

Draft amendments to the Hornsby Development Control Plan 2013

The following pages contain proposed amendments to the Hornsby Development Control Plan 2013 (Hornsby DCP). The amendments are indicated by the use of red and green text.

Red strikethrough text shows sections of the Hornsby DCP that have been deleted by the proposed amendment (i.e. ~~delete~~).

Green text shows sections of the Hornsby DCP that have been added by the proposed amendment (i.e. add).

The following pages only contain the parts of the Hornsby DCP that are proposed to be amended. If a part or section of the Hornsby DCP is not replicated below, no changes are proposed to that part or section.

To assist in identifying the location of all the proposed changes, a list of amendments is proposed below:

Section	Title	Page	Details of Amendment
7.2.1	Seniors Housing	7-14	<ul style="list-style-type: none">• Under 'Desired Outcome' heading, insert new outcome (b).• Under 'Prescriptive Measures' heading, insert new prescriptive measure (c).
9.1.2	Development Application Submission Requirements	9-5	<ul style="list-style-type: none">• After prescriptive measure (f), insert new prescriptive measure (g). Renumber subsequent prescriptive measures in alphabetical order.
9.3.1	General Design Provisions	9-14	<ul style="list-style-type: none">• Under 'Form, massing, scale, setbacks – streetscape character', insert new prescriptive measure (j). Renumber subsequent prescriptive measures in alphabetical sequence.
9.3.2	Garages, Carports and Driveways	9-15	<ul style="list-style-type: none">• After 'Driveways' section, insert new 'Seniors Housing' heading and associated prescriptive measures.
9.3.3	Gardens, Fences and Gates	9-17	<ul style="list-style-type: none">• After 'Fences on busy roads' section, insert new 'Seniors Housing' section and associated prescriptive measures.

7.2 Community Housing

The following section provides guidelines for the development of land for seniors housing, boarding houses, group homes and hostels throughout Hornsby Shire.

7.2.1 Seniors Housing

Desired Outcomes

- a. Development with a bulk, scale and intensity that is compatible with the character of the area.
- b. Development in heritage conservation areas that contributes positively to the area's heritage significance and character, and avoid intrusive elements.

Prescriptive Measures

- a. Development for Seniors Housing should comply with the planning controls in the Housing SEPP.
- b. Development for Seniors Housing on land identified as Area 1 in the HLEP Height of Building Map should also comply with the site-specific and other controls for residential flat buildings identified in Part 3.5 – Residential Flat Buildings (6 or more storeys) and the site-specific parking rates and other general controls identified in Part 1 – General of the HDCP.
- c. Development for Seniors Housing in heritage conservation areas should be consistent with the applicable desired outcomes and development controls in Part 9 Heritage of the DCP.

7.2.2 Boarding Houses

Desired Outcomes

- a. Development with a bulk, scale and intensity that is compatible with the character of the area.

Prescriptive Measures

- a. Development for Boarding Houses should comply with the planning controls detailed in the Housing SEPP.

7.2.3 Group Homes

Desired Outcomes

- a. Development with a bulk, scale and intensity that is compatible with the character of the area.

Prescriptive Measures

- a. Development for Group Homes should comply with the planning controls detailed in the Housing SEPP.

Note:

The complying development provisions within Schedule 2 of the Housing SEPP will be used as a guideline in assessing development applications for group homes.

9.1.2 Development Application Submission Requirements

HLEP Clause 5.10(5) and 5.10(6) identifies when a heritage impact statement, heritage conservation management plan or other heritage management document is required to be considered prior to granting development consent. The following supplements the provisions in Clause 5.10.

