



# ATTACHMENTS

## LOCAL PLANNING PANEL MEETING

**Wednesday 27 April 2022**  
**at 4:00pm**



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### LOCAL PLANNING PANEL

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**ATTACHMENT/S**

**REPORT NO. LPP22/22**

**ITEM 1**

- 1. LOCALITY PLAN**
- 2. PROPOSED SUBDIVISION PLAN**
- 3. STORMWATER PLANS**
- 4. STATEMENT OF ENVIRONMENTAL EFFECTS**



**LOCALITY PLAN**

**DA/34/2022**

**No. 3 Windsor Court, Castle Hill**

## A3



## NOTES

THESE NOTES AND THE TITLE BLOCK ARE AN INTEGRAL PART OF THE SURVEY PLAN AND ARE TO BE INCLUDED WITH ANY ELECTRONIC OR HARD COPIES CREATED FOR FURTHER DISTRIBUTION.

BOUNDARIES SHOWN ON THIS PLAN HAVE NOT BEEN MARKED BUT HAVE BEEN DETERMINED ACCURATELY BY FIELD MEASUREMENT AND BY TITLE DIMENSIONS ONLY.

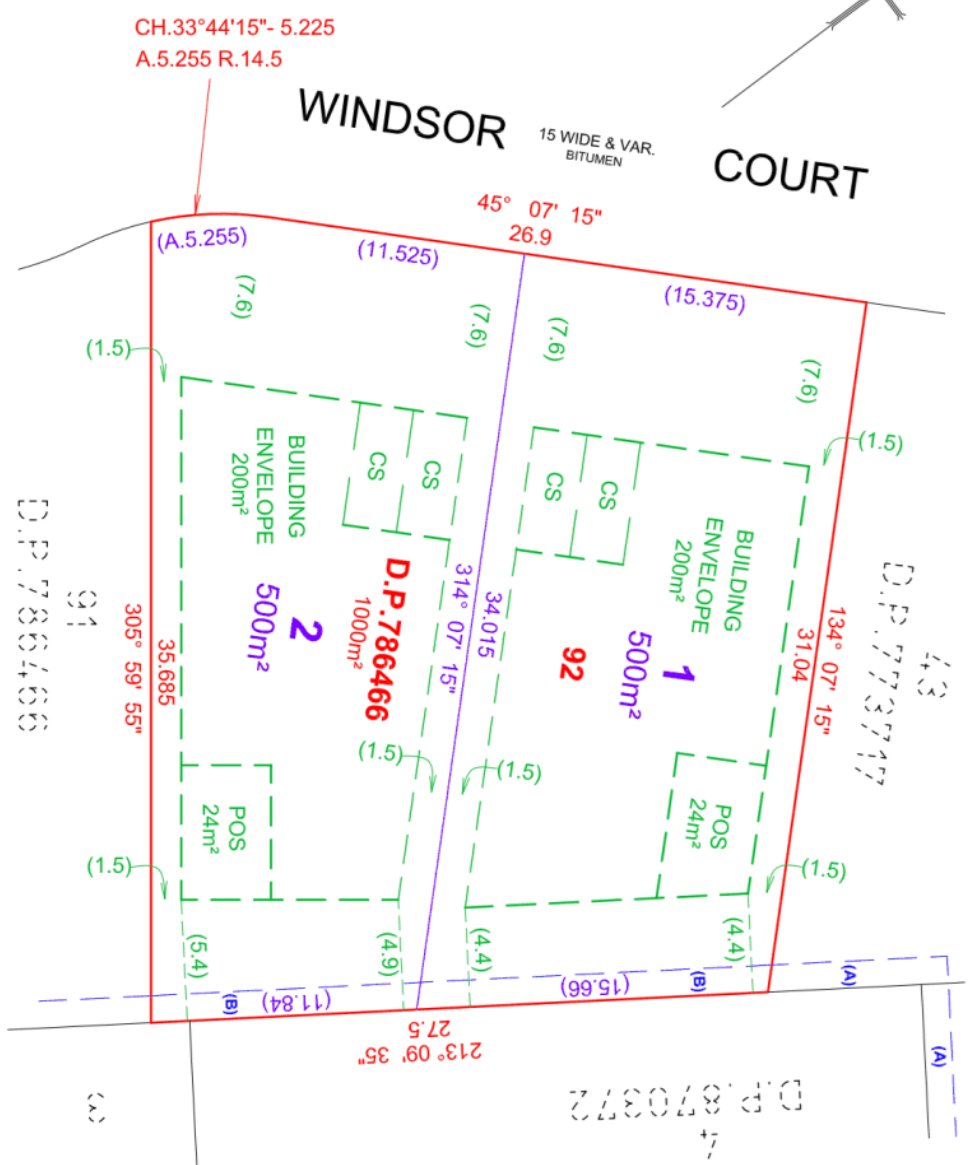
THIS IS PLAN IS FOR DA PURPOSES ONLY AND SUBJECT TO COUNCIL APPROVAL

REFER TO OUR DRAWING 2154-2 FOR DETAIL AND LEVELS

- (A) - EASEMENT TO DRAIN WATER 1.2 WIDE (D.P. 773717)  
(B) - EASEMENT TO DRAIN WATER 1.2 WIDE (D.P. 786466)  
CS - CAR SPACE ( 2.4m WIDE X 5.5m LONG)  
POS - PRIVATE OPEN SPACE 24m<sup>2</sup> ( 4m x 6m)



### NO.3 LOOKING SOUTH EAST



PLAN SHOWING PROPOSED 2 LOT  
SUBDIVISION OF LOT 92 IN D.P. 786466,  
NO. 3 WINDSOR COURT, CASTLE HILL IN  
THE L.G.A. OF HORNSBY.

REF. NO. 2154	DATE: 17.5.21
	SURVEY BY: ST
R.R. 1:200	DRAWN BY: ST
	CHECKED BY: ST
DWG. NO 2154-1	DATUM: AHD
	ORIGIN OF LEVELS: SEE NOTE.



