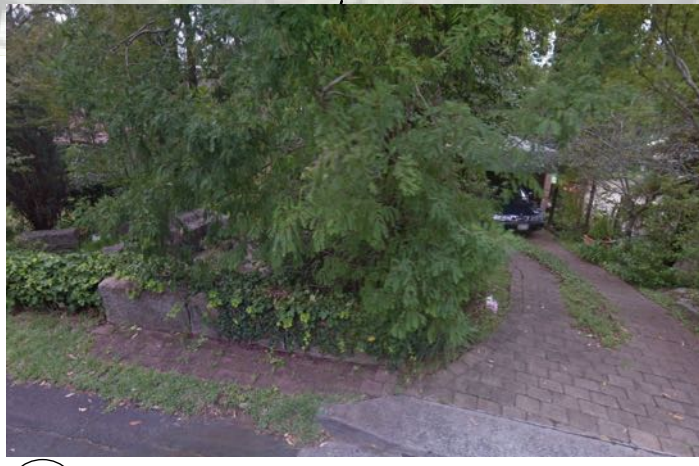


03 38 LYNE ROAD



04 82 BORONIA PLACE



05 80 BORONIA PLACE



06 HOWARD CASTLE ROAD

Amendments

A ISSUED FOR DA	07/06/22
-----------------	----------

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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
 CHELTENHAM NSW
 2119**

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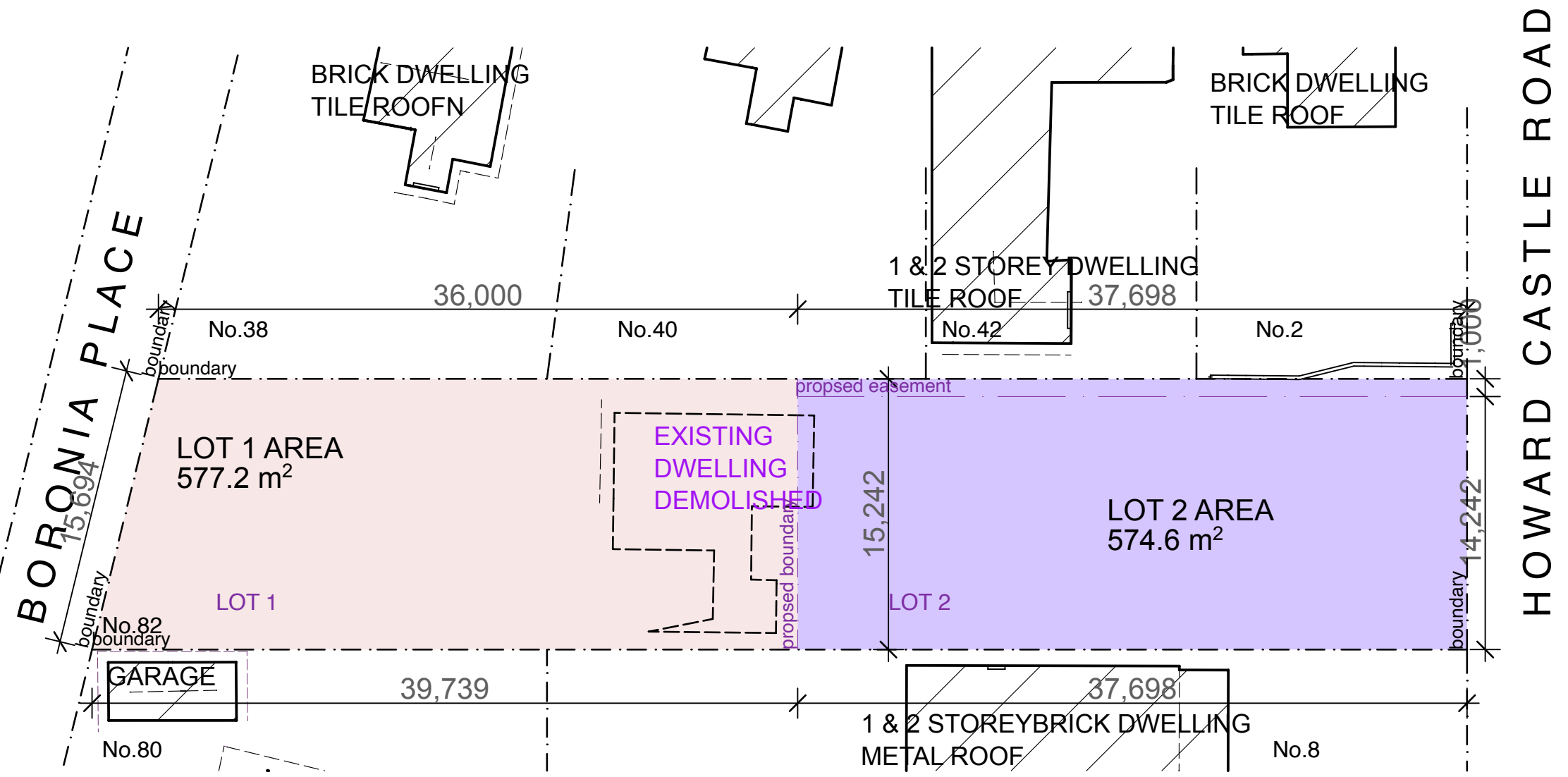
Drawn JG	Approved JG	Date Printed 7/6/22
Job Number 1805		
Scale As shown @ A3		

