

COMMUNITY ENGAGEMENT PLAN - GALSTON VILLAGE

PROJECT DETAILS:

- **Project Sponsor/ Project Lead:** Fiona Leatham/ James Frawley
- **Level of Impact:** Level 2 (High Impact – Local)

INTRODUCTION:

Galston is located only 20 minutes from Hornsby in Sydney's semi-rural north-west. Accessible from the Old Northern Road or through the scenic Galston Gorge and Berowra Valley National Park, the small commercial centre of Galston Village is a popular local centre and is becoming an increasingly popular destination for weekend day-trips and tourism.

Despite ad-hoc and increasing greenfield development, the Village retains a distinctive character and is well-situated to capitalise on local population growth and increasing opportunities in the future.

Improvements to the mainstreet and Village have been anticipated for a long time, including through specific Masterplan controls outlined in the DCP in 2013 and over the years with various design approaches and community engagement activities having been undertaken.



STAKEHOLDERS:

- The local, district and regional community
- Arcadia/ Galston Residents Association (AGRA)
- Galston Chamber of Commerce and Dural and District Business Chamber
- Commercial and adjoining property landowners, shopkeepers
- Transport for NSW
- Bus services companies
- Councillors

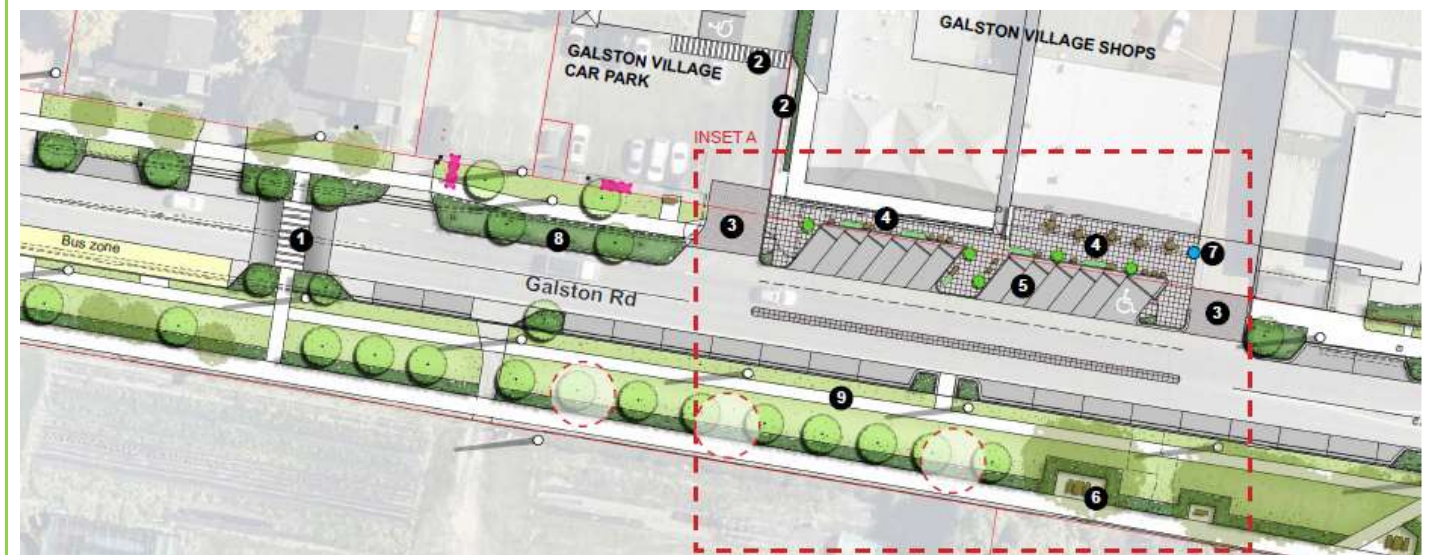
PUBLIC DOMAIN PLAN:

Council has prepared a revised draft Galston Village Public Domain Plan, mainly for public-owned lands between the roundabout at Arcadia Road to the east and the roundabout at the Mid-Dural Road intersection to the west, a straight section of road of about 450 metres in length.

The draft Public Domain Plan seeks to respond to engagement with the community for Galston Village, to deliver better places for people to gather, to resolve long-standing problems in the setting and to deliver safer, more pedestrian-friendly outcomes.

