addition, subdivision layout should generally provide for equal sized split zone lots with regular division lines. Such a layout would promote orderly subdivision where the burden of managing the environmentally sensitive land (eg. C3 zoned land) is shared amongst a number of property owners, as illustrated in Figure 6.3-a, and in accordance with Clause 4.1B of the HLEP.
- e. The size of the proposed lot may need to be greater than the area prescribed in the table above in order to achieve the minimum setbacks required to significant landscape features or to address site constraints.

**Lot Shape**

- f. Lot design should identify a suitable developable area. This area is to accommodate the following:
  - a minimum building envelope of 200m<sup>2</sup> with a minimum dimension of 10 metres,
  - area for an-on site waste water disposal system area that complies with Section 1.3.2.4 of this DCP,
  - area for disposal of stormwater,
  - a principal private open space area,
  - area for parking 2 cars behind the building line, and
  - comply with the general provisions in Section 6.1.
- g. Accessways should be located so as not to require more than 1 metre of cut and fill.
- h. If existing rural buildings are to be retained, the proposed lot should be of sufficient size and design so that the development complies with the rural building controls in Section 2.1 of this DCP.

**Notes:**

A **building envelope** is the area of land identified for the purpose of the future erection of a rural dwelling and its immediate curtilage.

**Open Space**

- i. Subdivision design should provide a principal private open space area of 24m<sup>2</sup> for each lot. This area is to be generally level, with a minimum depth of 3 metres, sited adjacent to the building envelope and behind the front setback.

**Setbacks**

- j. Setbacks to the proposed building envelope should comply with Table 6.3.1-b:

**Table 6.3.1-b: Minimum Boundary Setbacks**

Minimum Setbacks	HLEP Lot Size Map Areas U, W and X	HLEP Lot Size Map Areas Z, AA, AB and AB1
Front Boundary (primary frontage)	10m or the average of the front setbacks of the nearest two neighbouring houses, whichever is the greater	15m to local roads 30m to designated roads
Secondary boundary (on corner lots)	5m	10m
Side boundary	5m	10m
Rear boundary	10m	15m

- k. For a lot that adjoins parallel roads, the front boundary setback control applies to both the primary frontage and the parallel road boundary.
- l. The proposed building envelope should comply with the minimum separations to intensive rural activities as detailed in Part 2 of the DCP.
- m. The setback of the building envelope and ancillary structures from the property boundary may need to be increased to comply with the general provisions in Part 1 and Section 6.1 of this DCP.

**Notes:**

**Designated roads**

Designated roads are Council identified roads that require development to have an increased setback from the road edge, consistent with the established streetscape. A list of designated roads is provided in Annexure C.

#### Primary Production Lots

- n. Council may grant consent for a subdivision upon land zoned RU1 Primary Production, RU2 Rural Landscape or RU4 Rural Small Holdings which is less than the minimum allotment size requirement as shown on the Lot Size Map contained in HLEP, where it can be demonstrated that the purpose of the subdivision is for primary production purposes only.
- o. The following additional provisions relate to applications for primary production lots:
- Any lot created for the purpose of primary production only is to demonstrate that the land is of sufficient size and shape to accommodate viable primary production use.
  - All applications should be accompanied by a letter from NSW Department of Primary Industries or financial documentation certifying that the agricultural activity on the allotment justifies the demand for a separate lot.
- p. Any proposed lot for primary production purposes must not be created so as to permit an existing dwelling to be situated on the lot.
- q. A dwelling-house or dwelling (including a rural workers dwelling) is prohibited to be erected on any primary production lot.

## 6.4 Accessway Design

### 6.4.1 Residential and Rural Lands Accessway Design

The following provides controls for the accessway design of subdivisions in the low-density residential areas and rural areas of Hornsby Shire. For other localities refer to the applicable parts of the DCP. For example, for subdivision in an Industrial Area the provisions of Section 5.1 Industrial Land will apply.

#### Desired Outcomes

- a. To ensure access along private accessways to all new lots is simple, safe and direct.
- b. Driveways should not be visually intrusive to the existing streetscape.
- c. To limit the number of driveway crossings and additional dwellings with direct access to main roads to limit the cumulative impacts on traffic flows and safety.

#### Prescriptive Measures

##### Location

- a. Accessways should connect to local roads. No new direct vehicle access should be provided to the following main roads:
  - Castle Hill Road (between Old Northern Road and Edward Bennett Drive, Cherrybrook)
  - Old Northern Road (between Castle Hill Road and New Line Road, Cherrybrook)
  - New Line Road (between New Farm Road and Sebastian Drive, West Pennant Hills, Cherrybrook and Dural)
  - Boundary Road (between New Line Road and Cherrybrook Road, Cherrybrook)
- b. Additional vehicle crossings should be limited to all other main roads.
- c. The distance between adjacent driveways should be less than 3 metres or more than 6 metres, to avoid the creation of an undersized on street parking space.
- d. On the eastern side of Arcadia Road between Galston Road and Gribbenmount Road:
  - vehicular crossings and driveways should be consolidated where possible, and
  - street tree planting should be provided within the road reserve.

Notes:

Refer to AS 2890.1 for sight distance at driveway access exits.

Refer to Section 1.3.2.1 of the DCP for general design requirements related to transport and parking.

#### General Design

- e. The dimensions of an accessway should comply with Table 6.4.1-a.

**Table 6.4.1-a: Accessways to Low Density Residential and Rural Lots**

Lots and/or dwellings	Accessway width (min)	Carriageway width (min)	Landscape verge (min total)
1 – 3	3.5m	3.0m including kerbs	0.5m
4 – 6	4m	3.0m including kerbs	1m
7 – 24	6.65m	5.65m including kerbs	1m
>24	Comply with Council’s H.S.C. Civil Works Design and Construction Specification		

- f. Carriageways should have a maximum grade of 25% at any point with a maximum average grade of 20% over the length of the carriageway for subdivisions of 1 to 3 lots. For subdivisions of 4 or more lots, the maximum gradient is 20%.

Note:

**The carriageway** is an unencumbered pavement with no building encroachments (including eaves) with a minimum height clearance of 4.5 metres.

### Common Turning Areas

- g. Accessways serving 2 or more lots should incorporate a common turning area, designed to allow the 85% Design Car Turning Path in accordance with AS 2890.1 and AS 2890.2, where:
- the site has a slope greater than 15%,
  - the accessway fronts a main road or highly pedestrianised area, or
  - where vehicles would otherwise have to reverse more than 50 metres.

Note:

#### Main roads

Development adjoining roads that are subject to Section 2.119 of the Transport and Infrastructure SEPP require separate approval from Transport for NSW (TfNSW) for access to State and Regional Roads as classified by TfNSW. A list of classified and unclassified main roads for Hornsby Shire is provided in Annexure C.

**A highly pedestrianised area** includes sites located in close proximity to schools, shopping centres, bus stops, places of worship and other busy community facilities.

### Passing Bays

- h. A passing bay with a minimum width of 5.5 metres and depth of 6 metres and transition of 4 metres should be provided adjacent to the street boundary where the accessway:
- serves 7 or more lots, or
  - serves 2 or more lots and fronts a main road.
- i. A passing bay with a minimum width of 5.5 metres should be provided every 40 metres where a long common driveway is proposed.

### Waste Collection Vehicles

- j. Waste collection vehicles should be accommodated on-site if the accessway serves 7 or more lots, or where site constraints require.
- k. When an on-site waste collection area is required, the development should:
- identify a bin collection area inside the property,
  - enable waste collection vehicles to enter and exit the site in a forward direction, and
  - be designed to accommodate Council's large waste collection vehicle per Section 1.3.2.3 of the DCP.

Note:

The requirement to accommodate a large waste collection vehicle may result in the maximum carriageway gradient of 20-25% as prescribed in the general design controls, being unachievable.

### Pedestrian and Bicycle Links

- l. The subdivision design should provide convenient, obvious, and safe pedestrian and bicycle links from the site to public transport facilities and local facilities.

### Street Lighting

- m. Accessways serving 7 or more properties should provide street lighting per AS 1158.3.1 and AS 4282.

Note:

Compliance with AS 1158.3.1 and AS 4282 may require bollard style lighting along private accessways to provide for lighting whilst limiting light spill into residential dwellings.

## 6.5 Road Design

### 6.5.1 Public Road Design

These provisions apply to all subdivision applications.

#### Desired Outcomes

- a. To ensure vehicular access along new public roads is simple, safe, direct and creates a pleasant environment.
- b. Roads should be designed to allow on-street car parking.
- c. Roads in new urban areas should be designed to provide for safe, convenient, and efficient bus routes and the needs of cyclists/pedestrians.

#### Prescriptive Measures

- a. The design of public roads should comply with Council's Civil Design and Construction Specification

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# Hornsby Development Control Plan 2024

## Part 8 River Settlements



## 8 River Settlements

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## Introduction

This Part of the DCP applies to land within the River Settlements of Hornsby Shire as indicated on [Figure 8-a](#). The River Settlements are located along the Hawkesbury River (i.e. Milsons Passage, Dangar Island and parts of Brooklyn) and along Berowra Creek between Marra Marra Creek and Berowra Waters.

The planning controls for the River Settlements are informed by the Hornsby Shire River Settlements and Foreshores Review (2007).

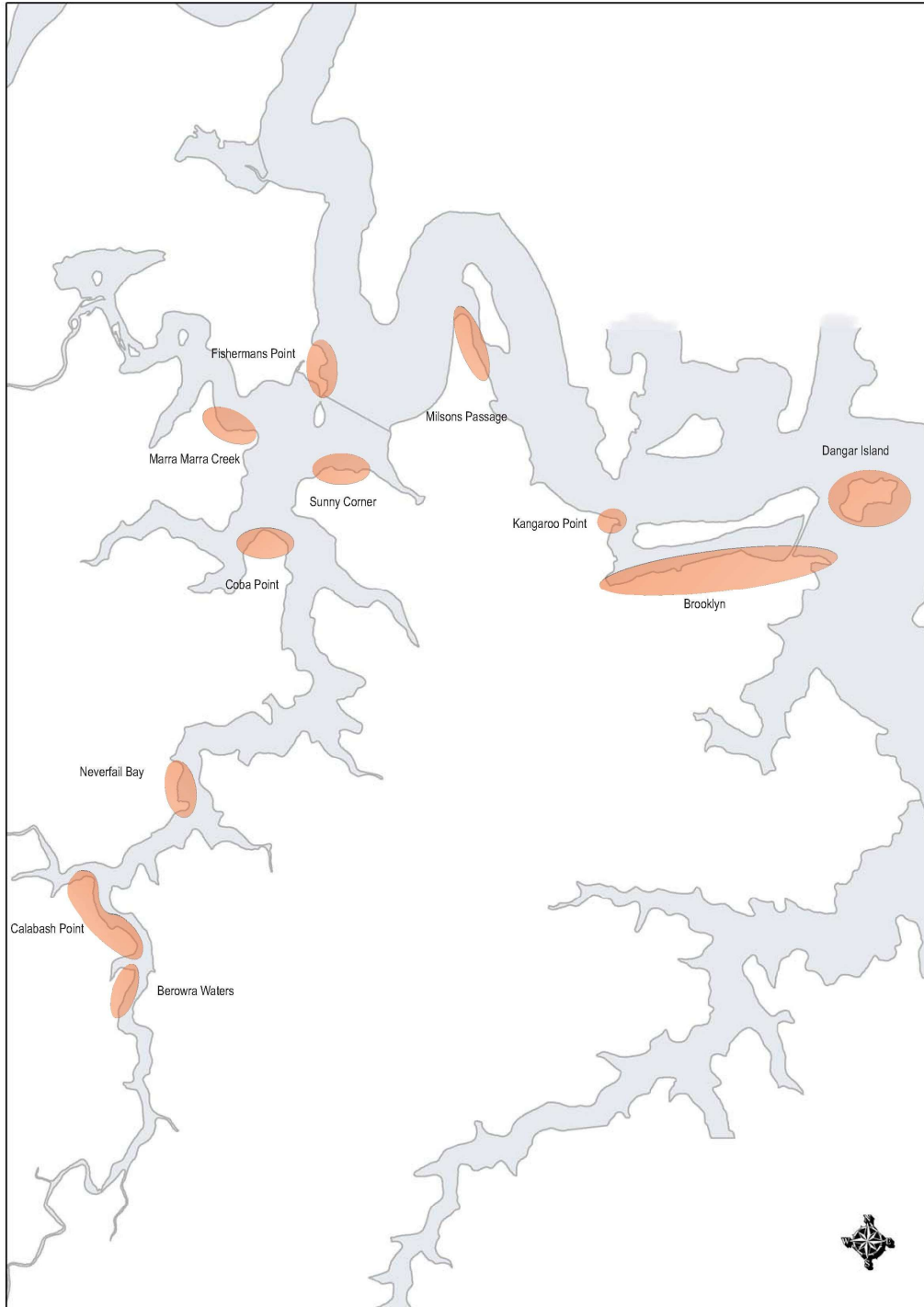
Development within the River Settlements will be ecologically sustainable and will protect water quality, significant native flora and fauna, the natural topography and the scenic quality of the area. The disposal of effluent and grey water from buildings will be in a manner acceptable by Council that will not impact on water quality or downstream properties and waterway users (i.e. commercial and recreational fishers, swimmers, boaters).