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# 3 WINDSOR COURT, CASTLE HILL NSW 2154 PROPOSED LOT SUBDIVISION

## STORMWATER CONCEPT PLANS - DEVELOPMENT APPLICATION

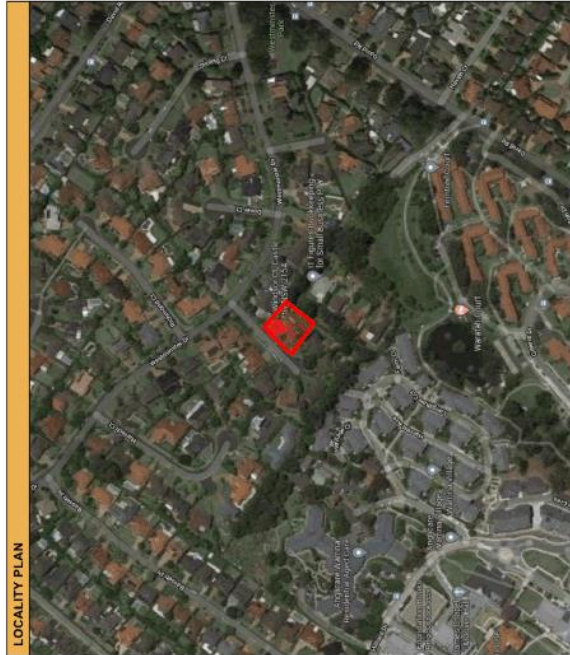
DRAWING INDEX	
Drawing No.	DESCRIPTION
MBR21150-000	COVER SHEET, NOTES & DRAWING INDEX
MBR21150-101	STORMWATER CONCEPT PLAN
MBR21150-102	RECEMENT & EROSION CONTROL PLAN & DETAILS
MBR21150-103	ON-SITE DETENTION DETAILS & CALCULATIONS
MBR21150-104	ON-SITE DETENTION DETAILS & CALCULATIONS
MBR21150-105	ON-SITE DETENTION DETAILS & CALCULATIONS

STORMWATER NOTES	
1.	CONTRACTOR MUST VERIFY EXISTING SERVICES & EXISTING LEVELS, SERVICES & STRUCTURES.
2.	THREE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, LANDSCAPE, STRUCTURAL, HYDRAULIC & OTHER SERVICES DRAWINGS & SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTEGRATION OF THE INFORMATION PROVIDED IN ALL DRAWINGS TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORKS.
3.	EQUIVALENT STRENGTH REINFORCED CONCRETE PIPES MAY BE USED.
4.	WHERE SUBSOL DRAINAGE LINES PASS UNDER FLOOR SLABS & VENTILATOR PAVEMENTS, UNBELLISHED JPCVC SEWER GRADE PIPE SHALL BE USED.
5.	CHAMFERED LINES TO BE BENEER GRADE & SEALED.
6.	ALL PIPES TO HAVE MIN 100mm COVER IF LOCATED WITHIN PROPERTY.
7.	ALL PIPES IN DRIVEWAYS TO BE CONCRETE & ALL PIPES IN LANDSCAPED AREAS TO BE PLASTIC.
8.	PIPS LESS THAN 60mm DEEP MAY BE BRICK, PRECAST OR CONCRETE.
9.	ALL BALCONIES & ROOFS TO BE DRAINAGE & TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH AS/NZS 4455.1:2015.
10.	ALL GUTTERS TO HAVE CHILD PROOF COVERS.
11.	ALL DRAINAGE WORKS TO AVOID TREE ROOTS.
12.	ALL DOWNPIPES & OUTLETERS TO HAVE LEAF GUARDS.
13.	COACH/VEHICLE DRIVEWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
14.	ALL WORKS SHALL BE IN ACCORDANCE WITH C.A.S. 3003.
15.	CARE TO BE TAKEN AROUND EXISTING SEWER STRUCTURAL ADVICE REQUIRED FOR SEWER LINES TO BE MAINTAINED AT ALL TIMES. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.
16.	ALL SUBSOL DRAINAGE PIPES & LARGER SHALL BE CLASS 2 APPROVED SMOOTH & SMOOTH RCP PIPES WITH RUBBER RING JOINTS (UJO) & ALL DRAINAGE PIPES UP TO & INCLUDING 825mm SHALL BE BENEER GRADE JPCVC WITH SMOOTH WELD JOINTS (UJO).
17.	EQUIVALENT STRENGTH RCP PIPES MAY BE USED.
18.	ALL PIPES JOINTS, FITTINGS & TAPERS UP TO & INCLUDING 825mm SHALL BE VIA PURPOSE MADE FITTINGS.
19.	CONTRACTOR TO SUPPLY & INSTALL ALL FITTINGS & SPECIALS INCLUDING VARIOUS PIPE JOINTS, COUPLERS, ELBOWS, TAPERS, REDUCERS, ETC.
20.	ALL CONNECTIONS TO EXISTING DRAINAGE PIPES SHALL BE MADE IN A TRANSVERSE MANNER, A MINIMUM 100mm FROM THE JOINT AT THE POINT OF ENTRY SHALL BE CEMENT REINFORCED TO ENSURE A SMOOTH FINISH.
21.	WHERE TRENCHES ARE IN ROCK, THE PIPE SHALL BE RECESSED INTO A MIN. 50mm CONCRETE COLLAR AT NO POINT SHALL BEAR ON THE ROCK IN OTHER THAN ROCK PIPES SHALL BE LAD ON A 10mm THICK SAND BED. IF ALL CASES BACKFILL THE TRENCH WITH SAND TO TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL COMPACTED IN 150mm LAYERS TO 95% STANDARD MAX. DRY DENSITY.
22.	BEDDING SHALL BE TYPE H1 (UJO). IF ACCORDANCE WITH CURRENT RELEVANT STANDARDS.
23.	WHERE STORMWATER LINES PASS UNDER FLOOR SLABS, SEWER GRADE RUBBER RING JOINTS ARE TO BE USED.
24.	ALL PIPES IN BALCONIES TO BE ONE-PIECE CAST IN CONCRETE SLAB.
25.	ONE-PIECE PIPES SHALL BE: 600 PIPES @ MIN 1.0% 675 PIPES @ MIN 1.0% 825 PIPES @ MIN 1.5% 900 PIPES @ MIN 1.5%
26.	CONTRACTOR TO PROVIDE A BREAK / OPEN VOID IN RAIL / RAIL UTRAP FOR STORMWATER DRAINAGE TO ENTER FOR.
27.	DOWNPIPES TO BE CHECKED BY ARCHITECT & PLUMBER PRIOR TO CONSTRUCTION.
28.	DOWNPIPES TO BE CHECKED BY ARCHITECT & PLUMBER PRIOR TO CONSTRUCTION.
29.	PROVIDE 150mm DEPTH OF 100mm SUBSOL DRAINAGE PIPE WAPPED IN FABRIC SOCK AT UPSTREAM END OF FACILITY.
30.	ALL THE CLEARING EYES FOR INSPECTION EYES FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION & MAINTENANCE PURPOSES.
31.	ALL SUBSOL DRAINAGE SHALL BE A MIN. OF 800 & SHALL BE PROVIDED WITH A FLEXIBLE JOINT LEVELS OR WHERE THE WTS STORMWATER SYSTEM CONNECTS INTO THE GROUND PROVIDED BY THE LANDSCAPE ARCHITECT.
32.	PRIOR TO COMMENCING ANY WORKS, THE BUILDER SHALL ENSURE THAT THE INHERIT LEVELS OF WHERE THE WTS STORMWATER SYSTEM CONNECTS INTO THE GROUND PROVIDED BY THE LANDSCAPE ARCHITECT.
33.	ALL THE CLEARING EYES FOR INSPECTION EYES FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION & MAINTENANCE PURPOSES.

