

CLIENT:

**PENGFEI HAN  
ZHEN LI**

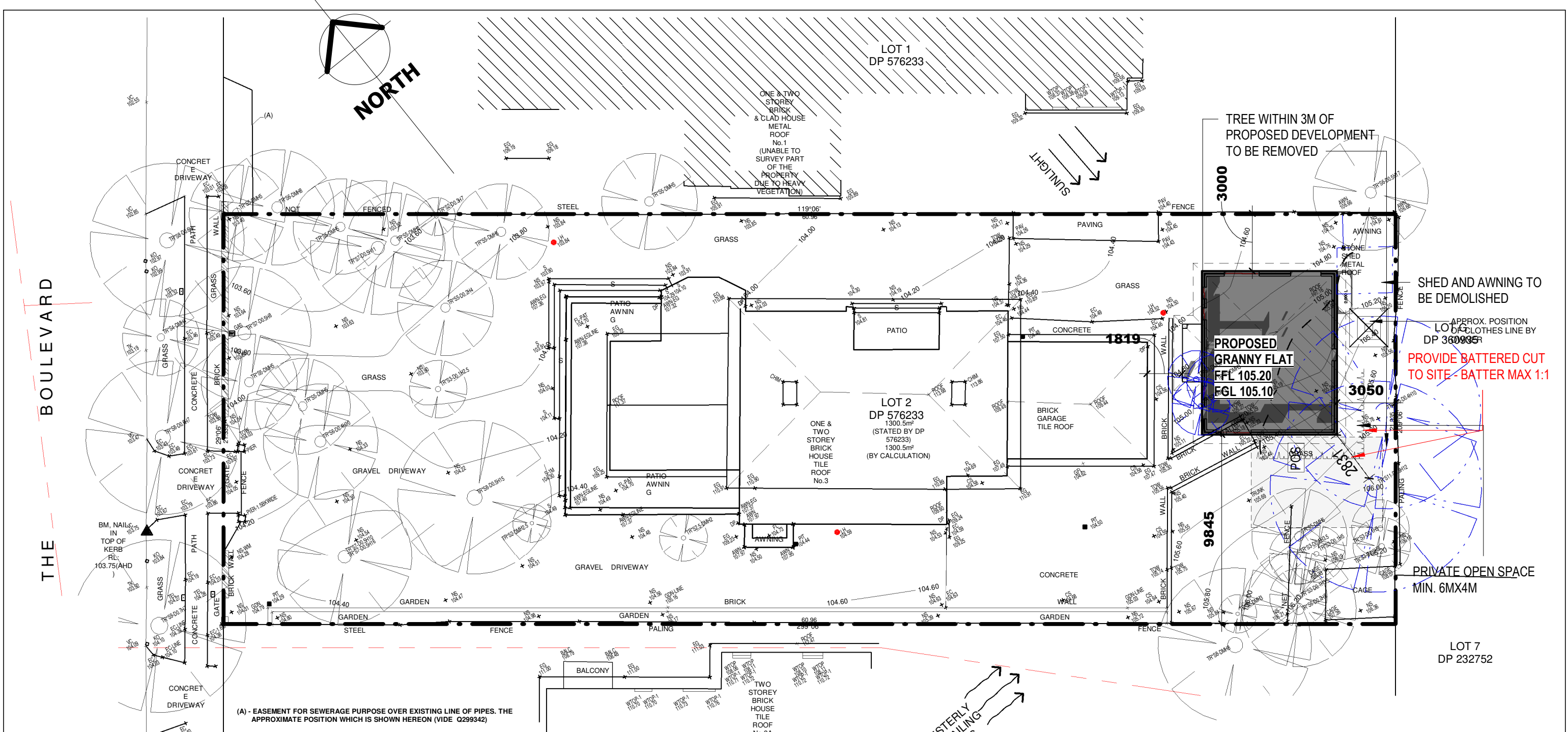
PROJECT:

**LOT 2 DP 576233  
3 THE BOULEVARD,  
CHELTENHAM**



info@rkndesigns.com.au  
0492 462 503





DA COMPLIANCE TABLE				
SITE AREA:		1300.5m <sup>2</sup>		
FRONTAGE		21.33m		
	REQUIRED	EXISTING	PROPOSED	COMPLIES
FLOOR SPACE RATIO	430 sq.m	(232.86+125.19)sq.m	417.95sq.m	YES
SITE COVERAGE	40%	22.44% or 291.92sqm	28.43% or 369.82sqm	YES
GRANNY FLAT			59.9 sq.m	YES
TOTAL BLDG. HEIGHT	8.5m		4.48m	YES
PORCH			3sq.m	
SIDE SETBACK	0.9m & 0.9m		3.0m(LHS) & 9.84m(RHS)	YES
REAR SETBACK	3.0m		3.05 m	YES
LANDSCAPE AREA	40% OR 520.2 sq.m	49.57% OR 644.77 sq.m	44.11% OR 573.69sq.m	YES
PRIVATE OPEN SPACE	24 sq.m		24 sq.m	YES

LOT 2 DP 576233  
1300.5m<sup>2</sup>  
(STATED BY DP 576233)  
1300.5m<sup>2</sup>  
(BY CALCULATION)

01 SITE (SECONDARY DWELLING)

1 : 200

- AHD AUSTRALIAN HEIGHT DATUM
- A-B AWNING TO BOUNDARY
- BB BOTTOM OF BANK
- BM BENCH MARK
- BOW BOTTOM OF WALL
- BRW BOTTOM OF RETAINING WALL
- CL CENTER LINE
- CONC CONCRETE
- CS CONCRETE SURFACE
- D/H/S DIAMETER/HEIGHT/SPREAD
- D DOOR
- EC EDGE OF CONCRETE
- EG EAVE & GUTTER
- FL FLOOR LEVEL
- GDN GARDEN
- HYD HYDRANT
- INV INVERT LEVEL
- KO KERB OUTLET
- LH LAMP HOLE
- NS NATURAL SURFACE
- PAV PAVERS
- PP POWER POLE
- RL REDUCED LEVEL
- S STEPS
- S-B SHED TO BOUNDARY
- SL SURFACE LEVEL
- SILL WINDOW SILL
- SMH SEWER MAN HOLE
- SV STOP VALE
- TB TOP OF BANK
- TEL TELSTRA PIT
- TK TOP OF KERB
- TOW/TW TOP OF WALL
- TRW TOP OF RETAINING WALL
- VC VEHICLE CROSSING
- W-B WALL TO BOUNDARY
- WM WATER METER
- WTOP TOP OF WINDOW