Drawing name

SITE ANALYSIS

Drawing Number
DA-00

Amendment
A



01 SUBDIVISION PLAN 1:300

Amendments
 A ISSUED FOR DA 07/06/22

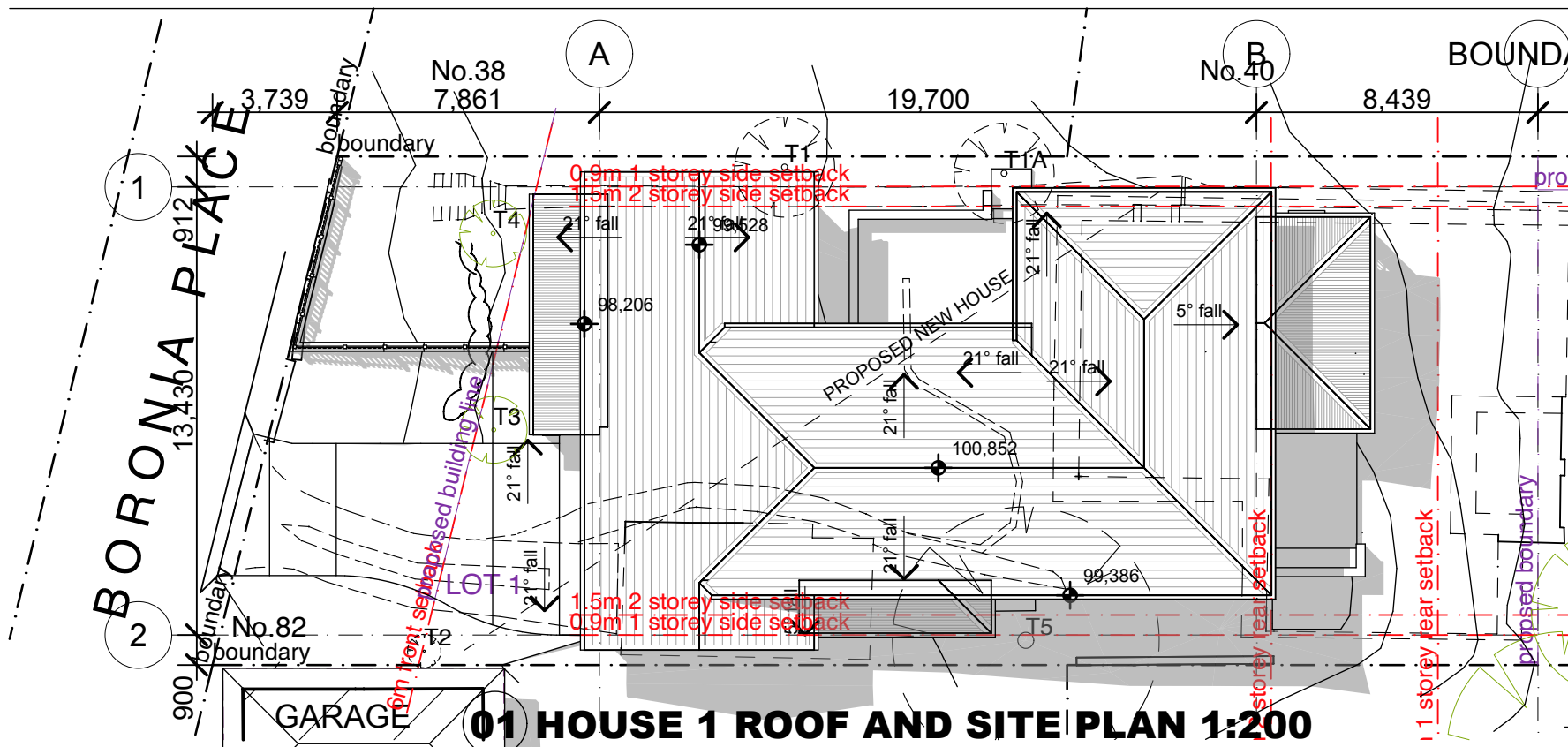
Architect
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Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELTENHAM NSW
2119