Heritage Items

- a. Development applications for heritage items normally require:
 - Heritage Impact Statement; and
 - measured drawings of the existing building including elevations.
- b. Conservation Management Plans (CMPs) are required for changes to State significant heritage items and development applications that rely on the conservation incentive provisions of Clause 5.10(10) of the HLEP. A CMP usually includes:
 - a statement of heritage significance.
 - a history of the place.
 - a physical description of the place including buildings, site features and landscaping.
 - a description of the constraints and opportunities affecting the heritage item; and
 - conservation policy recommendations.
- c. A heritage conservation management plan should accompany a development application that proposes a change of use to a purpose that would otherwise not be permissible but for Clause 5.10(10) of the HLEP. The plan should demonstrate
 - how the conservation of the heritage item is facilitated by the proposed new use,
 - that the proposed development does not adversely affect the significance of the heritage item, that the proposed development does not have any significant adverse effect on the amenity of the surrounding area, and
 - a staging plan indicating when secondary or non-heritage works are to be undertaken in association with the adaptive re-use

Heritage Conservation Areas

- d. Development applications for demolition in a Heritage Conservation Area normally require a Heritage Impact Statement that incorporates the following:
 - information about the history of the property;
 - details of the architectural style of the building and changes that have occurred over time;
 - a comparative analysis in relation to other buildings in the heritage conservation area; and
 - a statement justifying the proposed demolition taking into consideration the matters in Section 9.3.4 of this DCP.
- e. Development applications for new buildings in a Heritage Conservation Areas normally require a Heritage Impact Statement.
- f. Development applications for subdivision of land in heritage conservation areas normally require a Heritage Impact Statement.
- g. Development application for Seniors Housing should include a detailed Heritage Impact Assessment of the proposal on the area's heritage significance and character, and comprehensively justify any proposed demolition in accordance with Section 9.3.4 of the DCP.
- h. All other development applications in heritage conservation areas may require the Statement of Environmental Effects to include a heritage assessment considering the effect of the proposal on the streetscape with reference to:
 - front setbacks;
 - materials, colours, and textures;
 - roof form and pitch;
 - scale of buildings, height, and bulk;
 - landscaping and garden treatment;
 - spaces between buildings;
 - facade treatment, verandahs and windows;
 - height and design of fences;
 - placement and design of garages and driveways;
 - existing street trees; and
 - balance between solid walls and openings.

Notes:

For further information refer to the Department of Planning and Environment website <https://www.environment.nsw.gov.au/> for detailed guidelines on preparing of Heritage Impact Statements. Work to State significant heritage items may be integrated development requiring an approval under Section 60 of the Heritage Act.

9.3.1 General Design Provisions

Desired Outcomes

- a. Development that complements and is sympathetic to the existing character of the conservation area and the elements that are significant to that character.

Prescriptive Measures

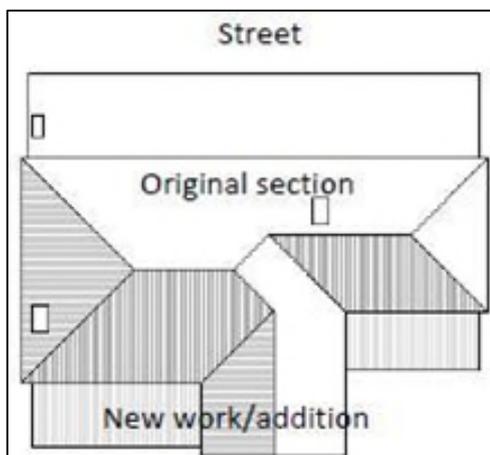
Maintain and reinforce characteristic details

- a. Development should respect the significant characteristics of the Heritage Conservation Area, as detailed in the applicable Character Statement in this Part.
- b. Significant changes to front elevations should be avoided where the existing building retains characteristic detailing.
- c. Original decorative elements and detailing on buildings should be used where appropriate but should not be overdone as a means of fitting in.

Form, massing, scale, setbacks – streetscape character

- d. New work should be designed to complement the existing streetscape in terms of the following elements (refer to Character Statements for details):
 - Building elements - scale, height, bulk, massing, roof form, orientation, façade treatments, setbacks and spaces between buildings, verandah and window placement, balance of solid walls and openings, materials, colours and textures; and
 - Landscape elements – landscaping and gardens, height and design of fences, garages, driveways, and existing street trees.