**SECONDARY DWELLING**

Client : PENGFEI HAN  
ZHEN LI

Job Address : LOT 2 DP 576233  
3 THE BOULEVARD, CHELTENHAM

17/05/2023 10:23:04 AM

DA APPLICATION:  
**SECONDARY DWELLING**

**Project Details**

DRAWN BY: RB DATE: 03.05.2023 JOB NO:

SHEET TITLE: **SITE & SITE ANALYSIS PLAN**

SCALE: 1 : 200 FINAL PLAN ISSUE: 5

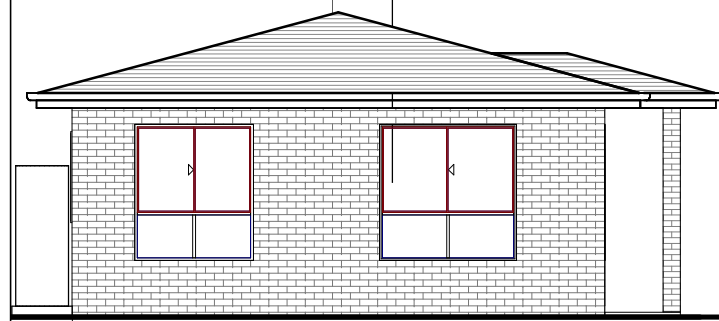
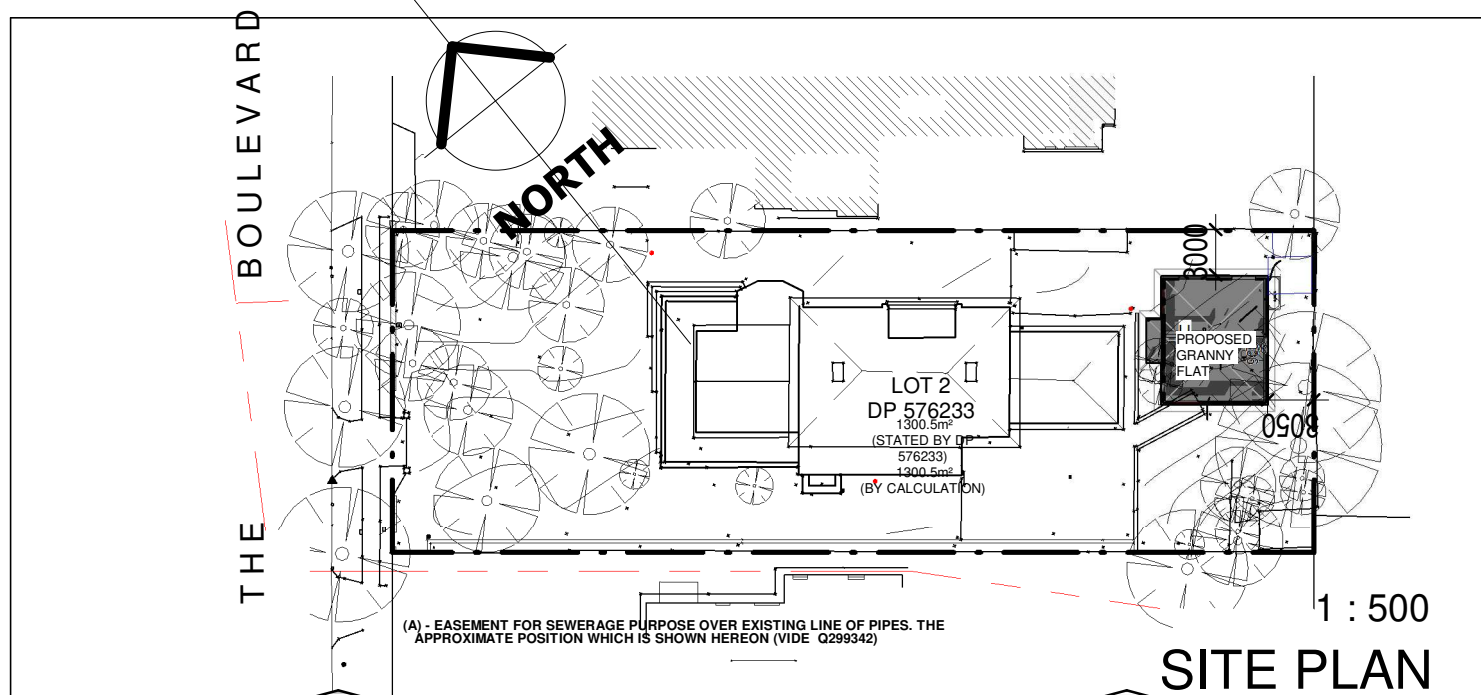


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**GENERAL NOTES**

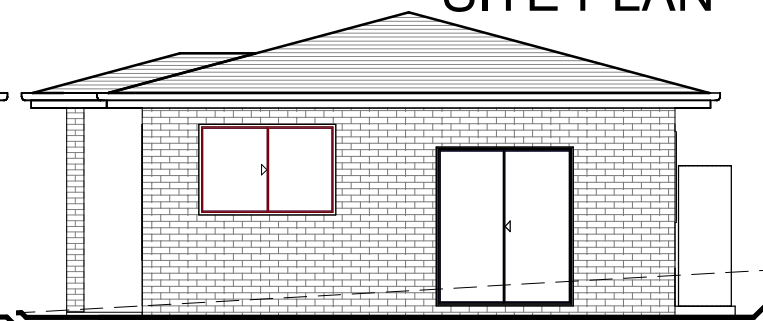
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SHEET NO:  
**01**