Housing within the River Settlements will be consistent with the desired character and recognise the access, environmental and infrastructure constraints of the area. The population within the River Settlements will be restricted to levels which will not impact on the natural environment.

Commercial facilities will service the local residential population and the regional population who utilise the area for recreation and will recognise the access, infrastructure, and environmental constraints of the area. Tourism and tourist infrastructure will protect the natural resources that serve to attract tourists and the social environment of the area.

Community services and facilities will be provided in accordance with existing and future population thresholds and community preferences.

Figure 8-a: River Settlements of Hornsby Shire (C)



## 8.1 River Settlement Land

The following section provides controls for the development of land zoned C3 Environmental Management, C4 Environmental Living (excluding Glenorie), W4 Working Waterfront and SP3 Tourist (Brooklyn).

### 8.1.1 Desired Future Character

#### Desired Outcome

- a. Development that contributes to the desired future character of the area.

#### Prescriptive Measures

- b. Development applications should demonstrate compatibility with the following statements of desired character:

#### Berowra Waters

Berowra Waters is dominated by the operations of the ferry crossing, commercial marinas and associated buildings on either side of the river. New development is sympathetic to the existing bushland and landscape setting. Dwellings are a mix of 1 and 2 storeys in height and respond to the natural topography. The scale of new development has a village atmosphere.

#### Brooklyn

Brooklyn continues to play a vital role in the maritime operations of the river, providing a transport interchange, maritime services facilities, commercial fishing, and a gateway for tourists, visitors and residents of the Hawkesbury River. Redevelopment of the foreshore area prioritises the retention of vegetation such as mangroves. Dwellings are a mix of 1 and 2 storey dwellings, with pole design homes stepping up the hillside on the southern side of Brooklyn Road.

#### Calabash Point

Calabash Point consists mainly of shallow building platforms terraced along the water's edge at the base of the escarpment. The topography of the area dictates that new houses are sited according to the natural landform, with pole design for steeper sites. New dwellings are generally 2 storeys in height. The water's edge retains the natural landform and limits the inclusion of urban elements, such as seawalls and swimming pools.

#### Coba Point

Coba Point has a mix of 1 and 2 storey dwellings nestled in the bushland along the foreshore. New dwellings take advantage of the sweeping views available north up the

river, while blending in with the surrounding landscape. Roofs are low pitched or flat.

#### Dangar Island

Dangar Island is a unique bushland island settlement, essentially free of vehicular traffic, predominantly residential in use. Topography divides the island into 2 distinct parts - an open flatter more urban part and a steeply sloping bushland area. Dwellings in the flatter more open part of the site are 1 and 2 storeys in height. Development on the steeper bushland are of pole design with decks and undercrofts clinging to the hillside.

#### Fisherman's Point

Fisherman's Point remains an isolated settlement. Dwellings are set on large lots surrounded by bushland. Development is setback from the river and not readily viewed from the water.

#### Marra Marra Creek

Marra Marra Creek is an isolated river settlement set amongst the mangroves. The remoteness of the area reinforces the sparseness of development. New dwellings are single storey of modest design with a fibro or weatherboard appearance and pitched roofs.

#### Milsons Passage

Milsons Passage continues to be a relatively remote weekend style residential settlement. New dwellings are typically single storey elevated above the river level, with boat sheds, jetties and ramps lining the foreshore. Some new development on steeper land takes the form of pole homes with a fibro or weatherboard appearance and pitched roofs.

#### Neverfail Bay

Neverfail Bay retains a range of dwelling types. Traditional 1 and 2 storey development of weatherboard and fibro appearance with modest low pitched roofs are built on lower, more level areas. Elevated slopes incorporate pole homes with bushland settings. Native vegetation is retained to assist screen buildings and reduce overall scale.

#### Sunny Corner

Sunny Corner remains an isolated settlement. Dwellings are single storey either hugging the level river banks or setback in the bushland. Dwellings are screened by indigenous vegetation.

### 8.1.2 Scale

#### Desired Outcome

- a. Development with a height, bulk and scale that protects and maintains the environmental and scenic qualities of the area.

#### Prescriptive Measures

##### Height

- a. Sites with the following maximum building heights under Clause 4.3 of the HLEP should comply with the maximum number of storeys in [Table 8.1.2-a](#) ~~Table 8.1.2-a~~.

**Table 8.1.2-a: Translation of Height to Storeys**

HLEP Area	Maximum building height (m)	Maximum Storeys
I	8.5m	2 storeys
K	10.5m	2 storeys

- b. Buildings should not protrude above the predominant tree canopy.
- c. Two storey dwellings should:
  - have a maximum floor to floor height of 3.5 metres, and
  - be stepped in design with single storey on the waterfront and the 2 storey component towards the rear.
- d. Any part of a building within 5 metres of the Mean High Water Mark (MHWM) should be single storey.

##### Notes:

**Building height (or height of building)** means the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.

**Storey** means a space within a building that is situated between one floor and the floor level next above, or if no floor above, the ceiling or roof above, but does not include:

- (a) a space that contains only a lift shaft, stairway or meter room, or
- (b) a mezzanine, or
- (c) an attic.

**Mean high water mark** means the position where the plane of the mean high-water level of all ordinary local high tides intersects the foreshore, being 1.44m above the zero of Fort Denison Tide Gauge and 0.515m Australian Height Datum.

##### Floor Area

- e. The maximum floor space ratio shall be in accordance with the HLEP Floor Space Ratio Map as follows:

**Table 8.1.2-b: Summary of HLEP FSR Provisions**

HLEP Area	Maximum Floor Space Ratio
A2	0.3:1
D	0.5:1

- f. In addition to the above, the maximum floor area of buildings should comply with the following:

**Table 8.1.2-c: Maximum Floor Area by Location**

Location	Minimum Dwelling House Floor Area	
	Lot Size	Maximum floor area
C3 Environmental Management Zone	450m <sup>2</sup> to 599m <sup>2</sup>	330m <sup>2</sup>
	600m <sup>2</sup> to 899m <sup>2</sup>	380m <sup>2</sup>
	900m <sup>2</sup> or larger	430m <sup>2</sup>
C4 Environmental Living Zone	180m <sup>2</sup> for dwelling-houses, and 30m <sup>2</sup> for boat sheds	

##### Notes:

**Floor area of a dwelling house** includes carports, garages, balconies, patios, pergolas, terraces or verandahs which are attached to the house and have two enclosing walls of at least 1.4 metres above floor level. The calculation of floor area is the total of both the ground and upper floors (if there is one) not including awnings, eaves, voids, stairways or lift shafts.

As detailed in Clause 4.5 of the HLEP the Floor Space Ratio of buildings on a site is the ratio of the gross floor area of all buildings within the site to the site area. See the HLEP for the definition of Gross Floor Area.

**Lot size (or site area)** in relation to development, means the area of the lot to which an application for consent to carry out the development relates, excluding:

- (a) any land on which the development is not permitted under an environmental planning instrument, and
- (b) if a lot is a battle-axe or other lot with an access handle, the minimum lot size excludes the area of the access handle.

Site Coverage

- g. The maximum site coverage of all buildings on a property in the SP3 Zone should comply with [Table 8.1.2-d](#)

Table 8.1.2-d: Maximum Site Coverage – SP3 Zone

Lot Size	Maximum site coverage (% of total lot size)
450m <sup>2</sup> to 899m <sup>2</sup>	50%
900m <sup>2</sup> to 1499m <sup>2</sup>	40%
1500m <sup>2</sup> or larger	30%

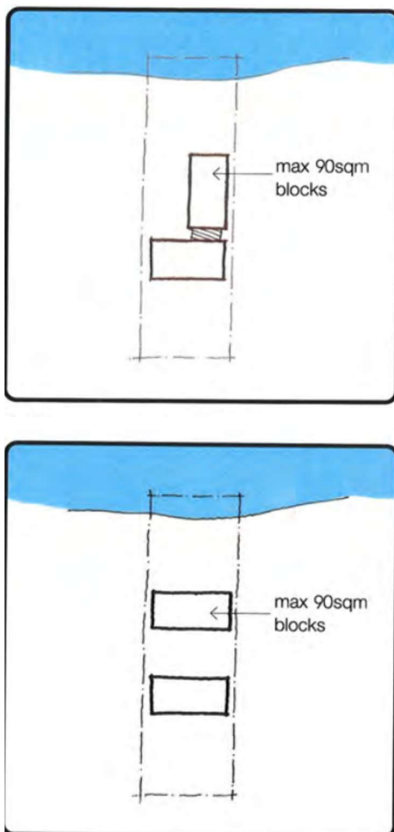
Note:

**Site coverage** means the proportion of a site area covered by buildings. However, the following are not included for the purpose of calculating site coverage:

- (a) any basement,
- (b) any part of an awning that is outside the outer walls of a building and that adjoins the street frontage or other site boundary,
- (c) any eaves,
- (d) unenclosed balconies, decks, pergolas and the like.

- h. Dwellings in the C4 Environmental Living Zone should be broken up into small elements or pavilions with a maximum footprint in any single element of 90m<sup>2</sup> (see [Figure 8.1-a](#))

Figure 8.1-a: Buildings in the C4 zone are to be broken up into smaller 'elements' to ensure a more appropriate scale to the built structures along the waterway (l)



### 8.1.3 Setbacks

#### Desired Outcomes

- a. Setbacks that are compatible with adjacent development and complement the riverine scenic quality.
- b. Setbacks that allow for canopy trees to be retained and planted along the front and rear property boundaries.

#### Prescriptive Measures

- a. The minimum setback of all buildings and structures to the boundaries of the site should comply with [Table 8.1.3-a](#) [Table 8.1.3-a](#):

**Table 8.1.3-a: Minimum Boundary Setbacks**

Boundary Setback	Minimum Building Setback
Waterfront Setback	See HLEP Foreshore Building Line Map and Clause 6.1
Primary Road Frontage	Local roads - 6m Dangar Road, Brooklyn - 0m Brooklyn Road, Brooklyn - 3m 43-75 Grantham Crescent, Dangar Island - 3m to road Riverview Ave, Dangar Island - on merit
Secondary Road Boundary	3m
Side Boundary	2m
Rear Boundary	1 storey element = 3m 2 storey element = 8m except if a rear building limit is prescribed in <a href="#">Figure 8.1-b</a> <a href="#">Figure 8.1 b</a> to <a href="#">Figure 8.1-h</a> <a href="#">Figure 8.1 h</a> .

- b. For the purpose of the setback controls, a 1 storey building or element is not to exceed a building height of 4.5 metres above existing ground level.
- c. For the purpose of the setback controls, the rear building limit means the location beyond which all buildings and structures should not extend, as measured from the site's foreshore boundary (i.e. any building should be located between the foreshore building line and the rear building limit).