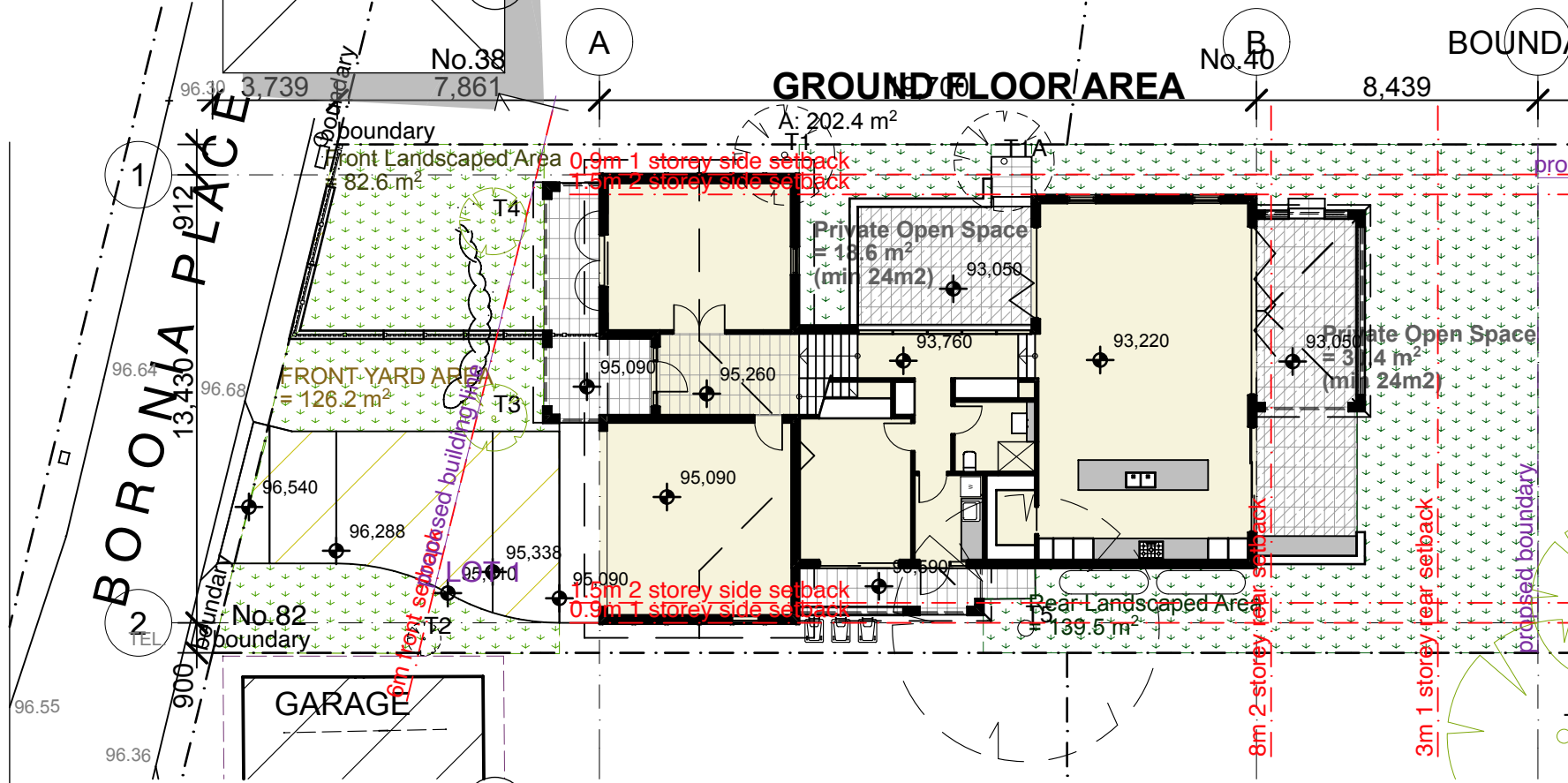
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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