SITING NOTES	
1.	ORIGIN OF LEVELS - AUSTRALIAN HEIGHT DATUM (AHD).
2.	EXISTING LEVELS SHALL BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE EXISTING LEVELS ON THE SITE PRIOR TO COMMENCEMENT OF WORKS.
3.	ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE DIRECTIONS OF THE DESIGNER'S REPRESENTATIVE.
4.	EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA & THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE EXISTING SERVICES ON THE SITE PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.
5.	WHERE THE EXISTING SERVICES ARE NOT SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ASBESTOS, CHANGES IS OBTAINED.
6.	THE CONTRACTOR SHALL ARRANGE ALL SURVEY RETOUR TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
7.	CARE IS TO BE TAKEN AROUND EXISTING SERVICES & STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE EXISTING SERVICES ON THE SITE PRIOR TO COMMENCEMENT OF WORKS.
8.	ALL SERVICES INDICATED UNDER VEHICULAR PAVEMENTS SHALL BE MAINTAINED AT ALL TIMES. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.
9.	ALL SERVICES INDICATED UNDER VEHICULAR PAVEMENTS SHALL BE MAINTAINED AT ALL TIMES. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.
10.	ON COMPLETION OF PIPE INSTALLATION, ALL EXISTING AREAS MUST BE RESTORED TO ORIGINAL, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL & GRASSED AREAS & ROAD PAVEMENTS.
11.	PROVIDE 1200mm WIDE EXPANDING CORN JOINTS BETWEEN CONCRETE DRIVEWAYS, GRATED DRIVEWAYS, ROLL-ON FOOTPATHS ETC.
12.	CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS.
13.	ALL BATTERS TO BE GRASSED LINED WITH MIN 100mm TURF, & APPROVED CUSH-LAND AS TURF.
14.	MAKE SMOOTH TRANSITION TO EXISTING SERVICES & MAKE GOOD.
15.	THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY OVERSIGHT DRAINS & WORKS TO ENSURE THAT, AT ALL TIMES, EXPOSED AREAS ARE PROTECTED FROM OVERSIGHT DRAINAGE. THE CONTRACTOR SHALL PROVIDE TEMPORARY OVERSIGHT DRAINS & WORKS TO ENSURE THAT, AT ALL TIMES, EXPOSED AREAS ARE PROTECTED FROM OVERSIGHT DRAINAGE.
16.	THREE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, LANDSCAPE, STRUCTURAL, HYDRAULIC & OTHER SERVICES DRAWINGS & SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INTEGRATION OF THE INFORMATION PROVIDED IN ALL DRAWINGS TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.
17.	TRUCKS THROUGH DRIVEWAY ROAD & CONCRETE PAVEMENTS SHALL BE SAWCUT TO FULL DEPTH OF CONCRETE & A MIN 100mm IN BITUMINOUS PAVING.
18.	ALL BRIMCH GAS WATER SERVICES UNDER DRIVEWAYS & BRICK EXTERIOR AREAS SHALL BE MAINTAINED AT ALL TIMES. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF ANY WORK.
19.	ALL WORKS WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION.
20.	COACH/VEHICLE DRIVEWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.



LOCALITY PLAN

**DIAL BEFORE YOU DIG NOTE**

THE CONTRACTOR MUST CONTACT ALL SERVICES & MAINTAIN A SET OF DIAL BEFORE YOU DIG DRAWINGS ON SITE AT ALL TIMES.

**DIAL BEFORE YOU DIG**  
www.1100.com.au

**EROSION & SEDIMENT CONTROL NOTES**

**GENERAL INSTRUCTIONS:**

1. THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING INSTRUCTIONS:
2. THE SITE SUPERINTENDENT WILL ENSURE THAT ALL SOIL & WATER MANAGEMENT WORKS ARE LOCATED AS INDICATED IN THIS SPECIFICATION.
3. ALL BARRIERS & SEDIMENTATION WORKS WILL BE INFORMED OF THEIR LOCATION & PURPOSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLLUTION TO DOWNSTREAM LAKES & WATERWAYS.

**CONSTRUCTION Sequence:**

1. THE SOIL REMOVAL OPERATION ON THIS SITE SHALL BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
2. INSTALL SEDIMENT FENCES, TEMPORARY CONSTRUCTION EXIT & BARRIERS TO PREVENT SEDIMENT TRAP.
3. ENGINEERING PLANS SHALL BE DEVELOPED SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

**EROSION CONTROL:**

1. DURING WINDY CONDITIONS, LARGE UNPROTECTED AREAS WILL BE KEPT MOST (NOT MET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
2. LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE & WITHIN WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

**FENCING:**

1. SEDIMENTATION WORKS WILL NOT BE LOCATED WITHIN 20m OF PROPOSED AREAS INCLUDING WATERWAYS, WHERE THEY ARE BETWEEN 2 & 5m FROM SUCH AREAS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLLUTION TO DOWNSTREAM LAKES & WATERWAYS.
2. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE DRIVEWAY) SHALL BE REMOVED AS SOON AS POSSIBLE & WITHIN WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.
3. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
4. ONLY AFTER THE LAND THEY ARE PROTECTING ARE REHABILITATED.

**OTHER MATTERS:**

1. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE & MORTAR SLURRIES, PAINTS, ACID WASHING, LIGHT WEIGHT WASTE MATERIALS & LITTER.
2. RECEPTORS FOR CONCRETE & MORTAR SLURRIES, PAINTS, ACID WASHING, LIGHT WEIGHT WASTE MATERIALS & LITTER SHALL BE PROVIDED AS SOON AS POSSIBLE & WITHIN WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.
3. RECEPTORS FOR CONCRETE & MORTAR SLURRIES, PAINTS, ACID WASHING, LIGHT WEIGHT WASTE MATERIALS & LITTER SHALL BE PROVIDED AS SOON AS POSSIBLE & WITHIN WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

**SITE INSPECTION & MAINTENANCE:**

1. EROSION & SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AFTER CONSTRUCTION ACTIVITIES HAVE COMPLETED. ANY DEFECTS OR DAMAGE TO MAINTENANCE SHALL BE IMMEDIATELY REPAIRED.