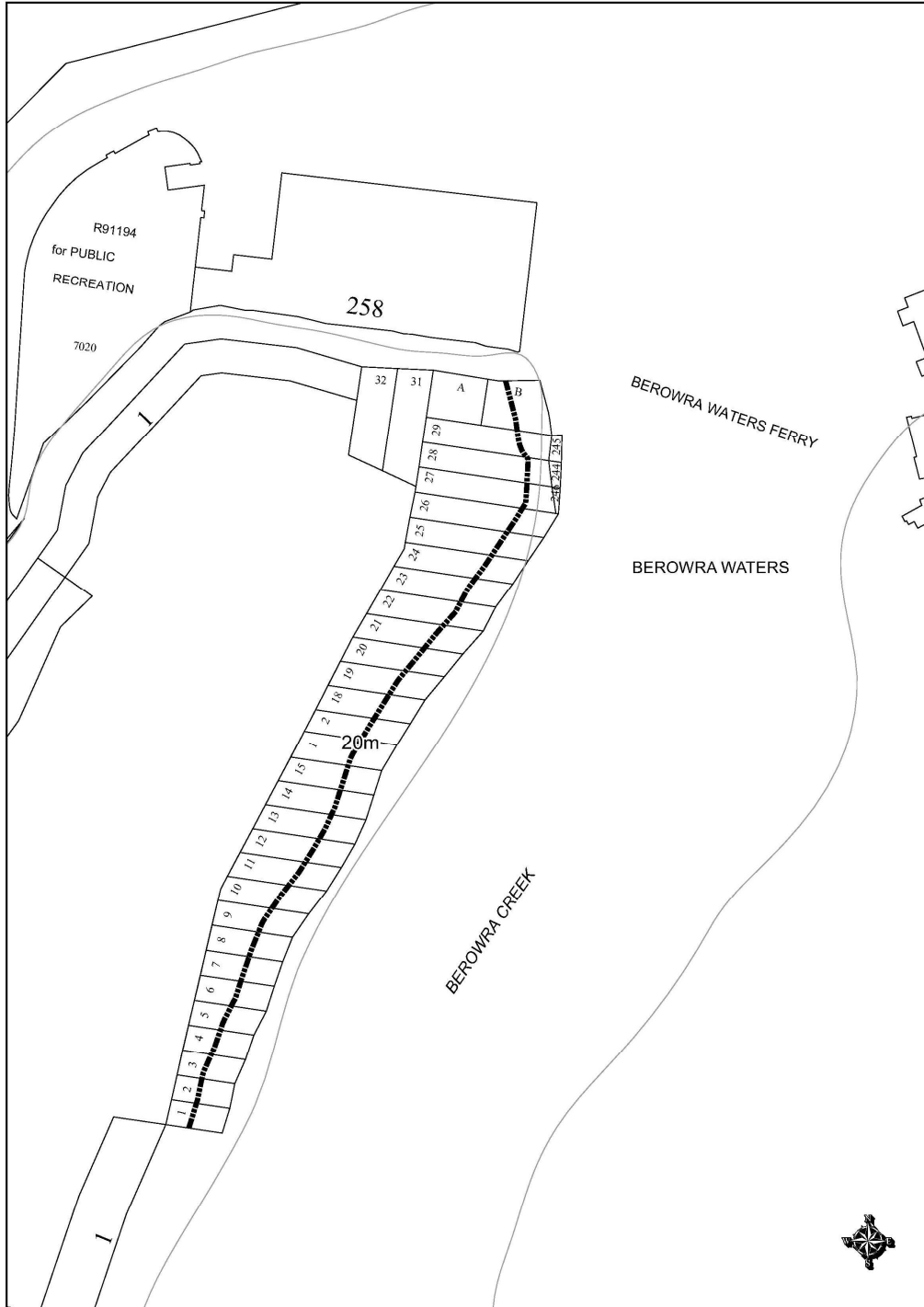
#### Setbacks to Landscape Features

- d. The setback of the building and ancillary structures from the property boundary may need to be increased to maintain landscape features, as detailed in Section 8.1.4 of this DCP.

#### Setback Encroachments

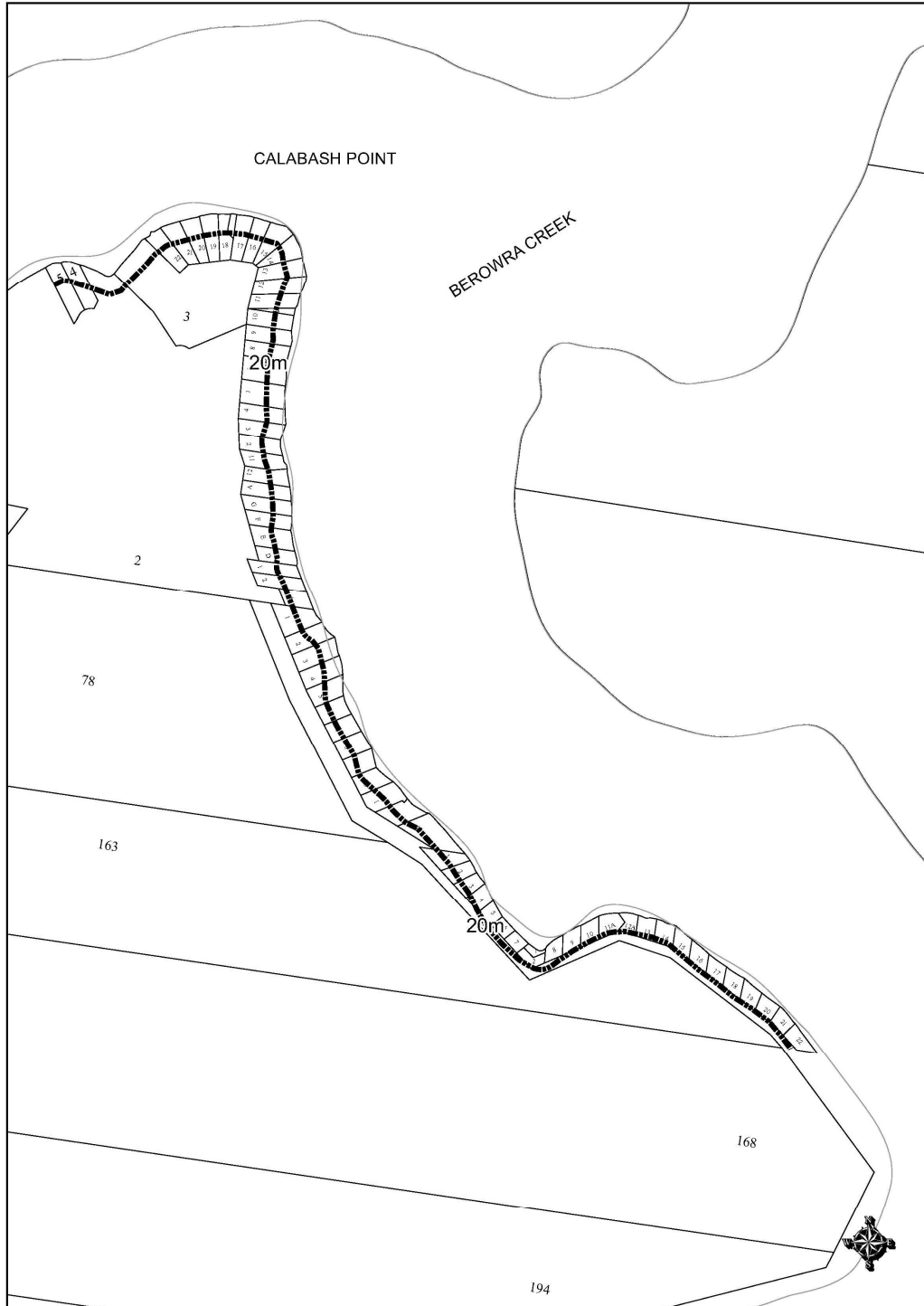
- e. Development may be permitted between the Foreshore Building Line and the Mean High Water Mark (MHWM), where it complies with Clause 6.1 of the HLEP 2013.
- f. Fencing that complies with Section 8.1.4 of this DCP.
- g. Swimming pools and spas that are above ground or require retaining walls and/or seawalls should not be located between the MHWM and the building.

Figure 8.1-b: Rear Building Limit - Berowra Waters (C)



**ATTACHMENT 4 - ITEM 3**

Figure 8.1-c: Rear Building Limit - Calabash Point (C)



**ATTACHMENT 4 - ITEM 3**

Figure 8.1-d: Rear Building Limit - Coba Point (C)

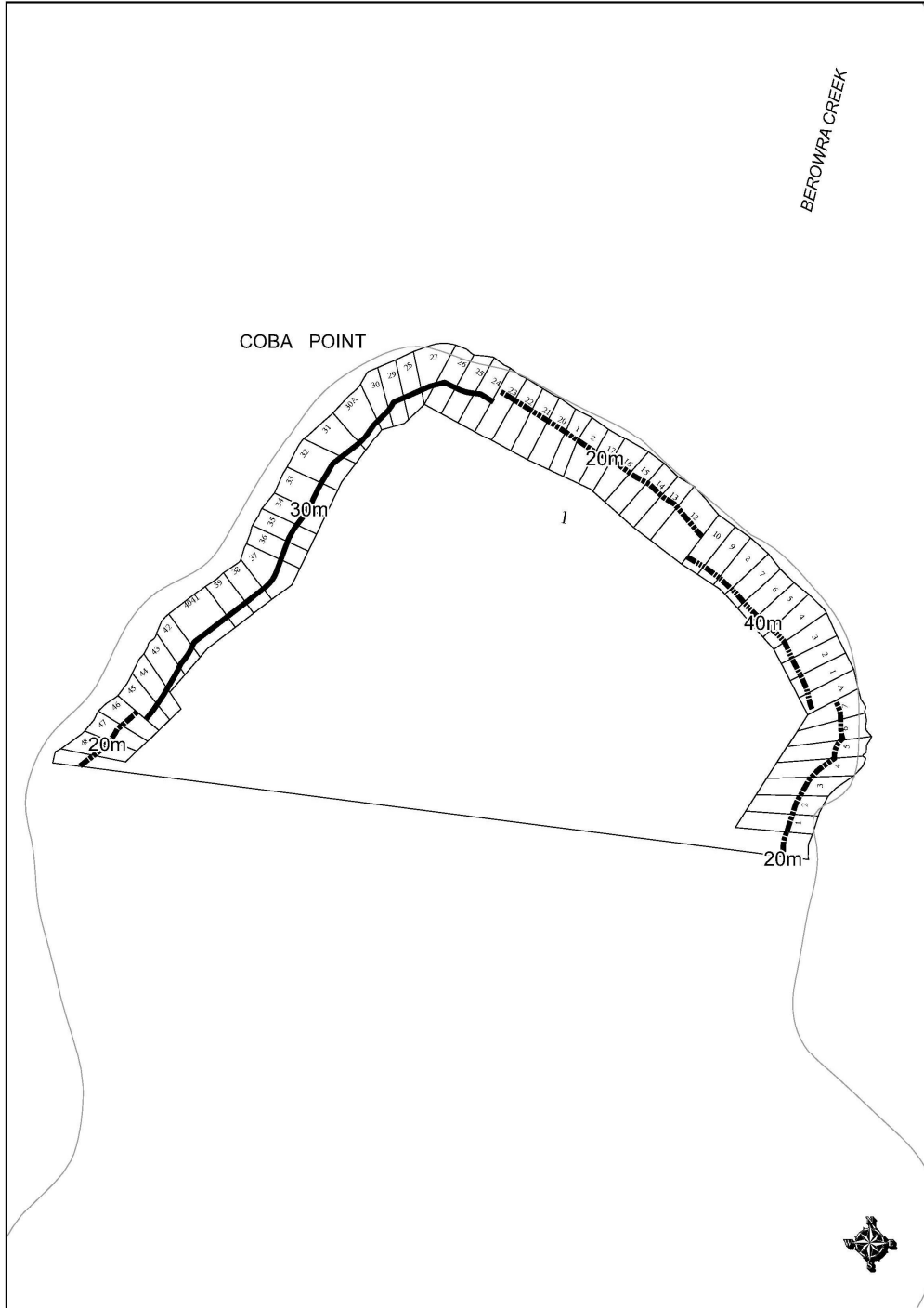
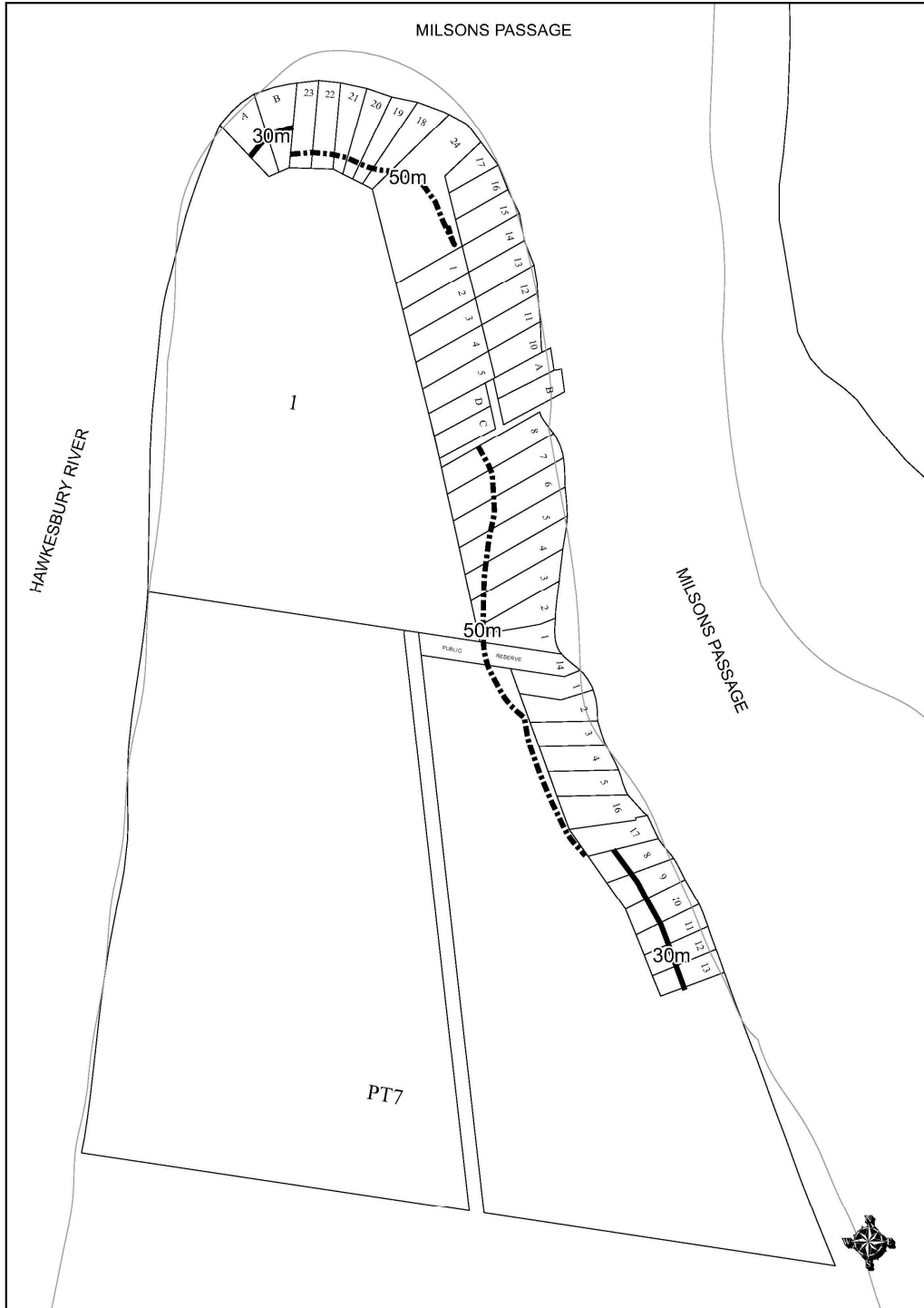