NORTH EAST ELEVATION

1 : 100



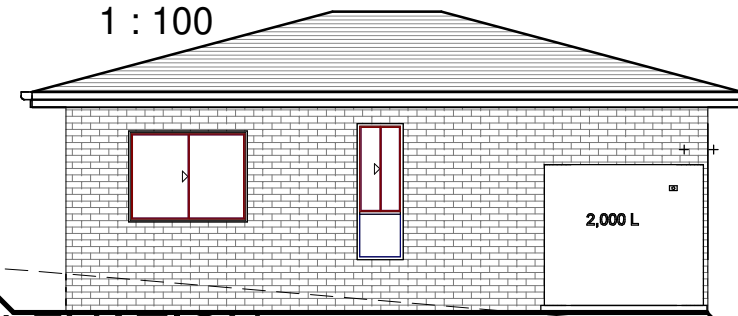
SOUTH WEST ELEVATION

1 : 100



NORTH WEST ELEVATION

1 : 100



SOUTH EAST ELEVATION

1 : 100



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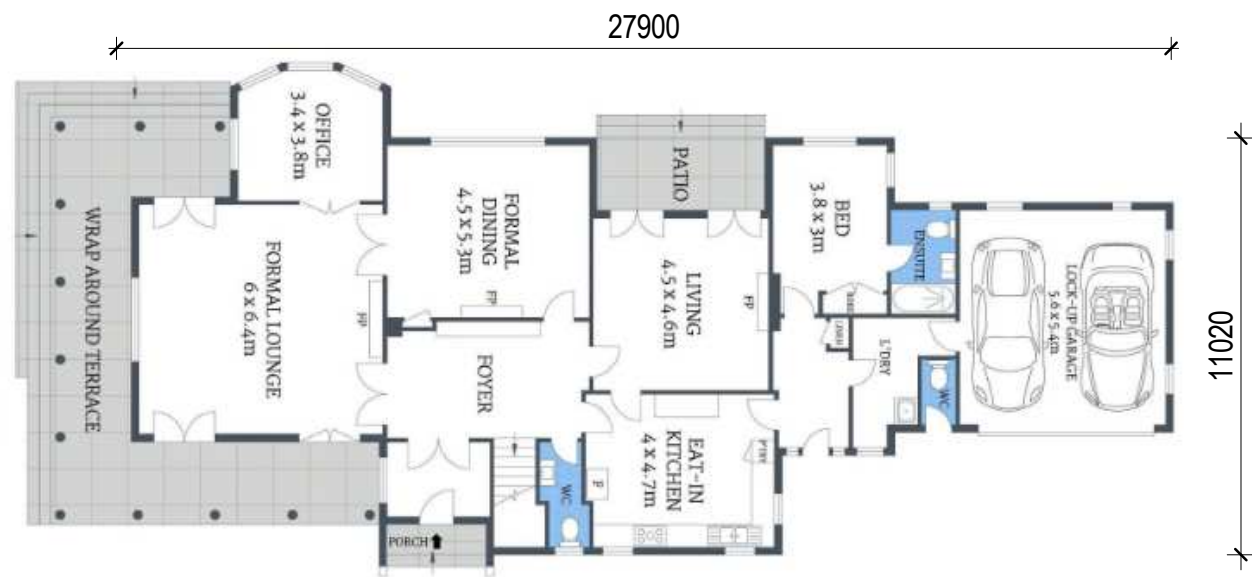
**Secondary Dwelling**

Client : PENGFEI HAN  
ZHEN LI  
Job :  
Address : LOT 2 DP 576233  
3 THE BOULEVARD, CHELTENHAM

**Project Details**

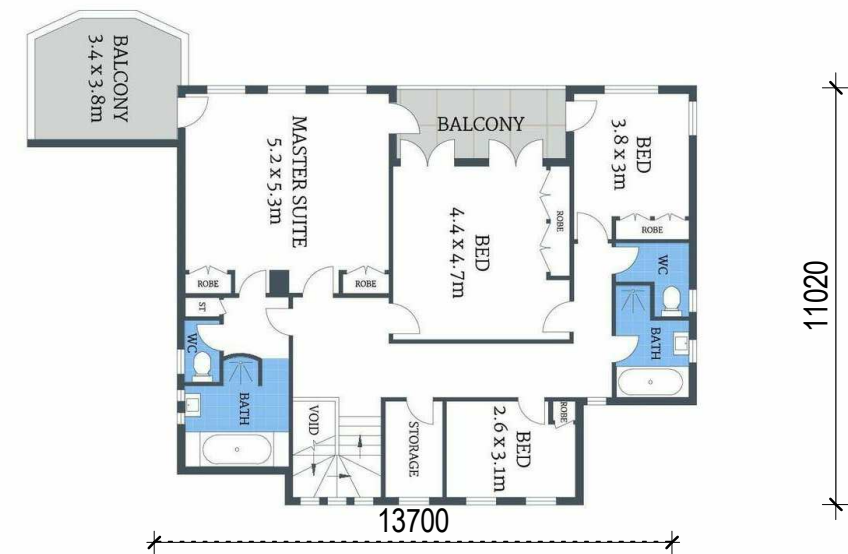
DRAWN BY: RB	DATE: 03.05.2023
SHEET TITLE: NOTIFICATION PLAN	
SCALE @ A4:	





1 : 200

EX. DWELLING- GROUND FLOOR PLAN



1 : 200

EX. DWELLING- FIRST FLOOR PLAN

**SECONDARY DWELLING**

Client : PENGFEI HAN  
ZHEN LI

Job Address : LOT 2 DP 576233  
3 THE BOULEVARD, CHELTENHAM

17/05/2023 10:23:05 AM

DA APPLICATION:

SECONDARY DWELLING

**Project Details**

DRAWN BY: RB	DATE: 03.05.2023	JOB NO:
SHEET TITLE: EXISTING HOUSE FLOOR PLAN		
SCALE: 1 : 200	FINAL PLAN ISSUE: 5	

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SHEET NO:

01.2





# SECONDARY DWELLING

Client : PENGFEI HAN  
ZHEN LI

Job Address : LOT 2 DP 576233  
3 THE BOULEVARD, CHELTENHAM

17/05/2023 10:23:05 AM

DA APPLICATION:

SECONDARY DWELLING

## Project Details

DRAWN BY: RB	DATE: 03.05.2023	JOB NO:
SHEET TITLE: SECONDARY DWELLING GROUND FLOOR		
SCALE: 1 : 50	FINAL PLAN ISSUE: 5	

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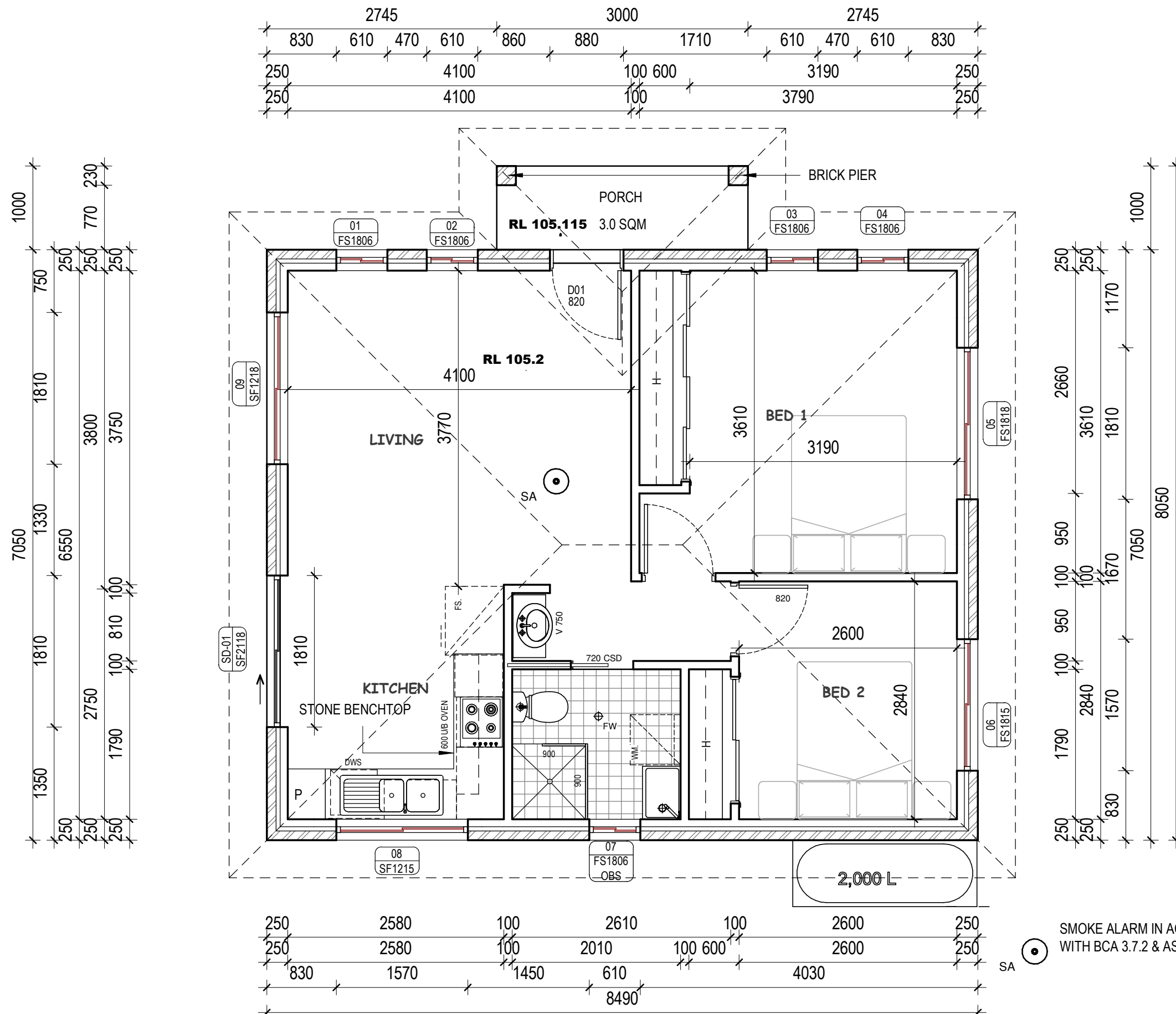


SHEET NO:

02

### GENERAL NOTES

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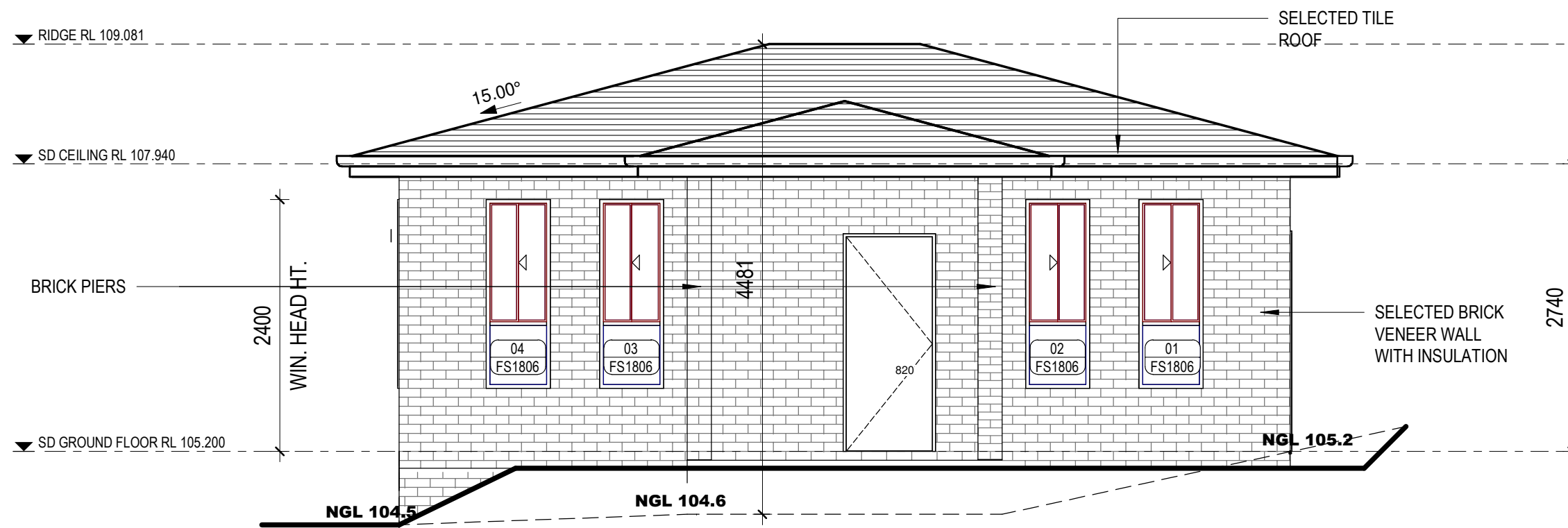


SA SMOKE ALARM IN ACCORDANCE WITH BCA 3.7.2 & AS 3786



### SOUTH WEST ELEVATION

1 : 50



### NORTH WEST ELEVATION

1 : 50



## SECONDARY DWELLING

Client : PENGFEI HAN  
ZHEN LI

Job Address : LOT 2 DP 576233  
3 THE BOULEVARD, CHELTENHAM

17/05/2023 10:23:06 AM

DA APPLICATION:

SECONDARY DWELLING

### Project Details

DRAWN BY: RB	DATE: 03.05.2023	JOB NO:
SHEET TITLE: SECONDARY DWELLING ELEVATIONS		
SCALE: 1 : 50	FINAL PLAN ISSUE: 5	

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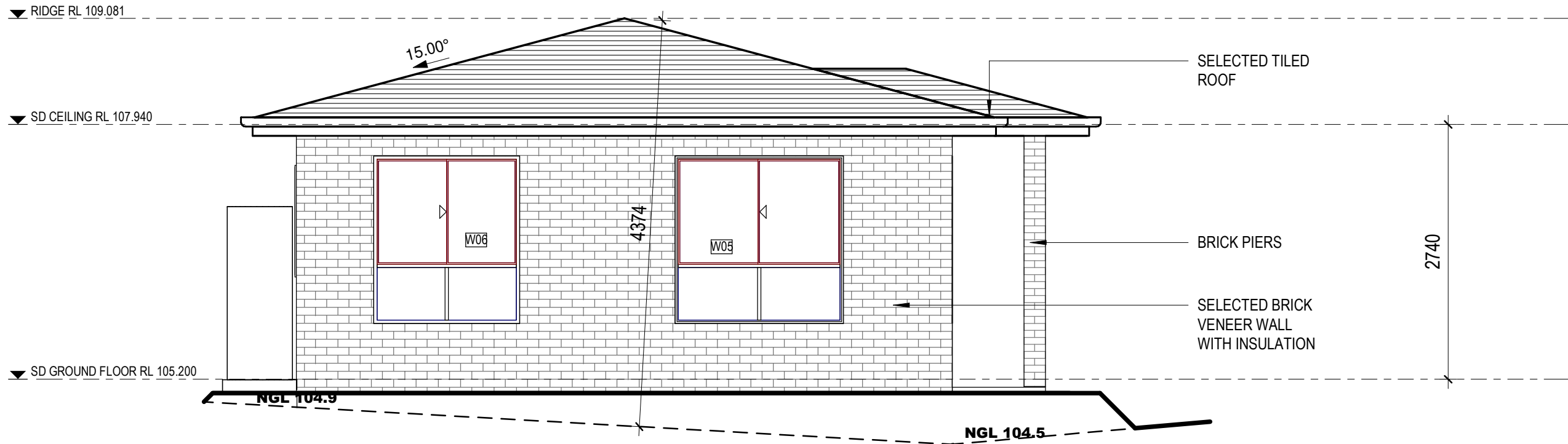


SHEET NO:

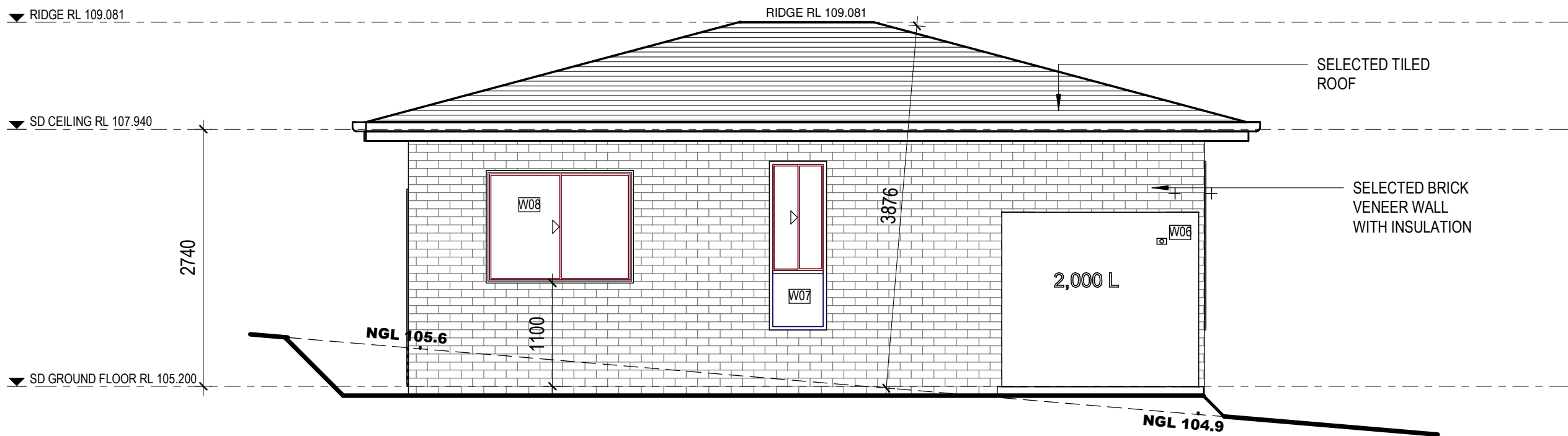
03

#### GENERAL NOTES

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**NORTH EAST ELEVATION**  
1 : 50



**SOUTH EAST ELEVATION**  
1 : 50



**SECONDARY DWELLING**

Client : PENGFEI HAN  
ZHEN LI

Job Address : LOT 2 DP 576233  
3 THE BOULEVARD, CHELTENHAM

17/05/2023 10:23:06 AM

DA APPLICATION:  
**SECONDARY DWELLING**

**Project Details**

DRAWN BY: <b>RB</b>	DATE: <b>03.05.2023</b>	JOB NO:
SHEET TITLE: <b>SECONDARY DWELLING ELEVATIONS</b>		
SCALE: <b>1 : 50</b>	FINAL PLAN ISSUE: <b>5</b>	



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SHEET NO:

**GENERAL NOTES**

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**04**

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2022 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 13754275 lodged with the consent authority or certifier on 03 March 2022 with application DA/189/2023.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000.

Secretary  
Date of issue: Sunday, 07 May 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	3 THE BOULEVARD CHELTENHAM_02	
Street address	3 THE BOULEVARD CHELTENHAM 2119	
Local Government Area	Hornsby Shire Council	
Plan type and plan number	deposited 576233	
Lot no.	2	
Section no.	-	
Project type	separate dwelling house - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	51	Target 50

Certificate Prepared by	
Name / Company Name:	RKN DESIGNS
ABN (if applicable):	8659083842

Thermal Comfort Commitments				Show on DA plans	Show on CC/DC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.						
The following requirements must also be satisfied in relation to each window and glazed door:						
<ul style="list-style-type: none"> <li>For the following glass and frame types, the certifier check can be performed by visual inspection.</li> <li>Aluminium single clear</li> <li>Aluminium double (air) clear</li> <li>Timber/PVC/fibreglass single clear</li> <li>Timber/PVC/fibreglass double (air) clear</li> </ul>						
For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.						
Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.						

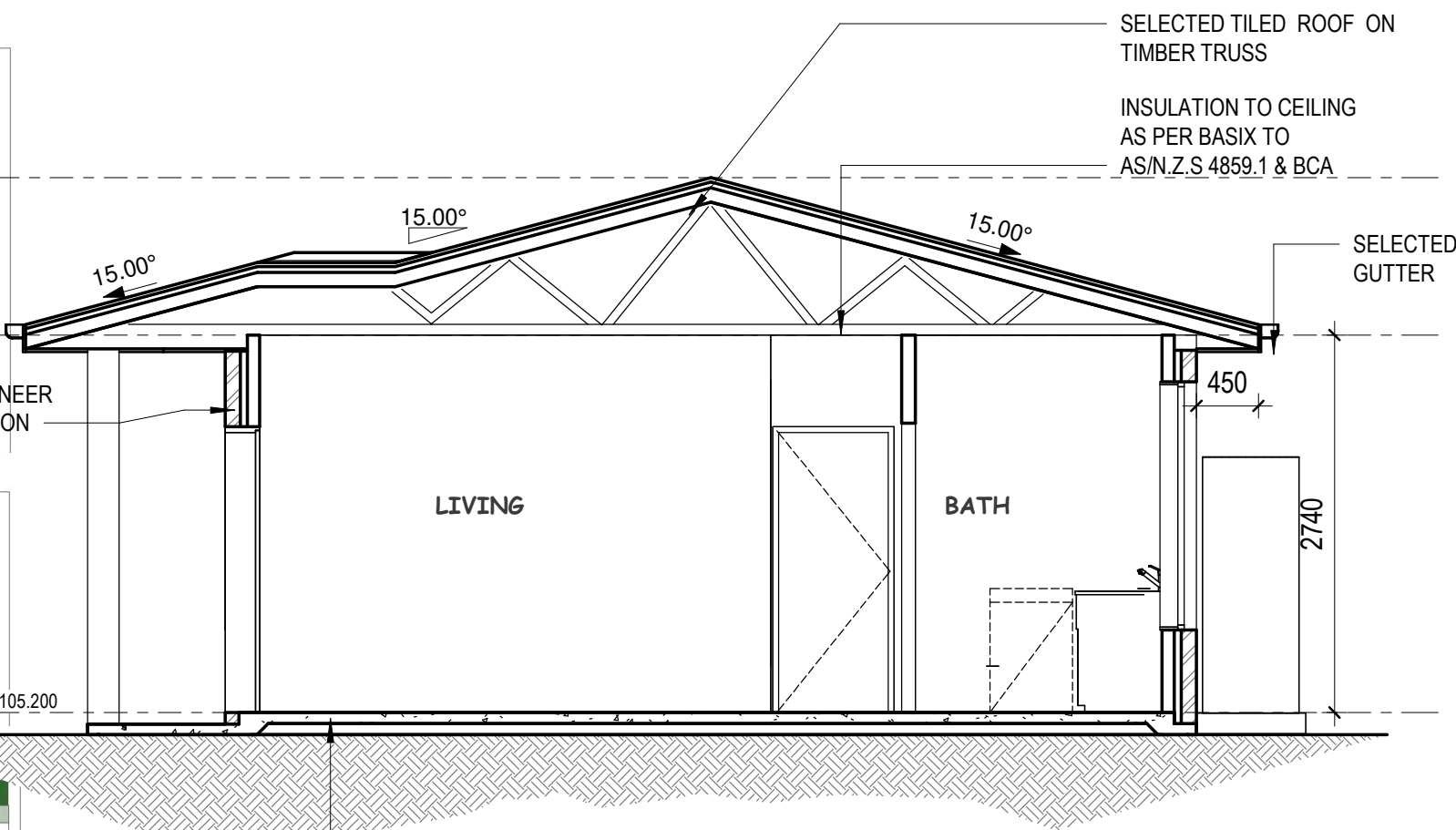
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>North-East facing</b>					
W05	1800	1810	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W06	1800	1570	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
<b>South-East facing</b>					
W07	1800	610	U value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>South-West facing</b>					
SD01	2100	1810	aluminium, single, clear	eave 4770 mm, 200 mm above head of window or glazed door	not overshadowed
W09	1200	1810	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
<b>North-West facing</b>					
W01	1800	610	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W03	1800	610	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W02	1800	610	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W04	1800	610	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed

Energy Commitments				Show on DA plans	Show on CC/DC plans & specs	Certifier check
<b>Hot water</b>						
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.						
Cooling system						
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning. Energy rating: 5 star (average zone).						
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.						
Heating system						
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning. Energy rating: 5 star (average zone).						
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.						
Ventilation						
The applicant must install the following exhaust systems in the development:						
At least 1 Bathroom: individual fan, ducted to façade or roof. Operation control: manual switch on/off						
Kitchen: individual fan, ducted to façade or roof. Operation control: manual switch on/off						
Laundry: individual fan, ducted to façade or roof. Operation control: manual switch on/off						
Artificial lighting						
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:						
<ul style="list-style-type: none"> <li>at least 2 of the bedrooms / study;</li> <li>at least 1 of the living / dining rooms;</li> <li>the kitchen;</li> </ul>						

Energy Commitments				Show on DA plans	Show on CC/DC plans & specs	Certifier check
<ul style="list-style-type: none"> <li>all bathrooms/toilets;</li> <li>the laundry;</li> <li>all hallways;</li> </ul>						
<b>Natural lighting</b>						
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.						
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.						
<b>Other</b>						
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.						
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.						
The applicant must install a fixed outdoor clothes drying line as part of the development.						

Legend		
In these commitments, "applicant" means the person carrying out the development.		
Commitments identified with a 'u' in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).		
Commitments identified with a 'c' in the "Show on CC/DC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate/complying development certificate for the proposed development.		
Commitments identified with a 'v' in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.		



# 1 Section A-A

1 : 50

## Description of project

Project address	
Project name	3 THE BOULEVARD CHELTENHAM_02
Street address	3 THE BOULEVARD CHELTENHAM 2119
Local Government Area	Hornsby Shire Council
Plan type and plan number	Deposited Plan 576233
Lot no.	2
Section no.	-
Project type	
Project type	separate dwelling house - secondary dwelling
No. of bedrooms	2
Site details	
Site area (m <sup>2</sup> )	1301
Roof area (m <sup>2</sup> )	81
Conditioned floor area (m <sup>2</sup> )	56.8
Unconditioned floor area (m <sup>2</sup> )	3.59
Total area of garden and lawn (m <sup>2</sup> )	122
Roof area (m <sup>2</sup> ) of the existing dwelling	325
No. of bedrooms in the existing dwelling	5

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m <sup>2</sup> /year)	n/a	
Area adjusted heating load (MJ/m <sup>2</sup> /year)	n/a	
Ceiling fan in all bedrooms	n/a	
Ceiling fan in at least one living room or other conditioned area	n/a	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	51	Target 50

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments				Show on DA plans	Show on CC/DC plans & specs	Certifier check
<b>Fixtures</b>						
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.						
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.						
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.						
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.						
<b>Alternative water</b>						
Rainwater tank						
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.						
The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).						
The applicant must connect the rainwater tank to:						
<ul style="list-style-type: none"> <li>all toilets in the development</li> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>						

Thermal Comfort Commitments				Show on DA plans	Show on CC/DC plans & specs	Certifier check
<b>General features</b>						
The dwelling must not have more than 2 storeys.						
The conditioned floor area of the dwelling must not exceed 300 square metres.						
The dwelling must not contain open mezzanine area exceeding 25 square metres.						
The dwelling must not contain third level habitable attic room.						
<b>Floor, walls and ceiling/roof</b>						
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.						
Construction	Additional insulation required (R-Value)	Other specifications				
floor - concrete slab on ground	n/a					
external wall - brick veneer	1.86 (or 2.40 including construction)					
ceiling and roof - flat ceiling / polished roof	ceiling: 3.5 (up), roof: fall/raking	unventilated, dark (solar absorption > 0.70)				
<b>Note</b>						
Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.						
In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.						

WINDOW & SLIDING DOOR Schedule					
Window No.	Model	Height	Width	Window Style	Glazing
01	FS1806	1800	610	SLIDING WINDOW	CLEAR
02	FS1806	1800	610	SLIDING WINDOW	CLEAR
03	FS1806	1800	610	SLIDING WINDOW	CLEAR
04	FS1806	1800	610	SLIDING WINDOW	CLEAR
05	FS1818	1800	1810	SLIDING WINDOW	CLEAR
06	FS1815	1800	1570	SLIDING WINDOW	CLEAR
07	FS1806 OBS	1800	610	SLIDING WINDOW	OBSCURE
08	SF1215	1200	1570	SLIDING WINDOW	CLEAR
09	SF1218	1200	1810	SLIDING WINDOW	CLEAR
SD-01	SF2118	2100	1810	SLIDING DOOR	CLEAR