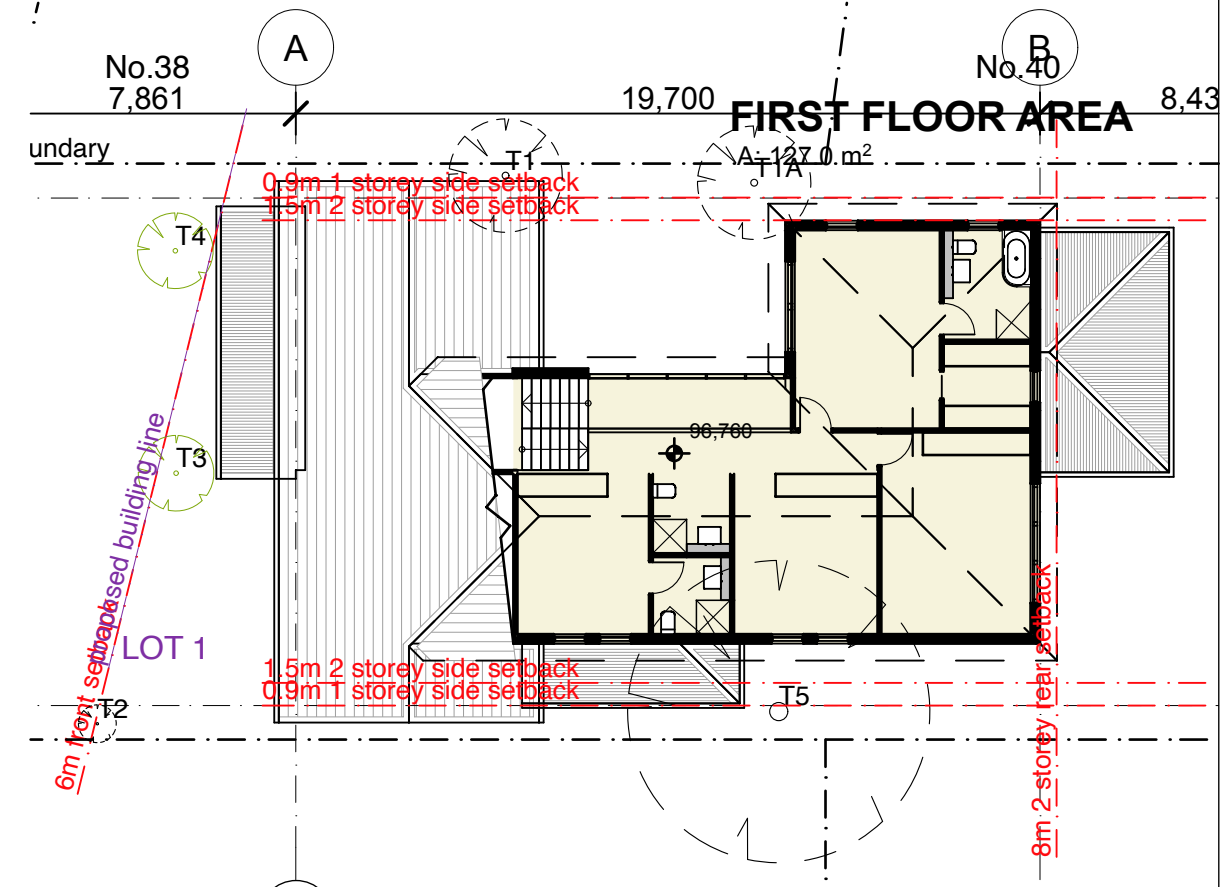
Drawing name
SUBDIVISION PLANS
 Drawing Number
DA-01
 Amendment
A



01 HOUSE 1 ROOF AND SITE PLAN 1:200



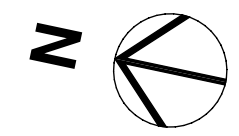
02 HOUSE 1 GROUND FLOOR PLAN 1:200



03 HOUSE 1 FIRST FLOOR PLAN 1:200

HORNSBY COUCL DCP 2013

- SITE AREA LOT 1 = 577.2m²
- ALLOWABLE FLOOR AREA IN DCP = 330m²
- TOTAL FLOOR AREA SHOWN = 329.4m²
- MIN LANDSCAPED AREA 20% = 116m²
- PROPOSED LANDSCAPED AREA = 222.1m²
- MIN LANDSCAPED AREA BEHIND BUILDING LINE 50% = 58m²
- PROPOSED LANDSCAPED AREA BEHIND BUILDING LINE = 139.5m²
- MIN FRONT YARD LANDSCAPED AREA 25% OF YARD = 31.5m²
- PROPOSED FRONT YARD LANDSCAPED AREA = 82.6m²
- MIN PAVED PRIVATE OPEN SPACE = 24m² (Min Dimension 3m)
- PROPOSED PAVED PRIVATE OPEN SPACE = 50m²