Figure 8.1-e: Rear Building Limit - Marra Marra Creek (C)

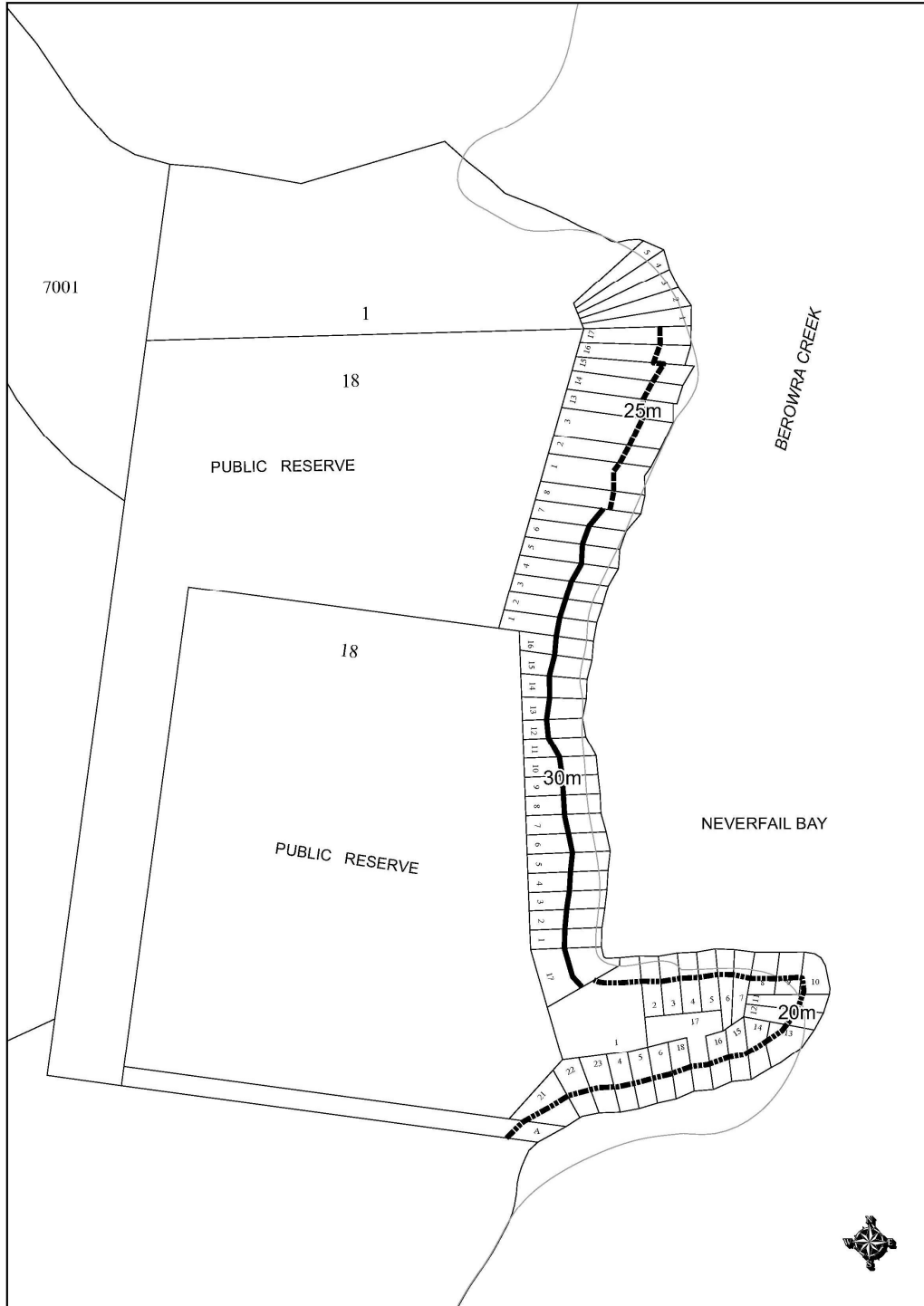


Figure 8.1-f: Rear Building Limit - Milsons Passage (C)



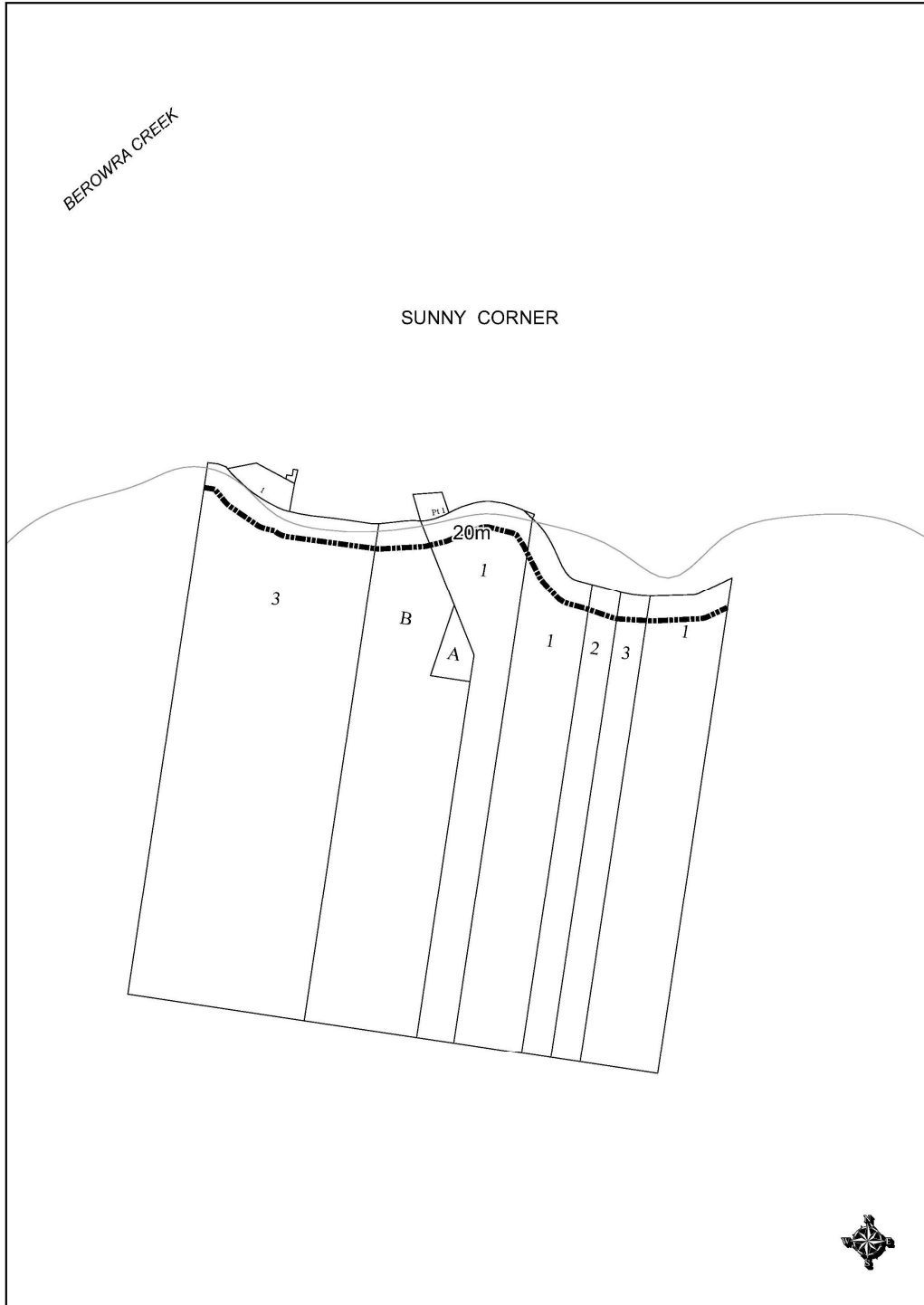
**ATTACHMENT 4 - ITEM 3**

Figure 8.1-g: Rear Building Limit - Neverfail Bay (C)



**ATTACHMENT 4 - ITEM 3**

Figure 8.1-h: Rear Building Limit - Sunny Corner (C)



### 8.1.4 Landscaping

#### Desired Outcomes

- a. Landscaping which screens building undercroft areas.
- b. Landscaping that retains the natural landscape features of the riverine scenic areas.

#### Prescriptive Measures

##### General

- a. Setback areas should be landscaped and designed to:
  - retain indigenous bushland and landscape features as prescribed in Part 1 of this DCP,
  - retain indigenous trees and comply with AS 4970,
  - incorporate the planting of indigenous species rather than lawns, and
  - not be terraced or contain retaining walls unless it is demonstrated necessary to achieve a high quality built outcome or to reduce erosion. Where retaining walls or terracing is proposed, rough stone, natural timber or other natural materials which blend with the landscape should be used. Such work should not disturb remnant bushland, particularly on the foreshore.

##### Fencing

- b. To maintain the riverine scenic quality of the area and facilitate the sharing of views, fences should not be constructed between the building and the water. Visual separation between dwellings should be achieved through landscape planting.
- c. Fencing is discouraged along Riverview Avenue, to maintain the Island’s bushland character.
- d. Where required, fences should be constructed from lightweight materials and dark neutral tones. Colorbond fencing is discouraged.

##### Note:

The applicant is encouraged to incorporate plant species indigenous to Hornsby Shire as part of the development. Refer to Council’s website [www.hornsby.nsw.gov.au](http://www.hornsby.nsw.gov.au).