BENEFITS OF THE WORK/ DESIGN AIMS:

- Create a more attractive mainstreet: more street trees and planting, WSUD gardens and furnishing
- Provide more space for outdoor dining, informal gathering and play: widened pavement and continuous retail frontage, new corner park and precinct at the Library and fruit stall
- Provide traffic-calming, safer, better walking and cycling provision in a pedestrian-friendly Village: ped/ cycle sharepath, raised pedestrian crossings, rationalised traffic lane widths, introduction of street tree and mass plantings in the road setting, proposed speed zone reduction
- Improve the entry statements and parkland at the corner of Galston and Arcadia Roads: new design for the corner park can provide a gathering and performance area, play opportunities, new table settings, upgrade planting and entry statements at western and eastern gateways
- Improve vehicle circulation and parking and reduce potential conflicts for pedestrians with cars: rationalised bus stop arrangements produce more parking in proximity to retail, threshold crossings and pavement treatments create a safer pedestrian environment



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PROJECT RISKS and OPPORTUNITIES:

The draft Public Domain Plan proposes to upgrade the main street, land in street verges and across commercial shop frontages, including impacting public and private landholdings.

- Galston Road is a State Road, requiring approval through TfNSW for streetscape interventions and upgrades and for a proposed Speed Zone Reduction.
 - Risk: TfNSW approval will be required, which may affect scope of possible works and cause delays to documentation. Galston Village may represent a low priority for TfNSW.
 - Opportunity: TfNSW support will ensure greater outcomes for the community in terms of scope for delivery within the roadway and public domain.
 - Opportunity: TfNSW have provided funding for a Speed Zone Review for various town centres, including for Galston Village. The Review suggests a reduction in Galston Road to 40 km/h with some likelihood of this being approved.
 - Opportunity: An Application has been lodged with TfNSW for delivery of a shared pedestrian and cycle path. Works will deliver a component of this is Galston Village with possibility for extension beyond towards Dural, including connecting with Galston High School and nearby recreation facilities such as the Galston Aquatic Centre and Hayes Park.
- Private and public domain enhancements will need to be resolved to mutual satisfaction, which may require prolonged negotiation and have cost implications.
- Retaining the support of political stakeholders will reduce risks to project momentum being maintained through planning, design and into subsequent phases towards construction.
- Financial risks accounting for future escalation, changes to planning.
- Stakeholders trusting the process being inclusive, transparent and collaborative, fostering a sense of community ownership.
- Managing expectations, information/ misinformation, messaging.

RISK MITIGATION STRATEGIES, TOOLS AND TECHNIQUES:

- Continuing communication with TfNSW to establish clear scope, ascertain level of commitment.
- Preliminary costing including WOL estimates to inform potential packaging of works, budget.
- Communications and engagement strategy for all stakeholders and community.
- Councillor Briefings and Workshops.
- Workshop with Advisory Committees (HATSICC, HAC,).
- Establish Your Say project webpage, social media, notification, publications, CWC for Councillors.

KEY MESSAGES:

- Mainstreet upgrades are proposed that will make the precinct more attractive, improve recreation settings and improve traffic and parking outcomes. The changes will position the Village well to meet changes due to population growth, enhance appeal and capitalise on future tourism opportunities.
- Upgrades to shop frontages, the corner park and verge will be undertaken by Council in liaison with landowners and neighbouring businesses. Upgrades to the road environment will be sought in liaison with TfNSW, which may involve funding and will deliver a safer, more pedestrian-friendly, with likely adoption of a reduced speed zone to 40km/h.
- Proposed upgrades will deliver improved environmental outcomes for the management of stormwater, reduced heat island effect, and introduce more street trees and planting.

ENGAGEMENT APPROACH:

- Broad Community Engagement including Drop In Sessions, minimum 28 days engagement period
- 'Your Say' project page – plans, information, FAQs, submission form
- Email and letter notifications to residents and businesses
- Facebook boosts
- Newspaper advertisements
- Signs placed, posters/ flyers distributed in the Village with QR code directing people to Your Say Hornsby to provide feedback

CONSULTATION and PROJECT TIMING:

- Briefing Session with Arcadia Galston Residents Association (AGRA) and community held 30 November 2023
- February 2024: Seek endorsement to go to Exhibition/ Community Engagement
- April-May 2024: Community Engagement and Drop-in Sessions
- June 2024: Reporting Outcomes of Engagement, seek Adoption of the Galston Village Public Domain Plan to carry forward
- Mid-late 2024:
 - Public Tender for Design Development and Documentation
 - Design Development and Documentation for Construction Tender
 - Public Tender for Construction
- Construction: 2025-2026