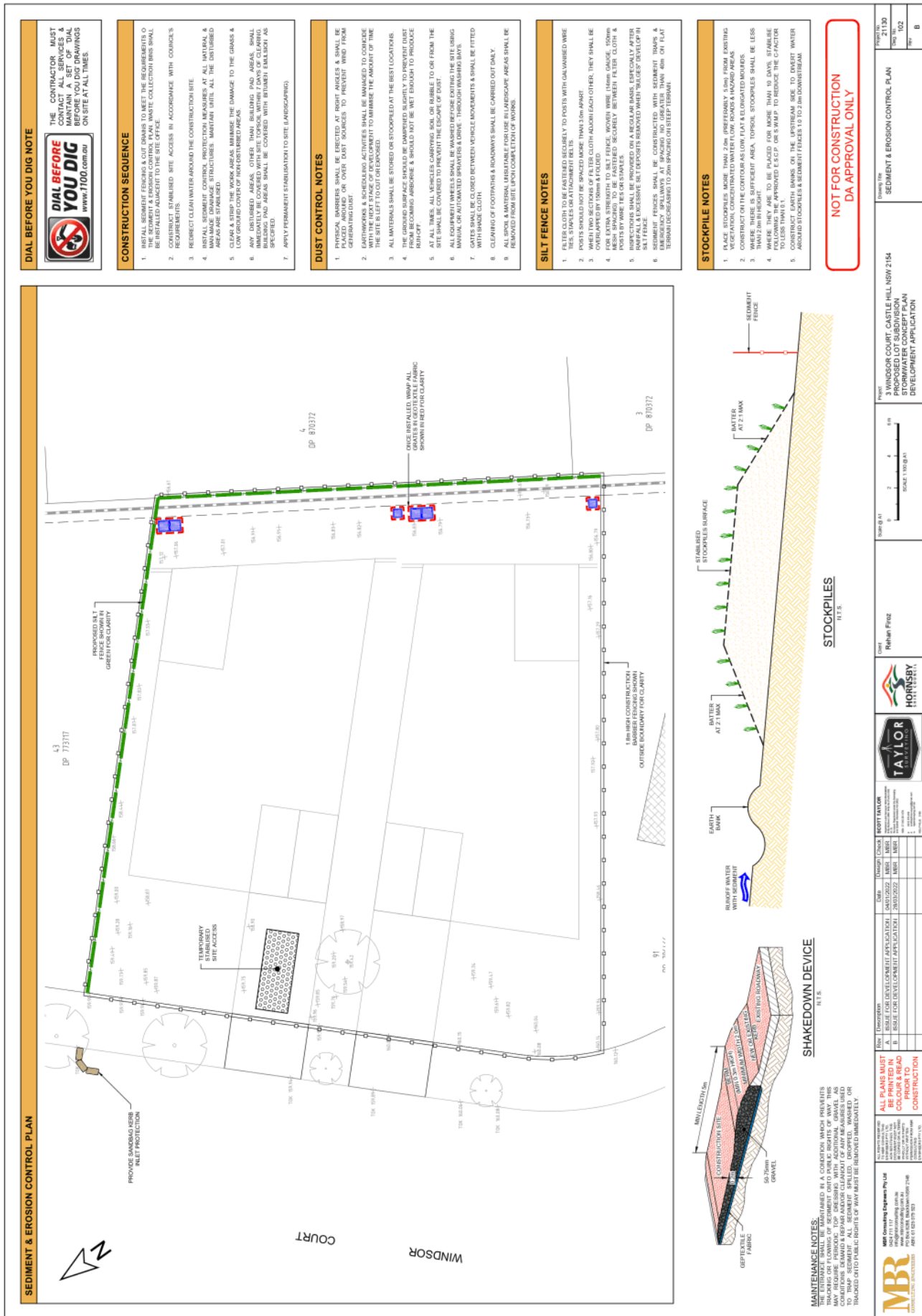
**NOT FOR CONSTRUCTION  
DA APPROVAL ONLY**

Project		Client		Design		Drawn		Checked		Reviewed		Approved	
3 WINDSOR COURT, CASTLE HILL NSW 2154		Rohan Fritz		Taylor		Taylor		Taylor		Taylor		Taylor	
STORMWATER CONCEPT PLAN		STORMWATER CONCEPT PLAN		STORMWATER CONCEPT PLAN		STORMWATER CONCEPT PLAN		STORMWATER CONCEPT PLAN		STORMWATER CONCEPT PLAN		STORMWATER CONCEPT PLAN	
DEVELOPMENT APPLICATION		DEVELOPMENT APPLICATION		DEVELOPMENT APPLICATION		DEVELOPMENT APPLICATION		DEVELOPMENT APPLICATION		DEVELOPMENT APPLICATION		DEVELOPMENT APPLICATION	
Project No. 11130		Client No. 000		Design No. 000		Drawn No. 000		Checked No. 000		Reviewed No. 000		Approved No. 000	