#### Stairs and Inclinator

- e. Stairs and inclinator should:
  - on steep sites be constructed to sit above the natural ground line and not be formed by terracing the natural topography (see [Figure 8.1-i](#)),
  - be constructed from lightweight elements such as timber or steel with no solid masonry or concrete ([Figure 8.1-j](#)), and
  - be painted in dark neutral tones.
- f. Inclinator should also:
  - be kept to a minimum length and the inclinator rail should be kept as close as possible to the natural ground level,
  - avoid being adjacent to the windows and private outdoor areas of buildings on adjoining properties,
  - avoid a motor that is audible from within the nearest habitable room of any adjacent premises (windows open), and
  - avoid glare and light spill.

Figure 8.1-i: New access stairways should not cut into the landform. This approach disrupts indigenous vegetation and watercourses and increases the risk of soil erosion.(l)

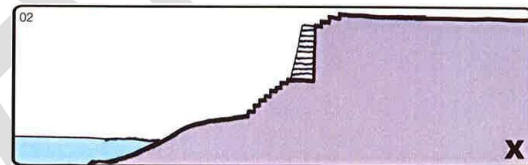
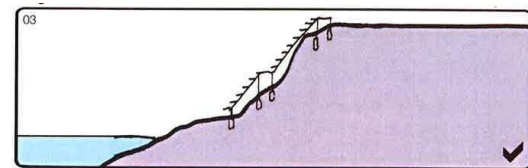


Figure 8.1-j: New access stairways should have minimal disruption to the landform. They should be lightweight and constructed from steel or timber.(l)



### 8.1.5 Open Space

#### Desired Outcomes

- a. Private open space that functions as an extension to the dwelling house.

#### Prescriptive Measures

##### Principal Private Open Space

- a. A dwelling house should be provided with private open space that incorporates a principal private open space area in accordance with [Table 8.1.5-a](#).

**Table 8.1.5-a: Minimum Private Open Space**

Lot width at Building Line	Minimum Principal Private Open Space Area	Minimum Dimension
6-9m	16m <sup>2</sup>	3m
10m or larger	24m <sup>2</sup>	3m

- b. The principal private open space area should be:
  - sited behind the front building line,
  - directly accessible from the living area of the dwelling, and
  - generally, level and comprise verandahs, balconies or elevated decks on steep or sloping sites rather than lawned areas.
- c. Private open space should be located to respect the natural topography of the land and should not be formed from cut and fill.

##### Clothes Drying Area

- d. Each dwelling house should have access to an external air clothes drying area, in addition to the minimum principal private open space area. This is to be screened from public areas.

### 8.1.6 Sunlight Access

#### Desired Outcomes

- a. Development designed to provide solar access to open space areas

#### Prescriptive Measures

- a. On 22 June, public open space areas, plaza areas and footpaths should receive 2 hours of sunlight between 9am and 3pm.
- b. On 22 June, 50 percent of the principal private open space area should receive 3 hours of unobstructed solar access between 9am and 3pm.
- c. On 22 June, 50 percent of the principal private open space on any adjoining property should receive 3 hours of unobstructed solar access between 9am and 3pm.

#### Note:

The Sustainable Buildings SEPP requires a BASIX certificate for new dwellings to facilitate energy efficient housing.

### 8.1.7 Privacy and Views

#### Desired Outcomes

- a. Development designed to provide privacy to adjacent residential properties.
- b. Development designed to ensure that views of the waterways are shared.

#### Prescriptive Measures

##### General

- a. Development should allow for the reasonable sharing of significant views, including water views and iconic views, in particular:
  - views that have not already been obscured,
  - views from front and rear boundaries whilst in a standing position, and
  - views from living and entertainment areas (including kitchens).
- b. Development should allow for the reasonable sharing of significant views by:
  - appropriately siting the building,
  - appropriately designing the bulk of the building,
  - using open materials for balustrades on balconies and decks,
  - new landscaping comprising a light open foliage, and
  - incorporating the design details in Section 8.1.8.

##### Note:

View Sharing - Consistent with Planning Principles endorsed by the Land and Environment Court, where an impact on views arises as a result of non-compliance with one or more planning controls, even a moderate impact may be considered unreasonable. Whereas, with a complying proposal, the question should be asked whether a more skilful design could provide the applicant with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of a complying development would probably be considered acceptable and the view sharing reasonable. For planning principles on view sharing refer to case *Tenacity Consulting v Warringah Council* [2004] NSWLEC 140 available on the NSW Land and Environment Court website at [www.lec.nsw.gov.au/lec/practice-and-procedure/principles/planning-principals.html](http://www.lec.nsw.gov.au/lec/practice-and-procedure/principles/planning-principals.html).

##### Residential

- c. Living and entertaining areas of dwelling houses should be orientated towards the river and/or private open space of the dwelling-house and not side boundaries.
- d. A proposed window in a dwelling house should have a privacy screen if:
  - it is a window to a habitable room, other than a bedroom, that has a floor level of more than 1 metre above existing ground level,
  - the window is setback less than 3 metres from a side or rear boundary, and
  - the window has a sill height of less than 1.5 metres.
- e. Decks and the like that need to be located more than 600 millimetres above existing ground level should not face a window of another habitable room, balcony or private open space of another dwelling located within 9 metres of the proposed deck unless appropriately screened.

##### Commercial

- f. For development at the interface of a commercial area and a residential area, development should encourage views from the commercial area to the horizon rather than downward onto residential areas.

##### Note:

Views from private dwellings considered in development assessment are those available to an observer standing 1 metre from a window or balcony edge (less if the balcony is 1 metre or less in depth).

### 8.1.8 Design Details

#### Desired Outcomes

- a. Building design that complements the desired character of the River Settlements.
- b. Building design that is sympathetic to the topography of the site and limits large substructure areas that are visible from the waterway and public areas.
- c. Development that incorporates environmentally sustainable design and construction.

#### Prescriptive Measures

##### General

- a. Development should be designed to:
  - be consistent with the desired character of the area and dominant design themes within the immediate area, including roof pitch, materials, colours, textures and window placement,
  - address all river and street frontages,
  - have a maximum cut and fill of 1 metre from existing ground level,
  - retain public access to the foreshore,
  - maintain existing commuter berthing facilities, and
  - ensure minimum impact on the waterways water quality and downstream users.
- b. Dwelling houses should be designed to:
  - incorporate pole or pier construction methods on steeply sloping sites,
  - limit the visual impact of large undercrofts that are visible from the waterway and public areas,
  - be sited on the lower foot slopes of allotments in the River Settlements rather than on ridge lines, and
  - reduce the perceived building bulk by avoiding large unbroken roof planes, and incorporate lightweight features to articulate the facade, such as verandahs, decks, awnings and screens.

- c. Commercial buildings should be designed to:
  - provide active commercial ground-floor uses that are at the same general level as the public footpath and are accessible directly from the public domain,
  - provide frontages on upper levels that facilitate passive surveillance of the street,
  - distinguish between the commercial and any residential component of the development in terms of building entries and private, communal and public open space,
  - identify a safe, clear and direct pedestrian entrance to the building from the primary street frontage,
  - incorporate awnings that relate to the architecture of the facade and provide for continuous shelter for pedestrians, and
  - embody active living principles.

#### Materials and Colours (C3 and C4 Zones)

- d. Buildings should be of lightweight timber and steel construction with a weatherboard and fibro cement appearance and corrugated iron roofing.
- e. Solid masonry, brick or stone buildings and terracotta or slate roofing is discouraged.
- f. Louvred windows are encouraged.
- g. Buildings should be painted in dark, neutral tones. Primary colours should not be used.
- h. Bright or light colours (excluding white) should only be used in small areas of buildings as highlights.

#### Notes:

Building design should have regard to the scenic quality requirements of State Environmental Planning Policy (Biodiversity and Conservation) 2021 which encourages small unobtrusive buildings and landscaping to screen and break up building appearance. It also precludes seawalls and the construction of fences to the waterfront.

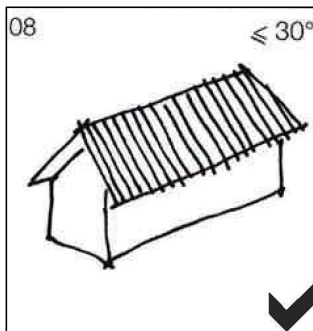
To achieve active living principles development should have regard to NSW Health's Healthy Urban Development Checklist and the National Heart Foundation's Blueprint for an Active Australia.

Roof Forms (C3 and C4 Zones)

- i. Roofs should have a maximum pitch of 30 degrees and should not be curved as illustrated in [Figure 8.1-k](#) [Figure 8.1-k](#).
- j. Roofs should have a maximum single roof plane of 90m<sup>2</sup> in plan area as illustrated in [Figure 8.1-l](#) [Figure 8.1-l](#).

- k. Roofs should be constructed of lightweight materials such as metal deck roofing rather than roof tiles as illustrated in [Figure 8.1-m](#) [Figure 8.1-m](#).
- l. Habitable roof spaces are discouraged and dormer windows should not be incorporated into roofs as illustrated in [Figure 8.1-n](#) [Figure 8.1-n](#).

Figure 8.1-k: Metal roofs with a pitch equal to or less than 30 degrees are encouraged (I)



Appropriate



Figure 8.1-l: Roofs should be 'broken' up into smaller areas (I)

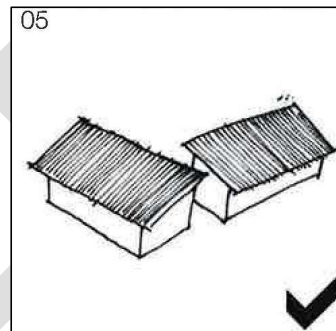
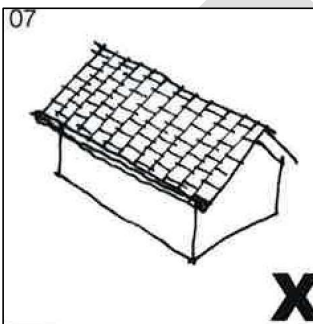


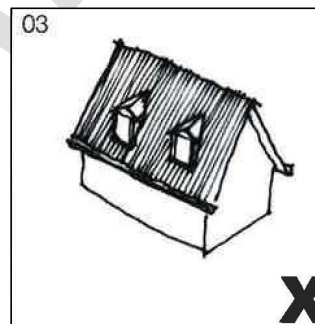
Figure 8.1-m: Tiled roof forms are strongly discouraged (I)



Inappropriate



Figure 8.1-n: Dormer windows should not be incorporated into roofs (I)



**Undercrofts**

- m. Undercroft spaces with a vertical height at any point of more than 1.5 metres above existing ground level should not be enclosed.
- n. Any undercrofts below a height of 1.5 metres which are enclosed should be constructed of timber battens with a minimum 50 percent openings as illustrated in [Figure 8.1-o](#) [Figure 8.1-e](#).
- o. Undercrofts, including any plumbing or rainwater tanks located within, should be painted in dark recessive colours.
- p. Supports to habitable platforms above undercrofts should be setback a minimum of 2 metres from the leading platform edge to reduce the overall bulk and scale of the undercroft area as illustrated in [Figure 8.1-p](#) [Figure 8.1-p](#).

Figure 8.1-o: Enclosed undercrofts below a height of 1.5 metres (l)

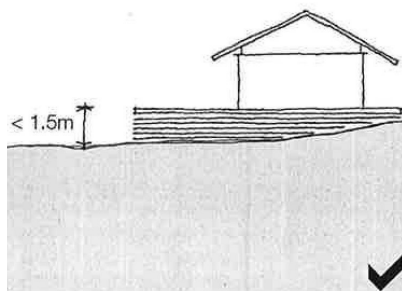
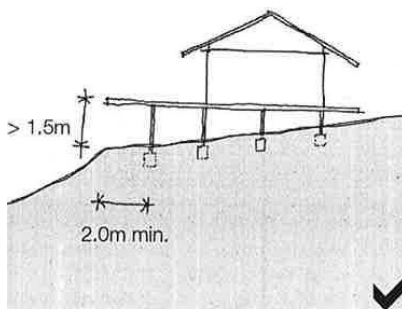


Figure 8.1-p: Location of supports to habitable platforms above undercrofts (l)



## 8.2 River Settlement Uses

The following section provides controls for ancillary uses and works in the River Settlements.