# SECONDARY DWELLING

Client : **PENGFEI HAN**  
**ZHEN LI**

Job Address : **LOT 2 DP 576233**  
**3 THE BOULEVARD, CHELTENHAM**

17/05/2023 10:23:07 AM

## Project Details

DA APPLICATION: **SECONDARY DWELLING**

DRAWN BY: **RB** DATE: **03.05.2023** JOB NO:

SHEET TITLE: **SECONDARY DWELLING SECTION & BASIX**

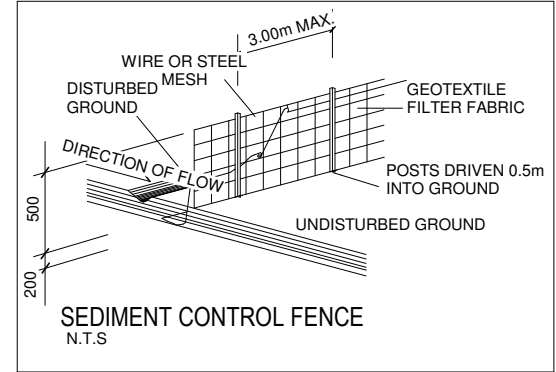
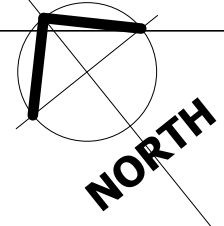
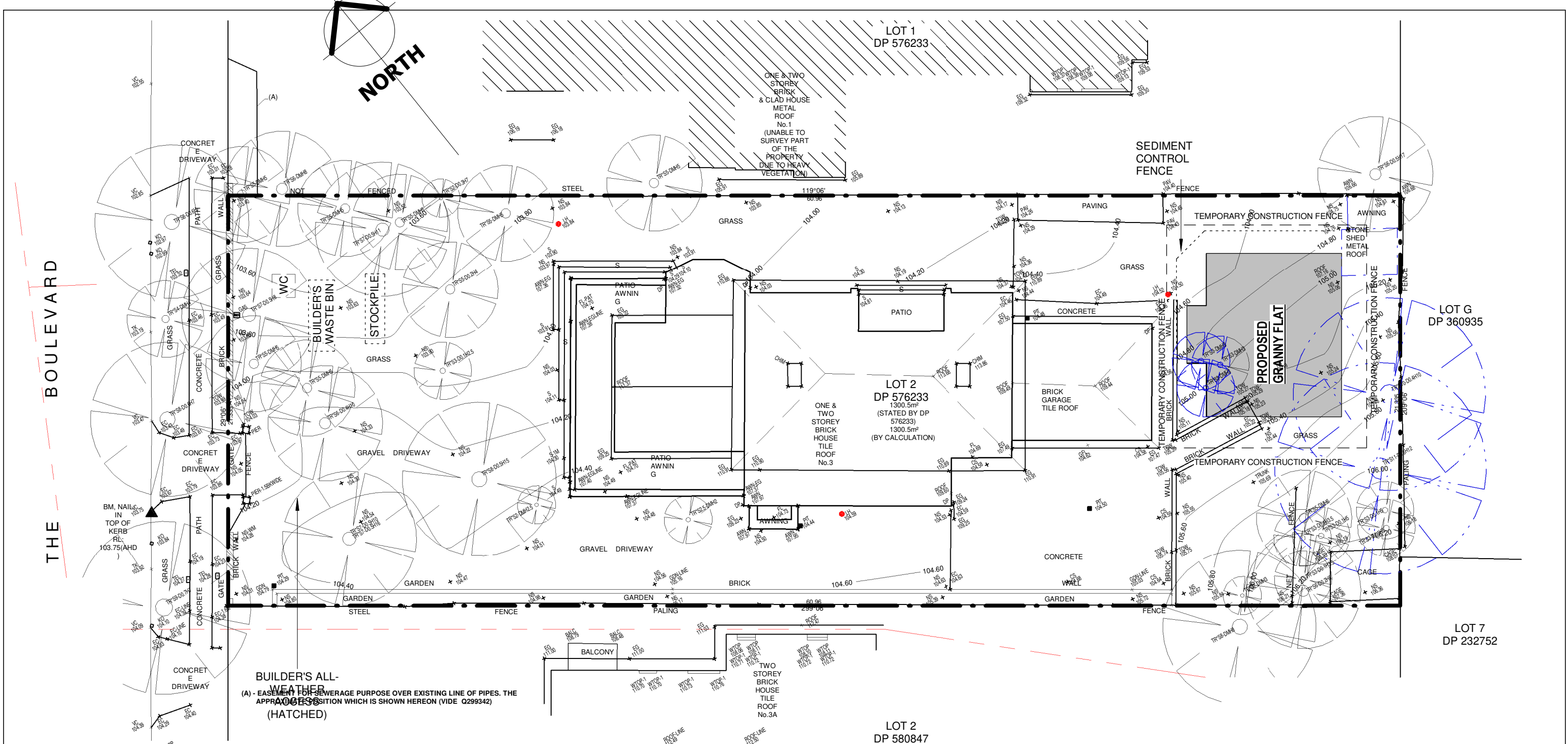
SCALE: **1 : 50** FINAL PLAN ISSUE: **5**

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**GENERAL NOTES**  
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SHEET NO: **05**





- SEDIMENT NOTE:**
1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
  2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
  3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
  4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
  5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
  6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
  7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
  8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

1 : 200  
**SEDIMENT CONTROL PLAN**



**SECONDARY DWELLING**

Client : PENGFEI HAN  
ZHEN LI

Job Address : LOT 2 DP 576233  
3 THE BOULEVARD, CHELTENHAM

17/05/2023 10:23:08 AM

DA APPLICATION:  
**SECONDARY DWELLING**

Project Details		
DRAWN BY: RB	DATE: 03.05.2023	JOB NO:
SHEET TITLE: SEDIMENT CONTROL PLAN		
SCALE: 1 : 200	FINAL PLAN ISSUE: 5	



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**06**