# ATTACHMENT 3 - ITEM 1

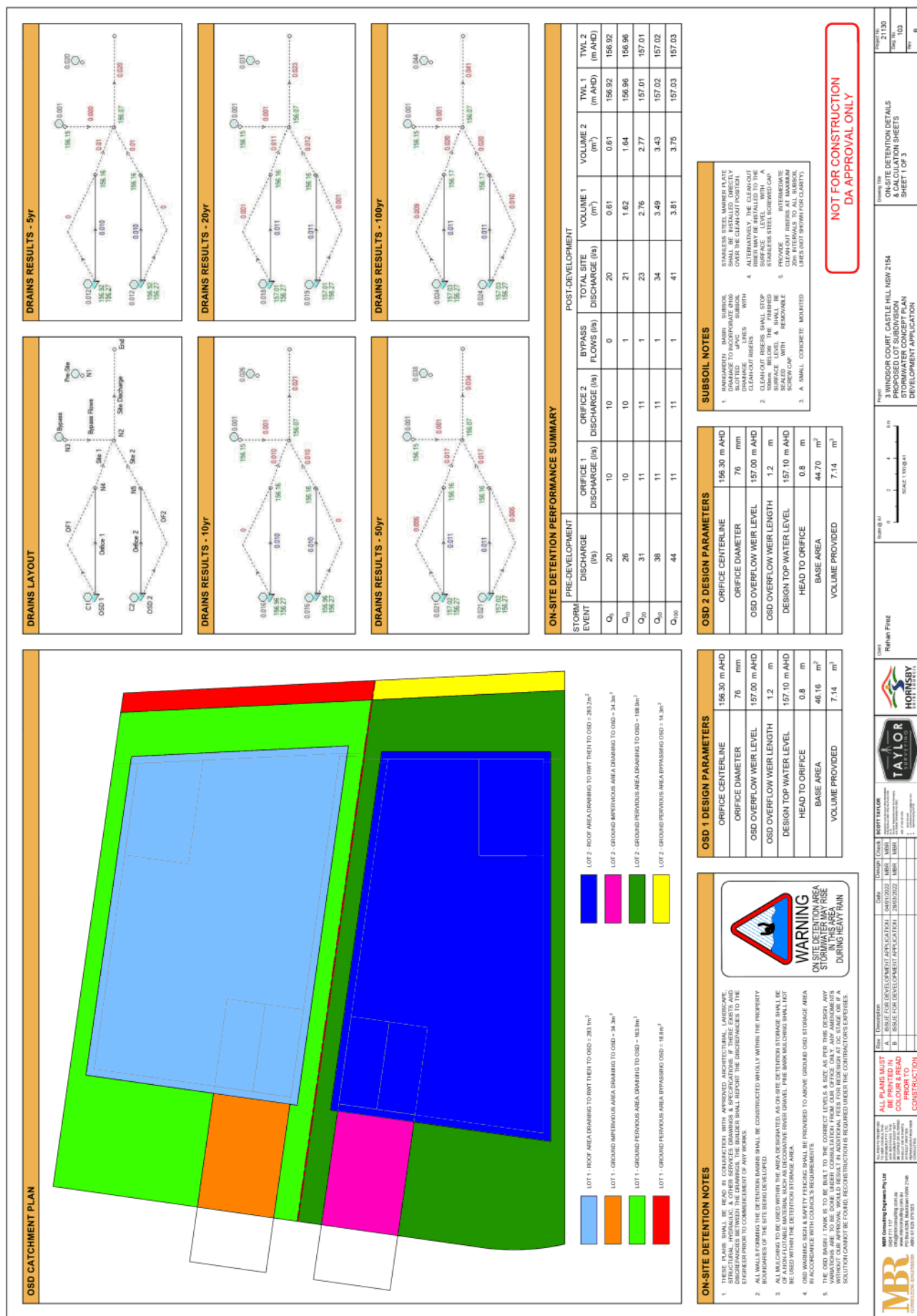
# ATTACHMENT 3 - ITEM 1

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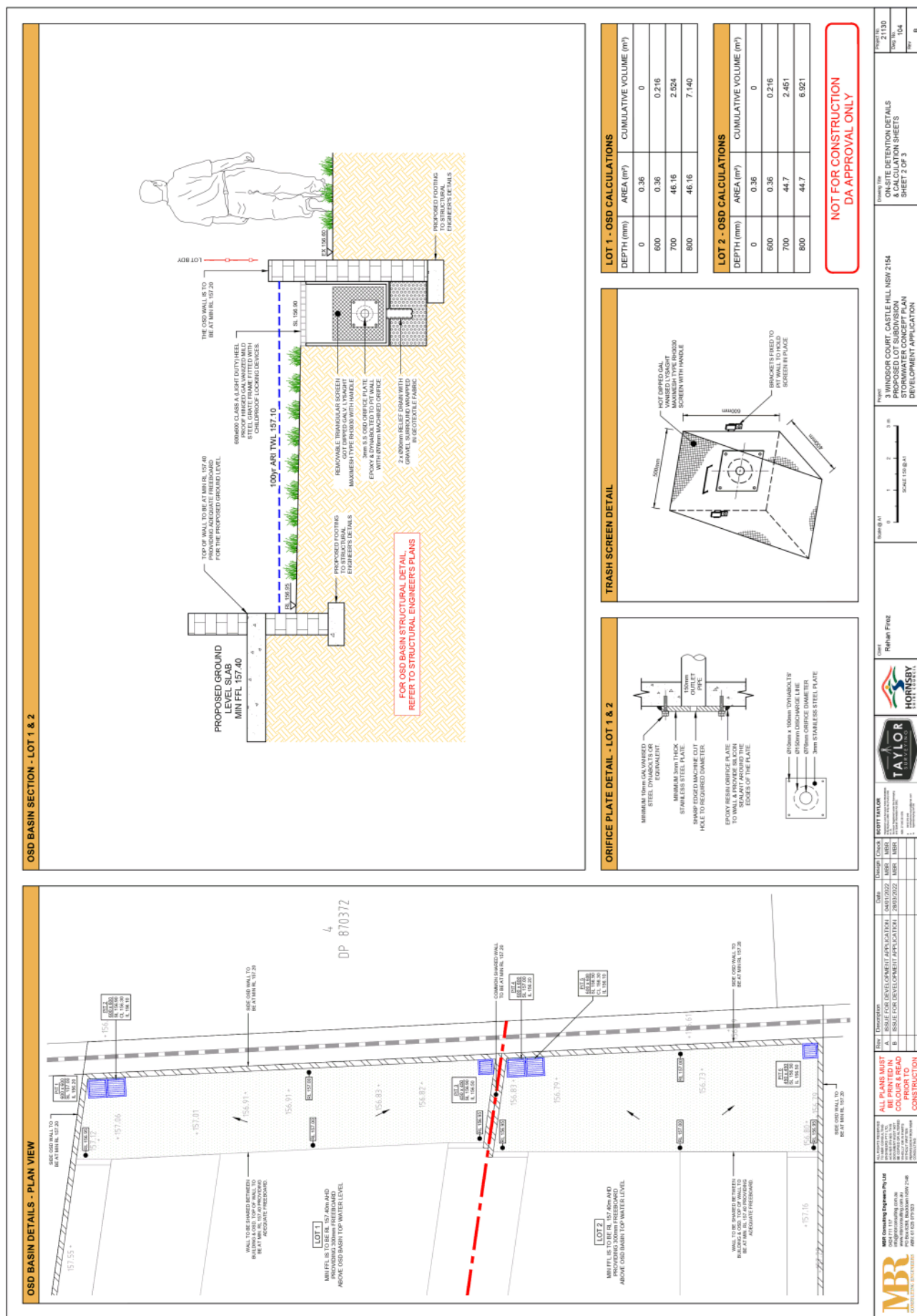
# ATTACHMENT 3 - ITEM 1