### 8.2.1 Boat Sheds

#### Desired Outcomes

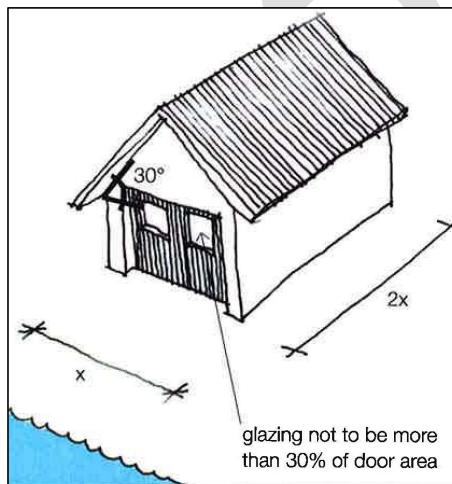
- Boat sheds which are modest in scale and only used for the storage and routine maintenance of boats and other maritime goods.

#### Prescriptive Measures

##### General

- Boat sheds should be designed and located to:
  - be sited above the MHWL,
  - be single storey with a maximum height of 3.6 metres to the ridgeline,
  - have a maximum floor area of 30m<sup>2</sup>, and
  - the frontage of the boat shed (facing the water) should not be more than half the depth of the shed (see [Figure 8.2-a](#) [Figure 8.2-a](#)).
- Boat sheds should not contain any services not associated with maritime activities, including kitchens, living areas, bedrooms or any other living facilities.

Figure 8.2-a: Boat shed design (C)



#### Building Facades and Roof Forms

- Boat sheds should be constructed of lightweight materials, preferably of timber and weatherboard appearance in nautical colours (whites, creams, greys, and blues). Solid masonry or stone boat sheds are discouraged.
- Boat sheds should have a maximum glazed component of 30 percent in the façade adjacent to the waterway.
- Openings onto the waterway should be large enough to facilitate the movement of boats but not consist of sliding glass doors or bi-folding doors.
- Boat shed roofs should be gabled with a roof pitch of approximately 30 degrees.

##### Notes:

**Boat shed** means a building or other structure used for the storage and routine maintenance of a boat or boats and that is associated with a private dwelling or non-profit organisation, and includes any skid used in connection with the building or other structure.

Boat shed design should incorporate best management practices and accommodate materials for the containment, collection and off site disposal of products associated with boat maintenance.

For further information on management practices for boat shed operators refer to the Department of Environment and Climate Change (DECC) Environmental action for marinas, boat sheds and slipways (June 2007) guide on the Department of Planning and Environment website at [www.environment.nsw.gov.au](http://www.environment.nsw.gov.au).

## 8.2.2 Water Recreation Structures

### Desired Outcomes

- a. Piers, wharves, jetties, and boat launching ramps that are compatible with the built and natural elements of the area.
- b. Piers, wharves, jetties and boat launching ramps that maintain water flow and navigation channels.
- c. Piers, wharves, jetties and boat launching ramps that are located to provide safe, convenient and equitable access to the waterway.

### Prescriptive Measures

#### General

- a. Waterway structures should be constructed using floating pontoons or pier construction methods to maximise the free flow of water beneath recreation structures. Wharves and jetties should not be constructed of solid fill.
- b. Elevated platforms or boardwalks are discouraged. Where required, platforms or boardwalks should not extend beyond the MHWM.
- c. To ensure safe charter, a detailed hydrographic survey should be submitted to demonstrate a minimum water depth of 600 millimetres at Indian Spring Low Water tide between the head of the waterway structure and recognised navigation channels.
- d. Waterway structures should be located in areas away from aquatic plants including seagrass beds and saltmarshes and retain mangroves.
- e. Where it is demonstrated that aquatic plants cannot be avoided, mitigation measures should be employed. For example, wharves and jetties should incorporate translucent or mesh walkways and pontoons to allow sunlight penetration.
- f. The location and length of waterway structures should be restricted to the limits illustrated in [Figure 8.2-b](#) [Figure 8.2-b](#) to [Figure 8.2-d](#) [Figure 8.2-d](#) where appropriate to:
  - conserve public access to recreational assets, such as beaches,
  - maintain safe navigable channels,
  - maintain the visual amenity of the waterway, and
  - minimise impacts on the foreshore, aquatic and sensitive natural environments.

- g. Where more than 2 permanent berths for boats of 8 metres length or greater are proposed, boat pumpout facilities should be provided.

### Berthing Facilities for Dwelling Houses

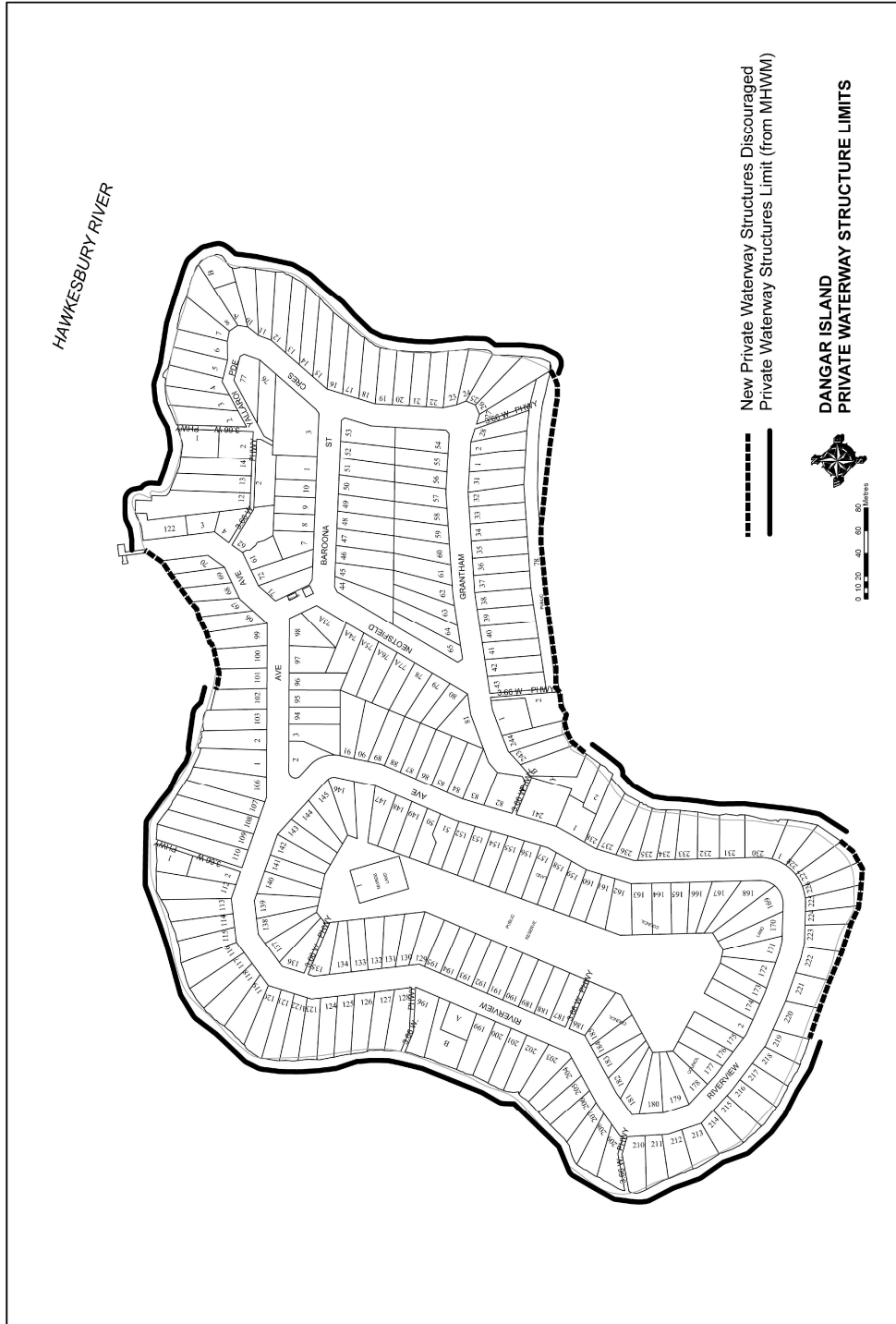
- h. The principal landing area of berthing facilities should not exceed 12m<sup>2</sup>.
- i. The length of a waterway structure should not exceed the distance required to reach minimum navigable water depth (i.e. 600 millimetres at Indian Spring Low Water tide).
- j. Despite the above, a waterway structure may be constructed to a length that does not exceed the length of any existing waterway structure on the adjoining property.
- k. The length of a waterway structure should not adversely impact on aquatic and visual environments and/or obstruct navigation and commercial fisheries operational areas.
- l. Berthing facilities such as pontoons and wharves should be shared where possible by 2, or more, adjoining properties, with legal shared access rights.
- m. Where a berthing facility cannot be built at a property, 1 off-shore residential mooring will be permitted.

#### Note:

**Water recreation structure** means a structure used primarily for recreational purposes that has a direct structural connection between the shore and the waterway, and may include a pier, wharf, jetty or boat launching ramp.

For further information on protecting aquatic habitats refer to the Policy and guidelines for fish habitat conservation and management on the NSW Department of Primary Industries website at [www.dpi.nsw.gov.au](http://www.dpi.nsw.gov.au).

Figure 8.2-b: Dangar Island – Private Waterway Structure Limits (C)



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Figure 8.2-c: Brooklyn - Jetty Limits (C)