Amendments	
A	ISSUED FOR DA 07/06/22

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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
 CHELTENHAM NSW
 2119**

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number 1805		
Scale As shown @ A3		

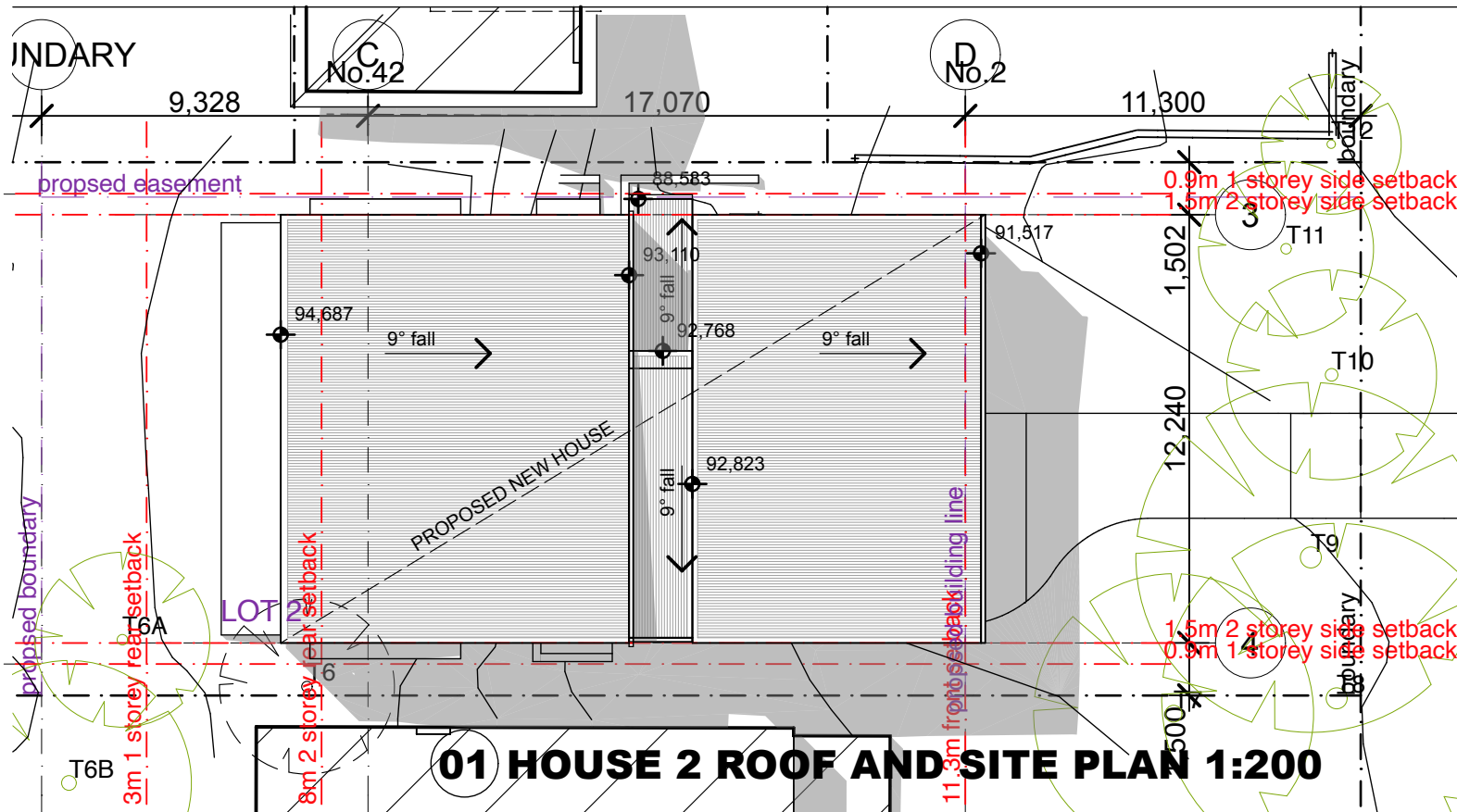
Drawing name

LOT 1 ENVELOPE

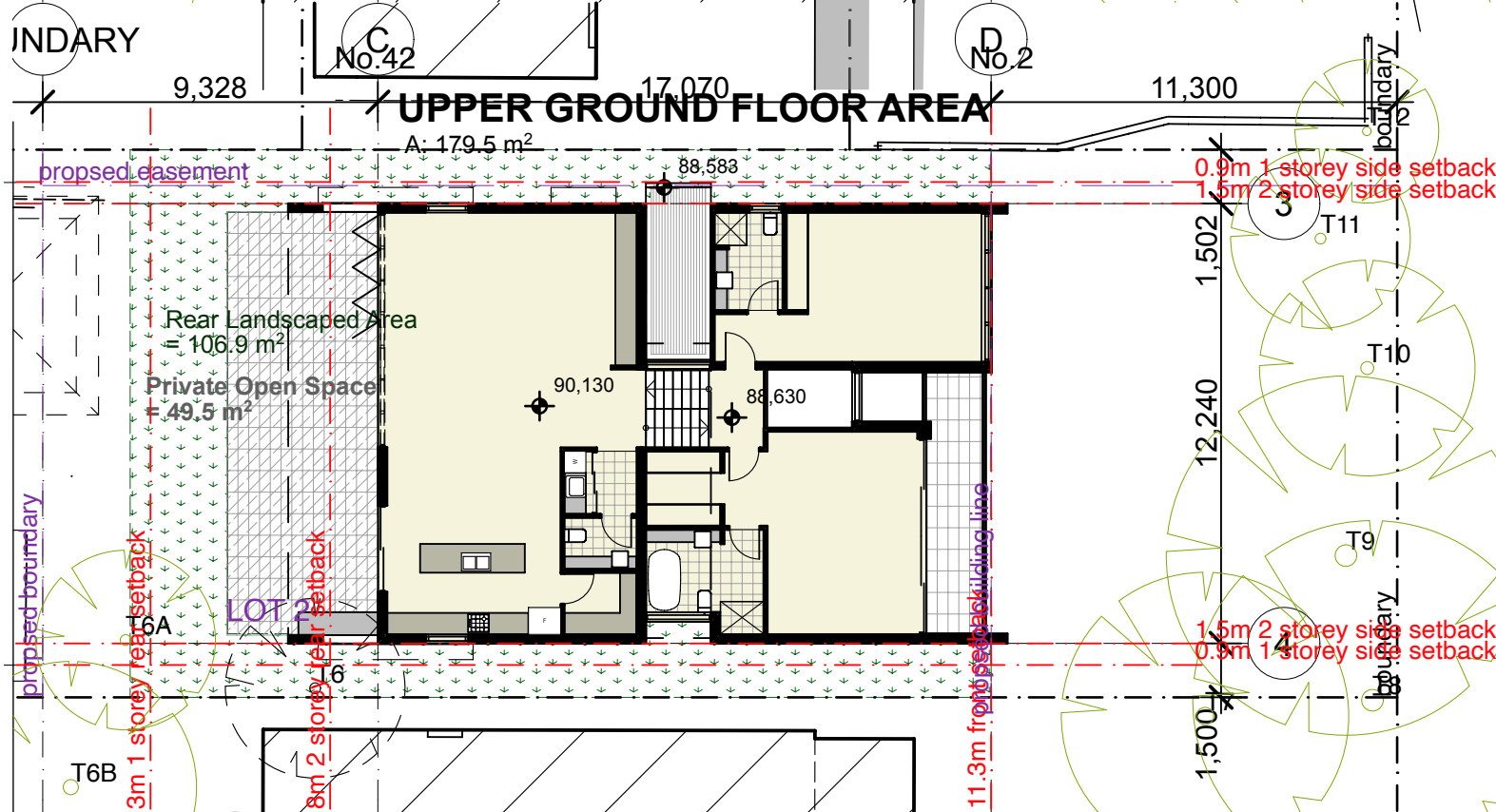