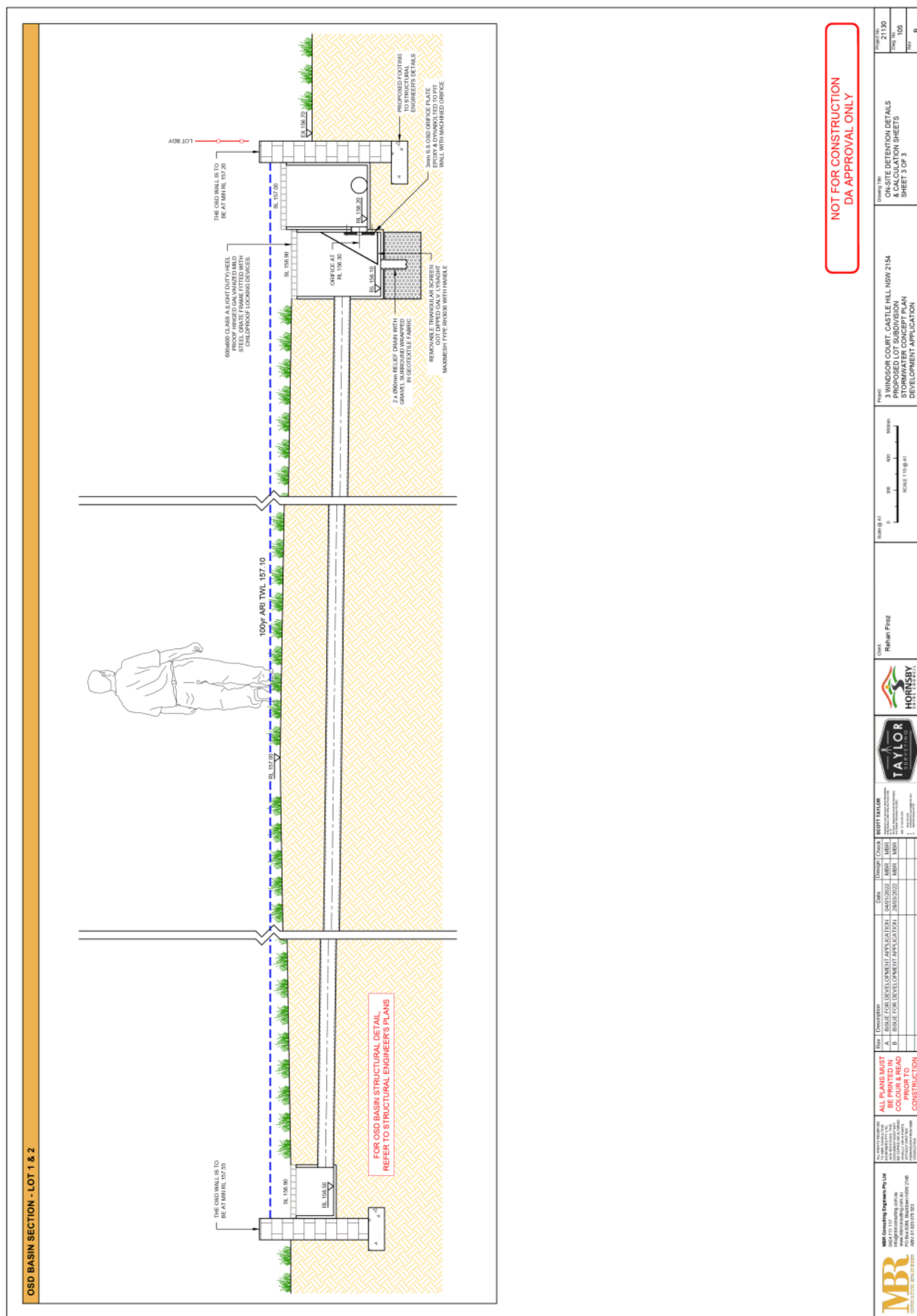




# ATTACHMENT 3 - ITEM 1

# ATTACHMENT 3 - ITEM 1





# ATTACHMENT 3 - ITEM 1

*3 Windsor Court, Castle Hill*

# ***Environmental Planning Approvals***

*Town Planning and Urban Planning Specialists*

## **Statement of Environmental Effects – Sub-division of land**

**3 Windsor Court Castle Hill**

**January 2022**

**ATTACHMENT 4 - ITEM 1**



*3 Windsor Court, Castle Hill*

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# ATTACHMENT 4 - ITEM 1

*3 Windsor Court, Castle Hill*

## 1. Introduction

*Environmental Planning Approvals* has been engaged by the owners of 3 Windsor Court, Castle Hill to prepare documentation regarding a development application for the demolition of existing dwelling a 1 lot into 2 lot subdivision of land.

We thank Hornsby Council staff members who have been of assistance during the formulation phase of this proposal.

This document includes

- an analysis of the subject site and surrounding locality;
- a description of the proposed development;
- an analysis of the proposal against the provisions of the Hornsby *Local Environmental Plan 2013 (LEP 2013)*, relevant SEPPs and deemed SEPPs, and other relevant statutory controls that apply to the site; and
- conclusion.

This document is submitted for the purposes of

- demonstrating that the environmental impact of the development has been considered; and
- outlining the steps to be undertaken to protect the environment and to mitigate any potential harm, if necessary.

This document concludes that the proposal is consistent with the objectives and provisions of the *HLEP2013*.

*3 Windsor Court, Castle Hill*

## 2. The Site Locality & Proposal

### 2.1 Site and Locality

The site is legally defined as Lot 92 in DP 786466 and is a square shaped lot of 1,000m<sup>2</sup> with a 3 bedroom dwelling. The frontage to Windsor Court is approximately 32m.



Figure 1: Aerial Site Image 3 Windsor Court – Source: (<https://maps.six.nsw.gov.au/>)



Figure 2: Location Map with lot labels - Source: (<https://maps.six.nsw.gov.au/>)

3 Windsor Court, Castle Hill

## 2.2 The Proposal

The proposal is for the demolition of the existing dwelling and a 1 lot into 2 lot sub-division of the land at 3 Windsor Court, Castle Hill. The proposed sub division plan extract is shown below.