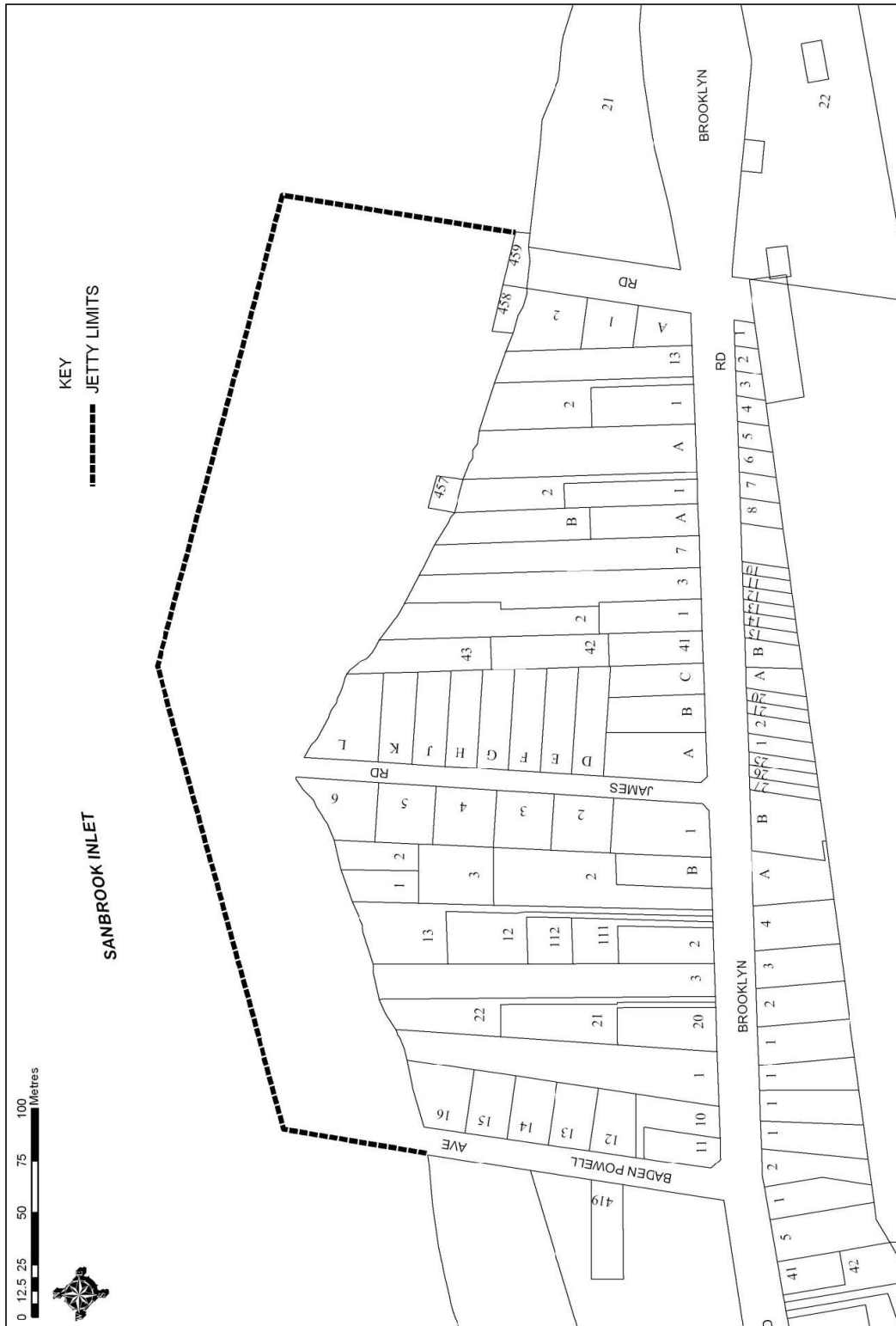
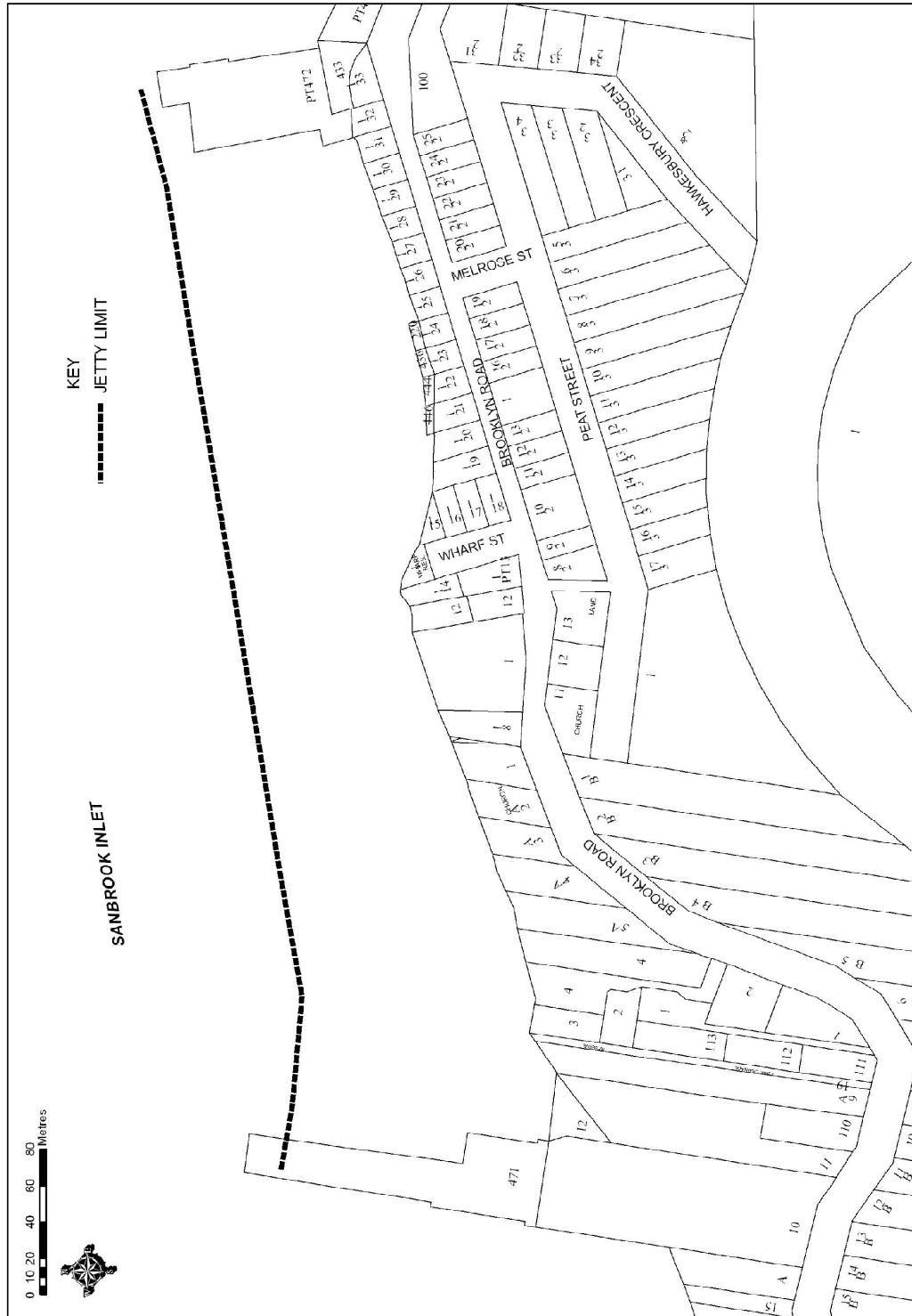


Figure 8.2-d: Brooklyn - Jetty Limits (C)



### 8.2.3 Seawalls

#### Desired Outcomes

- a. Seawalls constructed only in circumstances where it is necessary to protect improvements on properties.
- b. Seawalls that provide habitats for marine flora and fauna.
- c. Seawalls that complement the landscape features of the natural riverine scenic area.

#### Prescriptive Measures

##### General

- a. To maintain the riverine scenic quality of the area, seawalls are discouraged where alternative options such as bank stabilisation with vegetation is available.
- b. Seawalls should not be used as part of any reclamation of the foreshore area. Material should not be dredged from the estuary for the purpose of providing material to backfill a seawall.

##### Location

- c. Seawalls should be located entirely within private property boundaries. Seawalls (including the 'toe') should not extend below the MHWL without written authority from the relevant Crown authority.
- d. Seawalls should not impede any public right of access.
- e. Seawalls should not affect the tidal flushing patterns of the estuary.

##### Note:

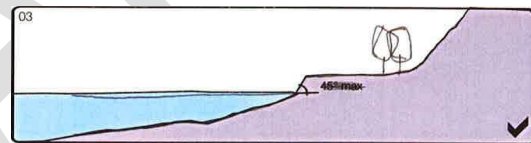
Development applications for seawalls should be accompanied by a report by an appropriately qualified person that addresses existing tidal patterns.

Consideration should be given to the Environmentally friendly seawall guidelines by the Department of Planning and Environment.

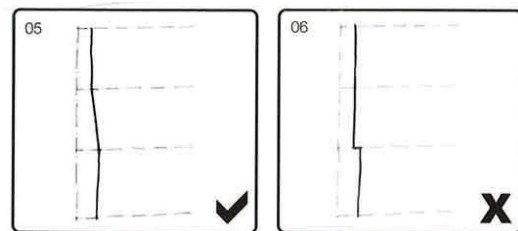
#### Design

- f. Seawalls should reflect a slope that is commensurate with the surrounding natural landscape and should minimise wave reflection to prevent the transfer of bed and bank instability onto adjacent properties. Vertical walls have the greatest reflectance and should not be built (see [Figure 8.2-e](#)/[Figure 8.2-e](#)).
- g. New seawalls should take account of the levels and layout of adjoining sites and achieve integration between adjoining sites (see [Figure 8.2-f](#)/[Figure 8.2-f](#)).
- h. Seawalls should be no higher than is necessary to protect against:
  - Variations in tidal waters, and
  - Wave action caused by water craft.
- i. Seawalls should be designed to maximise habitat for marine flora and fauna through the provision of small horizontal shelves, pools, crevices and the like.

**Figure 8.2-e:** Vertical seawalls provide an intrusive built edge to the waterway. Seawalls should have a slope commensurate with the surrounding natural landscape. (I)



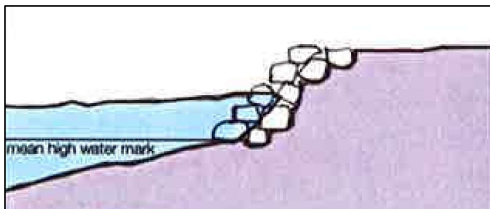
**Figure 8.2-f:** Seawalls should mediate in plan between adjoining conditions. At no point should a seawall create a physical step in plan.(I)



Materials and Landscaping

- j. Seawalls should be constructed of permeable materials such as sandstone and not mortar, solid masonry or poured in-situ concrete. Mortar should only be used for the addition of ecological features (such as ecological pools and horizontal shelves) (see [Figure 8.2-g](#)~~Figure 8.2-g~~).
- k. Seawalls should not restrict planting of riparian vegetation or impede the potential for estuarine vegetation to recolonise. Incorporation of estuarine vegetation, such as seagrasses, mangroves and saltmarshes into seawall design is encouraged.

Figure 8.2-g: Seawalls should be constructed from rough sandstone blocks. The nature of the material reduces the wash, provides a habitat for marine flora and fauna while presenting a more natural shoreline.(l)



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## 8.2.4 Tourist and Visitor Accommodation

These controls apply to Bed and Breakfast Accommodation and Short-Term Rental Accommodation (comprising short-term holiday letting of dwelling-houses).

### Desired Outcome

- a. Tourist and visitor accommodation that is compatible in scale and character with development in the locality.
- b. Tourist and visitor accommodation that provides adequate facilities and services for occupants and are located and designed to minimise amenity impacts on the locality.

### Prescriptive Measures

#### General

- c. A single sign should be displayed in public view within the property boundaries that:
  - has a maximum area of 0.5m<sup>2</sup>,
  - includes details of the land use, name(s) of the owner/establishment and 24-hour contact phone number, and
  - should not be illuminated.
- d. In unsewered areas, it should be demonstrated that the existing sewage management system is adequate for the proposed use or will be upgraded.
- e. Active recreation facilities, such as barbeque areas, should be located away from the bedroom areas of adjoining dwellings.
- f. If relevant, a bushfire evacuation plan should be submitted with the development application showing means of evacuation in an emergency. The bushfire evacuation plan should be displayed within the dwelling or sleeping rooms.

#### Bed and Breakfast Accommodation

- g. Bed and breakfast accommodation should:
  - be undertaken by the permanent residents of the dwelling house,
  - be on a short-term basis, and
  - comprise a maximum of 3 bedrooms catering for a maximum of 6 guests.

#### Short-Term Rental Accommodation

- h. Short-term rental accommodation should:
  - be undertaken in a lawful dwelling,
  - be on a short-term basis (less than 90 days), and
  - comprise a maximum of 6 guests.
- i. A Code of Conduct to be signed and adhered to by guests should be prepared and submitted with the development application. The Code of Conduct should, at minimum, address the following responsibilities of guests during their stay:
  - maximum guest numbers,
  - contact number of the property manager including an afterhours number,
  - noise and lighting restrictions for activities after 10pm,
  - instructions concerning recycling, garbage services and special requirements relating to the disposal of garbage, and
  - procedures in case of an emergency.

#### Notes:

The change of use of a dwelling to tourist and visitor accommodation may require a change of classification under the Building Code of Australia (BCA). This may require significant fire upgrading work and disabled access provision to the building.

**Bed and breakfast accommodation** means an existing dwelling in which temporary or short-term accommodation is provided on a commercial basis by the permanent residents of the dwelling and where:

- (a) meals are provided for guests only, and
- (b) cooking facilities for the preparation of meals are not provided within guests' rooms, and
- (c) dormitory-style accommodation is not provided.

**Short-term rental accommodation** differs from bed and breakfast accommodation in that visitors of the latter are hosted by the permanent residents of the dwelling where the former has no onsite manager. It is otherwise known as short-term holiday letting.

Proponents of tourist and visitor accommodation should have regard Code of Conduct for the short-term rental accommodation industry available on the NSW Fair Trading website at [www.fairtrading.nsw.gov.au](http://www.fairtrading.nsw.gov.au).

## 8.3 River Settlement Masterplans

### 8.3.1 River Settlement Masterplans - General

#### Desired Outcome

- a. Orderly development that is consistent with the principles in the River Settlement Masterplans.

#### Prescriptive Measures

- a. River Settlement Masterplans apply to the following localities:
  - Berowra Waters
  - Kangaroo Point
- b. Development should be designed to embody the principles of the relevant River Settlement Masterplans.