Drawing Number

DA-02

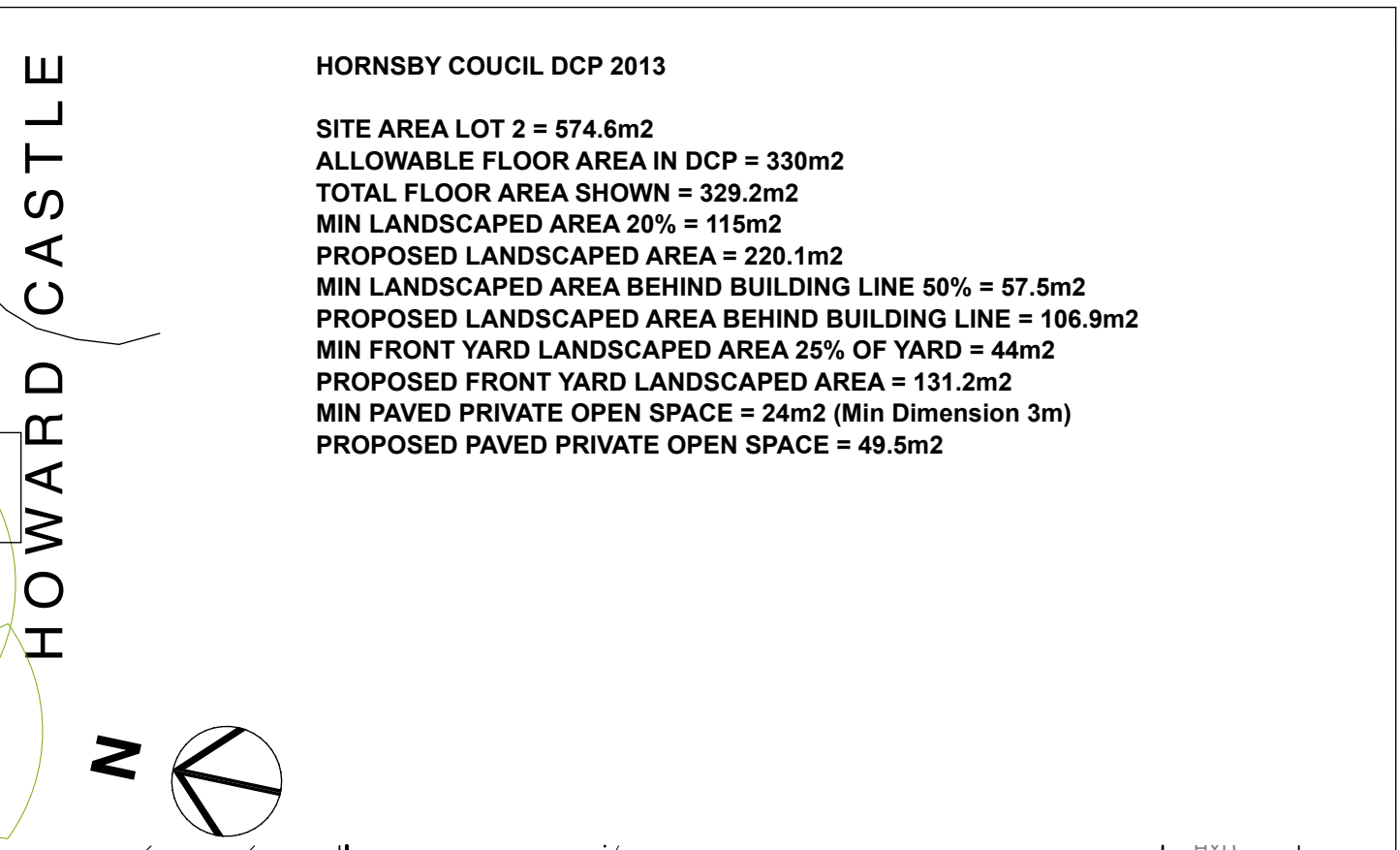
Amendment
A



01 HOUSE 2 ROOF AND SITE PLAN 1:200



02 HOUSE 2 UPPER GROUND FLOOR PLAN 1:200



03 HOUSE 2 LOWER GROUND FLOOR PLAN 1:200

HORNSBY COUCIL DCP 2013

- SITE AREA LOT 2 = 574.6m²
- ALLOWABLE FLOOR AREA IN DCP = 330m²
- TOTAL FLOOR AREA SHOWN = 329.2m²
- MIN LANDSCAPED AREA 20% = 115m²
- PROPOSED LANDSCAPED AREA = 220.1m²
- MIN LANDSCAPED AREA BEHIND BUILDING LINE 50% = 57.5m²
- PROPOSED LANDSCAPED AREA BEHIND BUILDING LINE = 106.9m²
- MIN FRONT YARD LANDSCAPED AREA 25% OF YARD = 44m²
- PROPOSED FRONT YARD LANDSCAPED AREA = 131.2m²
- MIN PAVED PRIVATE OPEN SPACE = 24m² (Min Dimension 3m)
- PROPOSED PAVED PRIVATE OPEN SPACE = 49.5m²