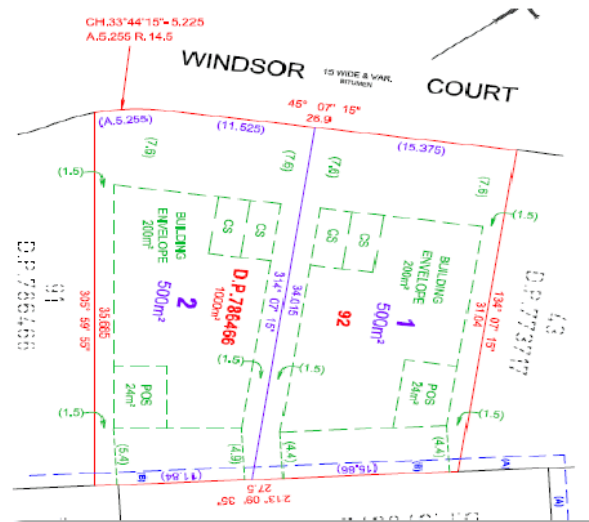


Figure 3: Subdivision plan extract.



*3 Windsor Court, Castle Hill*

### 3. Environmental Mapping Constraints - Hornsby LEP 2013

#### 3.1 Site Zoning

##### **Objectives of the R2 – Low Density Residential zone:**

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

##### **2 Permitted without consent**

Environmental protection works; Home occupations

##### **3 Permitted with consent**

Boarding houses; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Educational establishments; Emergency services facilities; Exhibition homes; Flood mitigation works; Group homes; Home-based child care; Home businesses; Information and education facilities; Places of public worship; Public administration buildings; Recreation areas; Recreation facilities (outdoor); Respite day care centres; Roads; Tourist and visitor accommodation; Veterinary hospitals; Water reticulation systems

##### **4 Prohibited**

Backpackers' accommodation; Farm stay accommodation; Hotel or motel accommodation; Serviced apartments; Any other development not specified in item 2 or 3

3 Windsor Court, Castle Hill

## 4. Environmental Assessment

### 4.1 Hornsby Local Environmental Plan 2013

The Hornsby *Local Environmental Plan 2013* is the primary environmental planning instrument that applies to this site. The property is zoned R2 – Low Density Residential under the *LEP 2013*. The development provisions of the *LEP 2013* for consideration and comment relative to compliance are outlined in the table below.

Clause	Provisions	What is proposed and statement of compliance
1.1	Name of Plan	Not relevant
1.1AA	Commencement	Not relevant
1.2(2)	Aims of Plan	
	(a) to facilitate development that creates: (i) progressive town centres, thriving rural areas and abundant recreation spaces connected by efficient infrastructure and transport systems, and (ii) a well-planned area with managed growth to provide for the needs of future generations and people enriched by diversity of cultures, the beauty of the environment and a strong economy,	Compliant.
	(b) to guide the orderly and sustainable development of Hornsby, balancing its economic, environmental and social needs,	Compliant.
	(c) to permit a mix of housing types that provide for the future housing needs of the community near employment centres, transport nodes and services,	Compliant.
	(d) to permit business and industrial development that meets the needs of the community near housing, transport and services, and is consistent with and reinforces the role of centres within the subregional commercial centres hierarchy,	Compliant.
	(e) to maintain and protect rural activities, resource lands, rural landscapes and biodiversity values of rural areas,	Compliant.
	(f) to provide a range of quality passive and active recreational areas and facilities that meet the leisure needs of both the local and regional community,	Compliant.
	(g) to facilitate the equitable provision of community services and cultural opportunities to promote the well being of the population of Hornsby,	

3 Windsor Court, Castle Hill

	(h) to protect and enhance the scenic and biodiversity values of environmentally sensitive land, including bushland, river settlements, river catchments, wetlands and waterways,	
	(i) to protect and enhance the heritage of Hornsby, including places of historic, aesthetic, architectural, natural, cultural and Aboriginal significance,	
	(j) to minimise risk to the community in areas subject to environmental hazards, including flooding and bush fires.	
<b>1.3</b>	Land to which Plan applies	The project is on land governed by this Plan.
<b>1.4</b>	Definitions	Noted.
<b>1.5</b>	Notes	Not relevant
<b>1.6</b>	Consent authority	Noted
<b>1.7</b>	Maps	Noted
<b>1.8</b>	Repeal of planning instruments applying to land	Not relevant
<b>1.8A</b>	Savings provision relating to development applications	Not relevant
<b>1.9</b>	Application of SEPPs	Project will comply with all relevant SEPPs
<b>1.9A</b>	Suspension of covenants, agreements and instruments	Not relevant
<b>2.1</b>	Land use zones	Noted
<b>2.2</b>	Zoning of land to which Plan applies	Compliant
<b>2.3</b>	Zoning objectives and Land Use Table	Noted

## ATTACHMENT 4 - ITEM 1

3 Windsor Court, Castle Hill

<b>2.4</b>	Unzoned land	Not relevant
<b>2.5</b>	Additional permitted uses for particular land	Not relevant
<b>2.6</b>	Subdivision consent requirements	Noted
<b>2.7</b>	Demolition requires development consent	Noted
<b>2.8</b>	Temporary use of land	Not relevant.
<b>3</b>	Exempt and complying development	Not relevant
<b>3.1</b>	Exempt development	
<b>3.2</b>	Complying development	
<b>3.3</b>	Environmentally sensitive areas excluded	
<b>4</b>	<b>Principal development standards</b>	
<b>4.1</b>	Minimum subdivision lot size	Complies. Proposed lots will meet the min lot size controls of 500sqm
	(1) The objectives of this clause are as follows—	
	(a) to provide for the subdivision of land at a density that is appropriate for the site constraints, development potential and infrastructure capacity of the land,	
	(b) to ensure that lots are of a sufficient size to accommodate development.	
	(2) This clause applies to a subdivision of any land shown on the <a href="#">Lot Size Map</a> that requires development consent and that is carried out after the commencement of this Plan.	
	(3) The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the <a href="#">Lot Size Map</a> in relation to that land.	
	(3A) If a lot is a battle-axe lot or other lot with an access handle, the area of the access handle is not to be included in calculating the lot size.	