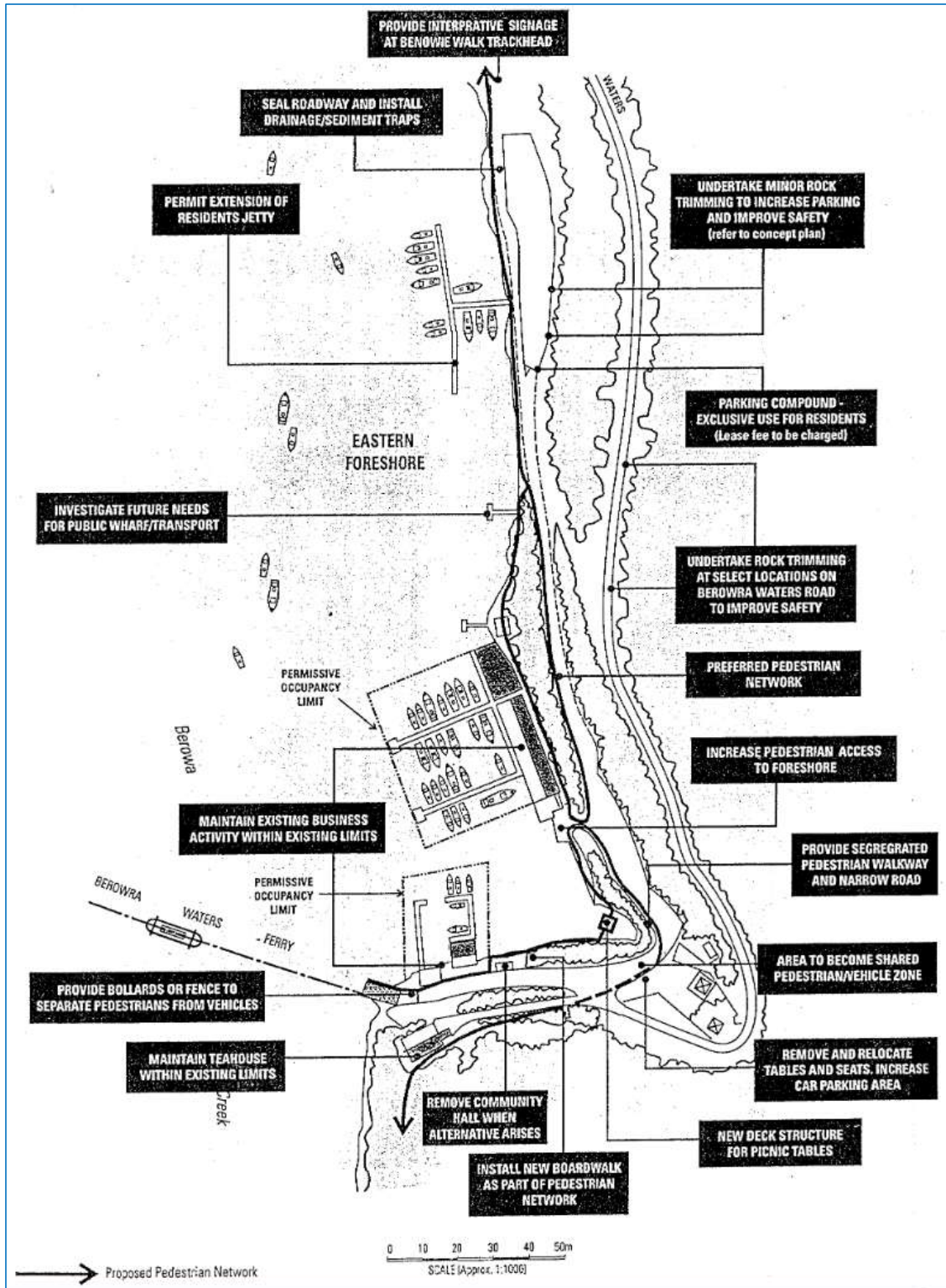
#### Note:

The Masterplan diagrams are indicative only and are not to scale.

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ATTACHMENT 4 - ITEM 3

Berowra Waters Masterplan (eastern side)





### Kangaroo Point Masterplan

- a. Development should be consistent with the urban design guidelines provided in the Masterplan diagram and incorporate the following elements:

#### Former Restaurant Building

- b. Any new building or adaptation of the existing building should be constructed on the footprint of the existing former restaurant building. The building should be a maximum of two storeys in height and vehicular access should be provided to both upper and lower levels.
- c. The building should include public toilets and other use/s that are compatible with and encourage visitation for recreation, such as:
  - Commercially operated café / restaurant;
  - Council managed heritage interpretation facility;
  - Take-away food facility;
  - Community lecture rooms;
  - Public barbeque facilities with shade and shelter;
  - Caretaker's residence up to a maximum of 100m<sup>2</sup> floor space and external curtilage up to a maximum of 50m<sup>2</sup> and/or
  - Storage for management of the reserve
- d. The building should be constructed with a structural system that will be appropriate in providing flexibility for future uses, such as a columned frame. Building materials should be natural materials such as timber and low-reflective metal cladding to ensure the building is not visually intrusive. Pitched roofs should be articulated into a number of planes to visually fragment the bulk of the building. Wide eaves are desirable to ensure walls are shaded. This should ensure visual recessiveness and energy efficiency in the building.

#### Disused Sheds

- e. The disused sheds and carport on the southern side of the road leading to the public wharf should be removed to open up views of the mangrove area.
- f. The disused sheds on the land spit may be used for the provision of office and storage space for recreation based activities.

#### Interpretation

- g. Signage boards should be provided for school and educational groups and for visitors wanting an introduction to the site. Interpretation sites should be provided on main walking paths to provide recreational users with an understanding of the site through more abstract signage and sculpture.

#### Existing Stone Walling and Edges

- h. Existing stone walls and edges should be retained and restored as significant remnants of early European development of the area.

#### Paths

- i. An accessible walking circuit should be provided that extends to all site features, including the mangrove area, stone walls, main building, public wharf, picnic areas, playground, car parks and foreshore. This should provide easy access to all facilities on-site.

#### Picnic Areas

- j. Grass picnic areas should be provided on upper and lower terraces in areas of existing shade where views to waterway are prominent. Grass species should be used which minimise weed invasion into natural areas.
- k. Furniture should be of robust materials such as steel and concrete on bins and barbeques and warm materials such as timber on seats.
- l. Electric barbeques should be sited near or, if the use of the building for commercial purposes is demonstrated to be unviable, in the former restaurant building.
- m. Seating and benches should be dispersed to all picnic areas.
- n. Garbage bins should be centrally located. This should minimise waste and centralise rubbish collection activities.

#### Playground

- o. Playground equipment should be provided for children.

#### Roads

- p. Existing roads should be reused as vehicular access. In some instances they can be narrowed. One way roads should be sealed 4 metres wide. Two way roads should be 7 metres wide. Road edges should be soft landscape. Bollard and wire rope should be used to prevent errant vehicle parking. Road edges should be cambered into natural swales to filter roadway contaminants and sediment from entering waterway.

#### Coach Parking

- q. Parallel coach parking should be provided on the upper level.
- r. A lease should be issued over the coach parking bays to a co-operative of commercial charter boat operators. The use of the coach parking bays between public and private interests should be balanced.

#### Car Parking

- s. Car parking should be provided at both upper and lower levels and formalised by line marking. Three car parking spaces should be designed for use by disabled persons.

#### Lighting and Signage

- t. Lighting should be sufficient for night time use of paths that link car park areas to wharfs. Suitably designed pole top lights should be provided on 6 metre poles to minimise spread.
- u. Signage should be minimised and low-key. No advertising on the site should be permitted.

#### Vegetation

- v. Mixed species in existing vegetation is significant to the heritage of the place. Existing vegetation should be conserved to maintain shade opportunities.
- w. New shade planting should be provided to enhance the opportunities for shade on the site. Tree species should include endemic tree species and understory planting should include native grasses. Native screen planting should be provided to screen unsightly activities such as Telstra building and the Freeway. Mangrove areas should be reinstated.

#### Caretaker's Residence

- x. The caretaker's residence on the lower level of the former restaurant building should be retained for use by a person undertaking the role of a caretaker of Kangaroo Point.

#### Commercial Houseboat Marina

- y. The existing houseboat berths and associated offices within the "Luxury Afloat" marina should be reconfigured to be contained within the boundaries of the commercial licence issued by the Land and Property Management Authority (LPMA).

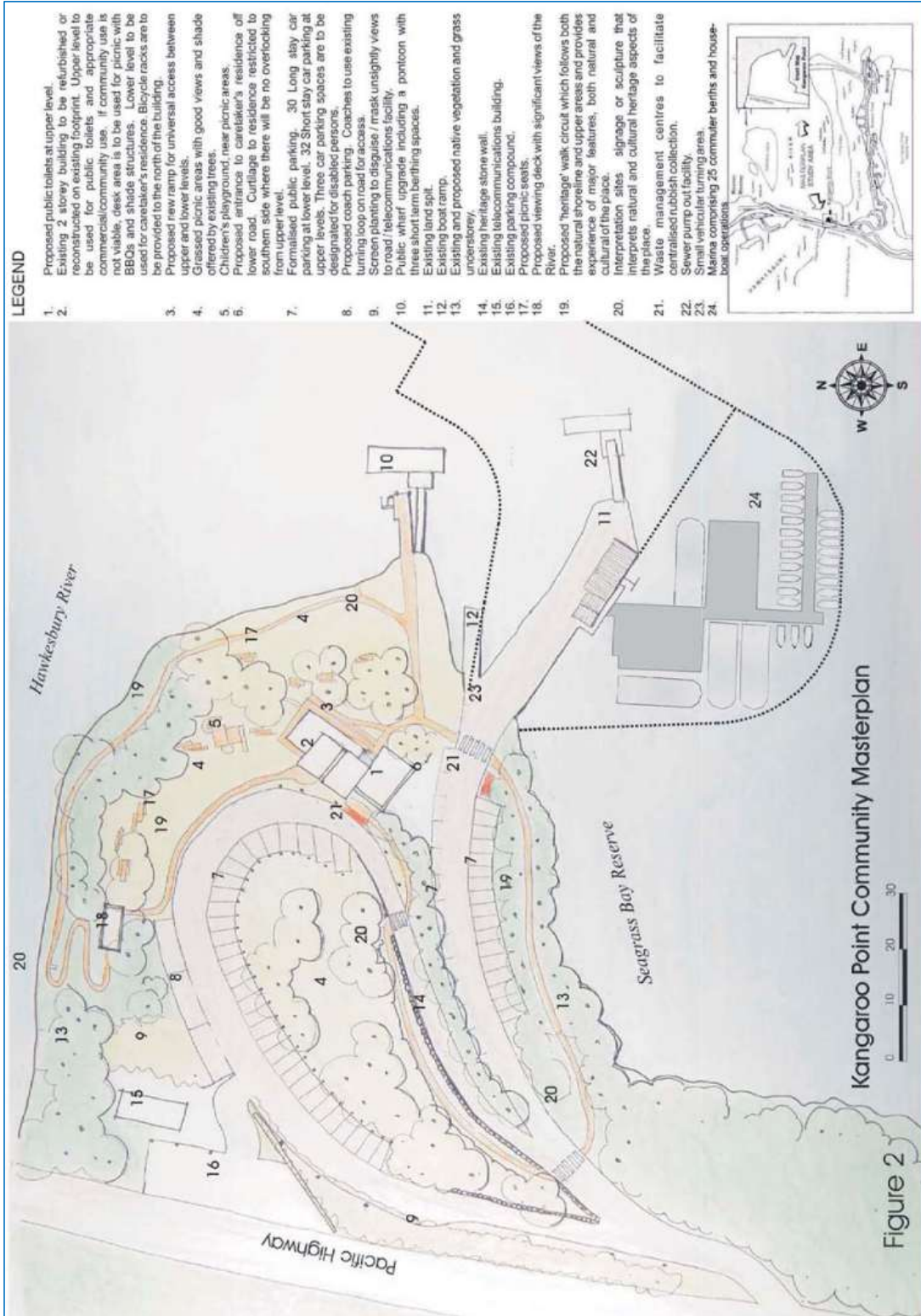
#### Commuter Berthing Facility

- z. To protect seagrass, maintain boat channels and retain views to and from the water, any commuter berthing facility should be:
  - Limited to a maximum of 25 boats of up to 6 metres in length; and
  - Within the area shown on the Masterplan or an approved license area.

#### Public Wharf Upgrade and Use

- aa. Public vehicular and pedestrian access to the wharf should be retained.
- bb. Commercial operators should be provided access where development consent for the use has been granted.
- cc. The existing timber framed ferry wharf should be retained. A light weight framed wharf should be provided to provide improved access for potential users (i.e. charter ferries). Any new wharf should conserve built fabric identified as having heritage significance and the scale, materials and colours of any structure should not be visually intrusive.
- dd. Three short term berthing spaces should be included on the pontoon of any proposed upgrade of the public wharf.

Kangaroo Point Masterplan



ATTACHMENT 4 - ITEM 3