Figure 9.3(a): Locate additions away from the street elevation.(l)



- e. Additions should be located away from the street elevation and below the main ridge line.
- f. New buildings, alterations and additions should be single storey within streetscapes that are predominately single storey. New levels, or split level additions, may be possible to the rear on sloping sites.
- g. Ancillary structures e.g swimming pools, tennis courts, sheds, should be located in rear yards.
- h. New buildings should be located so that they are compatible with predominant front setbacks in the street, particularly the setbacks of immediately adjoining buildings.
- i. Roof form and pitch should be compatible with characteristic roof forms of the conservation area. Traditionally rear extensions used skillion or simple pitched roof forms.
- j. Two or more storey Seniors Housing should be located within streetscapes that are predominantly two or more storeys.

Contemporary design

- k. Contemporary design should be sympathetic to the characteristic built form of the conservation area, particularly in terms of bulk, scale, height, form or materials.

Materials and finishes

- l. Rendering or painting over original face brick should be avoided.
- m. Materials used should complement the period and style of the building, and the conservation area. Compatible, but not necessarily matching materials i.e. modern materials may be used where appropriate (refer to Character Statements for details).

Figure 9.3(b): Design new work to complement front setbacks, materials and colours, landscaping and garden treatments. (l)



9.3.2 Garages, Carports and Driveways

Desired Outcomes

- a. Development that retains the integrity and setting of heritage conservation areas.
- b. Garages and carports that are designed as secondary structures and do not dominate the streetscape of heritage conservation areas.

Prescriptive Measures

Garages and carports

- a. Garages and carports should be located to the rear of the property.
- b. A garage or carport may be considered adjacent to the building where access to the rear is not available, provided it is setback behind the building line and to the side of the dwelling.
- c. Garages and carports should not dominate the street elevation or main façade of the building, and should be designed to:
 - be consistent with the Character Statements;
 - complement the existing dwelling in terms of design and materials;
 - present as secondary to the dwelling;
 - avoid double garages visible from the street; and
 - preferably comprise open sided carports rather than solid, enclosed structures.
- d. The alteration or demolition of any part of a building to enable construction of a carport or garage should be avoided, except where topography or the building design allows for the change.
- e. A maximum of one hardstand parking space should be located within the front setback area. Landscaping and garden layout should complement any hardstand area.

Driveways

- f. Existing driveways constructed as two wheel strips should be retained.
- g. New driveways should be constructed as two wheel strips where characteristic of the conservation area or appropriate to the site context.
- h. The number of driveways to the street and extent of paved area from each property should be minimised. Turning circles should be avoided.
- i. Alternatives to concrete such as brick edging, paving, bitumen/asphalt, gravel or grass-crete should be considered.

Seniors Housing

- j. Garages, carports and resident car parking spaces in Seniors Housing developments should not be visible from the public domain.
- k. Basement garage openings may be visible from the public domain.

Notes:

Garages can be intrusive where they are allowed to dominate front facades. They were traditionally located to the rear of houses or designed as secondary elements.

Paving associated with driveways can significantly impact the streetscape character of conservation areas, especially where there is a strong link between the landscape and heritage significance.

9.3.3 Gardens, Fences and Gates

Desired Outcomes

- To retain and conserve the garden and landscape character of the heritage conservation area.
- Landscaping that retains original and traditional garden layouts and plantings.
- Fencing that complements the streetscape character and the significance of the heritage conservation area.

Prescriptive Measures

Gardens

- Traditional garden settings should be retained, particularly where they are important to the character of the heritage conservation area.
- New gardens should be horticulturally and stylistically sympathetic to the period of the heritage conservation area with the use of similar materials.
- Alterations and additions should be located to avoid impacts on significant trees and garden areas.
- Development should not impact upon trees/landscaping that contribute to the significance of the heritage conservation area including the removal of trees/landscaping that contribute to the significance of the heritage conservation area.
- Mature trees/landscaping that are removed should be replaced with trees/landscaping in a similar or more appropriate location that will mature to similar size and canopy.
- Proposed works should comply with AS 4970 Protection of Trees on Development Sites. All tree pruning work should be carried out in accordance with AS 4373 Pruning of Amenity Trees.

Note:

When the removal of significant trees are proposed, a landscape plan should be provided detailing the replacement trees.

Works involving significant trees within heritage conservation areas should also have regard to Part 1 General of this DCP.