## ATTACHMENT 4 - ITEM 1



3 Windsor Court, Castle Hill

<b>4.1AA</b>	Minimum Subdivision lot size for community title schemes	Not relevant
<b>4.1A</b>	Minimum subdivision lot size for strata plan schemes in certain zones	Not relevant
<b>4.1B</b>	Minimum lot size for certain split zone lots	Not relevant
<b>4.2</b>	Rural subdivision	Not relevant
<b>4.3</b>	Height of buildings	Noted
<b>4.4</b>	Floor space ratio	Noted
<b>4.5</b>	Calculation of floor space ratio and site area	Noted
<b>4.6</b>	Exceptions to development standards	Not relevant
<b>5</b>	<b>Miscellaneous provisions</b>	
<b>5.1</b>	Relevant acquisition authority	Not relevant
<b>5.1A</b>	Development on land intended to be acquired for public purposes	Not relevant
<b>5.2</b>	Classification and reclassification of public land	Not relevant
<b>5.3</b>	Development near zone boundaries	Not relevant
<b>5.4</b>	Controls related to miscellaneous permissible uses	Not relevant
<b>5.5</b>	Development within the coastal zone	Not relevant
<b>5.6</b>	Architectural roof features	Not relevant
<b>5.7</b>	Development below mean high water mark	Not relevant
<b>5.8</b>	Conversion of fire alarms	Not relevant
<b>5.9</b>	Preservation of trees or vegetation	Noted.
<b>5.9AA</b>	Trees or vegetation not prescribed by development control plan	Noted. Development consent is not required for

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		the removal of a tree that is not 'prescribed'.
<b>5.10</b>	Heritage conservation	Not relevant
<b>5.11</b>	Bush fire hazard reduction	Not relevant
<b>5.12</b>	Infrastructure development and use of existing buildings of the Crown	Not relevant
<b>5.13</b>	Eco-tourist facilities	Not relevant
<b>5.14</b>	Siding Spring Observatory – maintaining dark sky	Not adopted
<b>5.15</b>	Defence communications facility	Not adopted
<b>Part 6</b>	Additional local provisions	Not relevant
<b>6.1</b>	Acid sulfate soils	Not relevant
<b>6.2</b>	Earthworks	No earthworks are proposed as part of this development application.
<b>6.3</b>	Flood planning	Not relevant
<b>6.4</b>	Terrestrial biodiversity	Not relevant
<b>6.5</b>	Limited development on foreshore area	Not relevant
<b>6.6</b>	Restrictions on certain development in Dural Village	Not relevant
<b>6.7</b>	Location of sex services premises	Not relevant
<b>6.8</b>	Design excellence	Not relevant
<b>6.9</b>	Dual occupancies (attached) on land in certain rural zones	Not relevant

#### 4.2 Stormwater

A stormwater concept plan has been prepared by MBR Consulting Engineers and provides support for the proposed subdivision.

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#### 4.4 Hornsby Development Control Plan 2013

The Hornsby Development Control Plan 2013 (DCP 2013) contains relevant guidelines and controls that apply to this proposal.

##### 6.1.1 General Provisions

These general provisions apply to all subdivision applications.

##### Desired Outcomes

- a. Subdivision design that provides usable allotments that relate to site conditions.
- b. Subdivision design that provides for the retention of significant landscape features and respects site constraints including:
  - significant trees,
  - remnant bushland,
  - steep topography,
  - watercourses, riparian land and stormwater overland flow paths, and
  - bushfire hazard asset protection zones.
- c. Subdivision design that provides for all necessary services and facilities, including any required extension or amplification to Council infrastructure.

Comment: The proposal meets all the desired outcomes and retains all existing landscape features and significant trees.

##### 6.2 Urban Subdivision

##### 6.2.1 Residential Lands Subdivision

##### Lot Size

- a. The minimum lot size is depicted on the Minimum Lot Size map.

Comment: The proposal maintains minimum lot size for both proposed lots

##### Lot Shape

- d. Lot design should maintain a minimum lot width that is compatible with the subdivision pattern.

Comment: The proposal maintains the existing subdivision pattern for both lots

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f. Lot design should identify a potential developable area. This area is to accommodate the following:  
a building envelope of 200m<sup>2</sup> with a minimum dimension of 10 metres;

a principal private open space area, area for parking 2 cars behind the building line, and comply with the general provisions in Section 6.1

Comment: The proposed subdivision plan shows the 200m<sup>2</sup> building platform, POS and car spaces.

#### Setbacks

h. Setbacks to the proposed building envelope and ancillary structures should comply with Table 6.2(c).

Comment: The proposed subdivision plan shows an increased front setback of 7.6m instead of the 6m typically, to align better with other dwellings in the street. Due to this, the rear setback varies from 5.5m to 4.4m. Since the standard is 5m rear setback, it is request that a variation to this control be granted to allow for the increased front setback.

### 4.3 Section 4.15 Considerations

#### The Suitability of the Site for the Proposed Development and the Public Interest

##### **Suitability of the Site for the Development**

Previous sections of this report have demonstrated the suitability of the site for the proposed usage, particularly in terms of:

The proposal is consistent with the existing development within the locality.

The proposal is consistent with the objectives and development standards applying to the land.

Overall the development is considered an appropriate usage of the site.

##### **Public Interest**

The proposal is considered to accord with the wider public interest in that:

- It provides an appropriate use of the site;
- It is consistent with all relevant LEP aims and objectives.



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**Section 4.15 of the Environmental Planning and Assessment Act, 1979**

Section 4.15 (1) (a)(i) – Has consideration been given to all relevant provisions of any relevant environmental planning instrument?	Yes
Section 4.15 (1) (a)(ii) – Has consideration been given to any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)?	Yes
Section 4.15 (1) (a)(iii) – Has consideration been given to all relevant provisions of any provisions of any development control plan?	Yes
Section 4.15 (1) (a)(iiia) – Has consideration been given to all relevant provisions of any planning agreement that has been entered into under Section 7.4, or any draft planning agreement that a developer has offered to enter into under Section 7.4?	N/A
Section 4.15 (1) (a)(iv) – Have you considered all relevant provisions of the Regulations (to the extent that they are prescribed for the purposes of this paragraph)?	Yes
Section 4.15(1)(a)(v) – Has consideration been given to any coastal zone management plan (within the meaning of the <i>Coastal Protection Act 1979</i> )?	N/A
Section 4.15 (1) (b) – Are the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality acceptable?	Yes
Section 4.15 (1) (c) – Is the site suitable for the development?	Yes
Section 4.15 (1) (d) – Has consideration been given to any submissions made in accordance with the EPA Act or EPA Regulations?	TBA by council
Section 4.15 (1) (e) – Is the proposal in the public interest?	Yes

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## 5. Summary and Conclusion

*Environmental Planning Approvals* is pleased to submit this application for demolition of the existing dwelling and a 1 lot into a 2 lot subdivision at 3 Windsor Court, Castle Hill.

Consideration has been given to;

- the circumstances of the case;
- an analysis of the subject site and the surrounding locality;
- an analysis of the proposal against the provisions of the *LEP 2013*, as well as relevant DCPS, SEPPs, and deemed SEPPs, and other relevant statutory controls that apply to the site.

The proposal is considered to accord with the wider public interest and will allow usable allotments that relate to site conditions and it is requested that council approve this proposal.

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