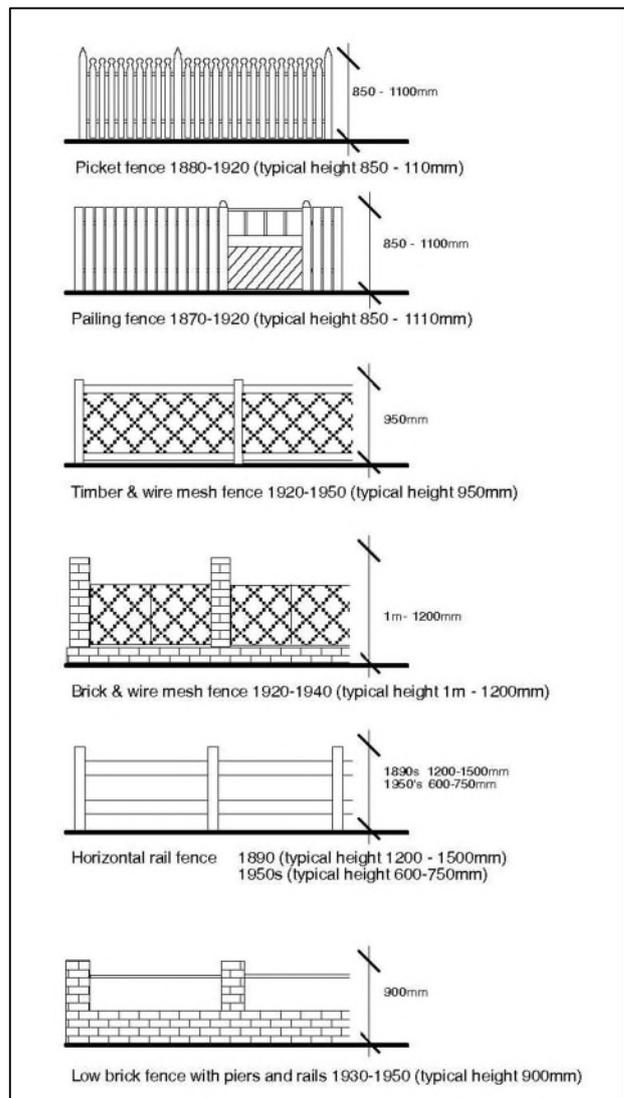
Trees, gardens and landscape elements define the public/private domain and are often critical to the cohesive sense of place in conservation areas. Landscape elements can also help to 'soften' developments that might otherwise be intrusive.

Fences and gates are important streetscape elements because of their proximity to the street edge and role in defining the public/ private domain.

Fences and gates

- Fences should be avoided where there are no, or few fences.
- Original fences and gates should be retained. Where sections of fence are required to be replaced because of poor condition, good sections of the old fence should be integrated where possible.
- Location of gates should be retained where the path and garden are part of a traditional garden layout and are historic links between the property and the street.
- Fences and gates should complement the period and style of the building and the streetscape.
- Traditional fencing materials should be used such as timber, iron, brick and stone. Sheet metal and tubular steel fences should be avoided.

Figure 9.3(c): Typical fences and gates. (C)



Fences on busy roads

- i. High, solid fences should be avoided other than on-sites along major roads with significant traffic volumes. In these instances, fences should be:
 - a maximum height of 1.8 metres;
 - piers should be a maximum height of 2 metres and where the fence is to be broken up, a maximum of 3 metres apart: and
 - fences should incorporate articulation.

Seniors Housing

- m. The landscaped front setbacks of Seniors Housing developments and side setbacks visible from the public domain should not be divided into, or form part of, private open space.
- n. Communal open space in the landscaped front setbacks or public domain visible side setbacks of Seniors Housing developments should be open and not fenced, walled, or hard screened. Plantings can be used to establish boundaries and achieve privacy.

Note:

Council may require the fence to be setback at least 600mm from the property boundary to allow hedge planting to soften the appearance in the streetscape.

Roads with significant traffic volumes include Pacific Highway (south of Edgeworth David Avenue); Pennant Hills Road; Beecroft Road; Castle Hill Road; Boundary Road; and New Line Road.

Figure 9.3(d): Take clues from traditional fences in the heritage conservation area. (E)