Amendments	
A ISSUED FOR DA	07/06/22

Architect

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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
 CHELTENHAM NSW
 2119**

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number 1805		
Scale As shown @ A3		

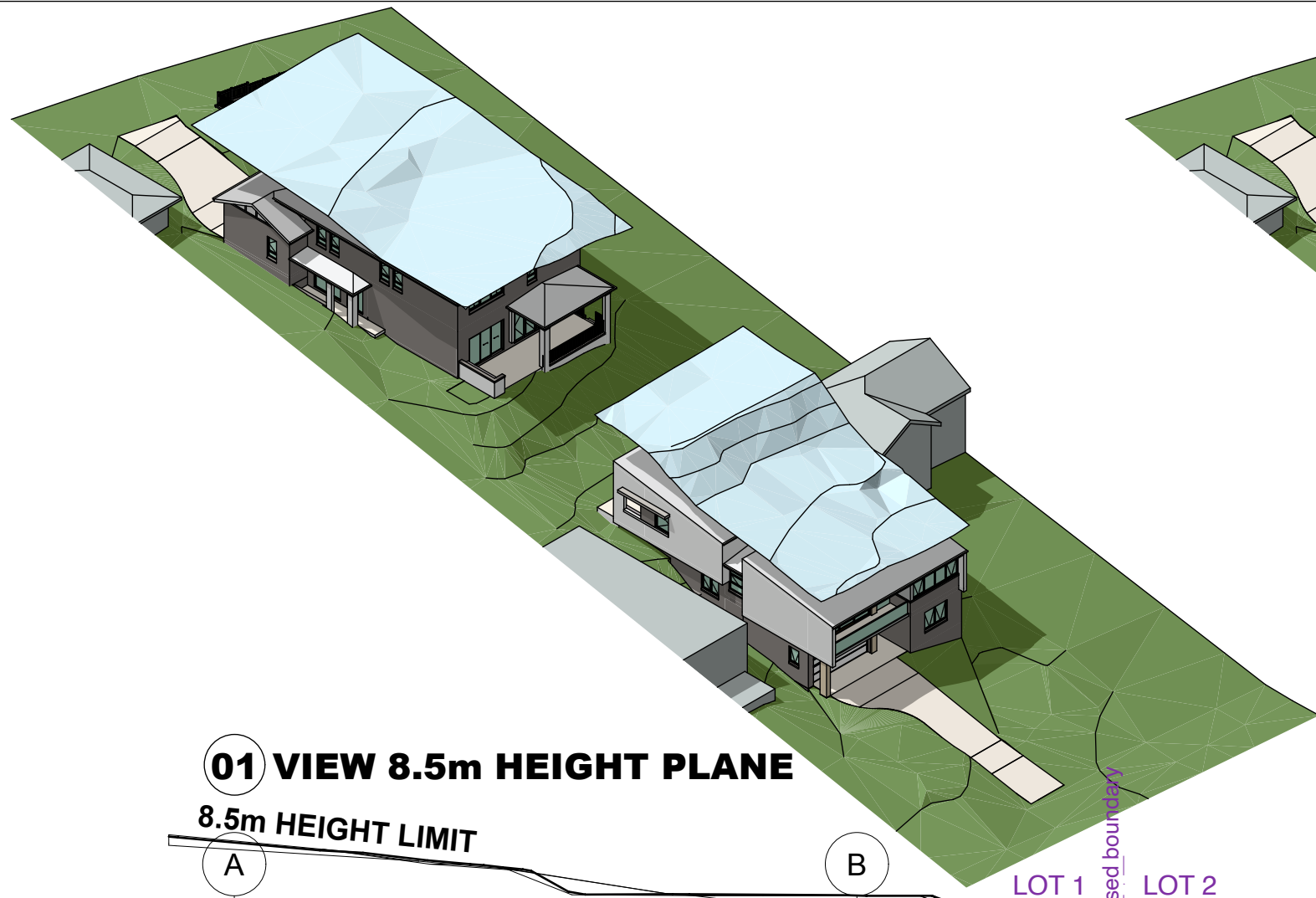
Drawing name

LOT 2 ENVELOPE

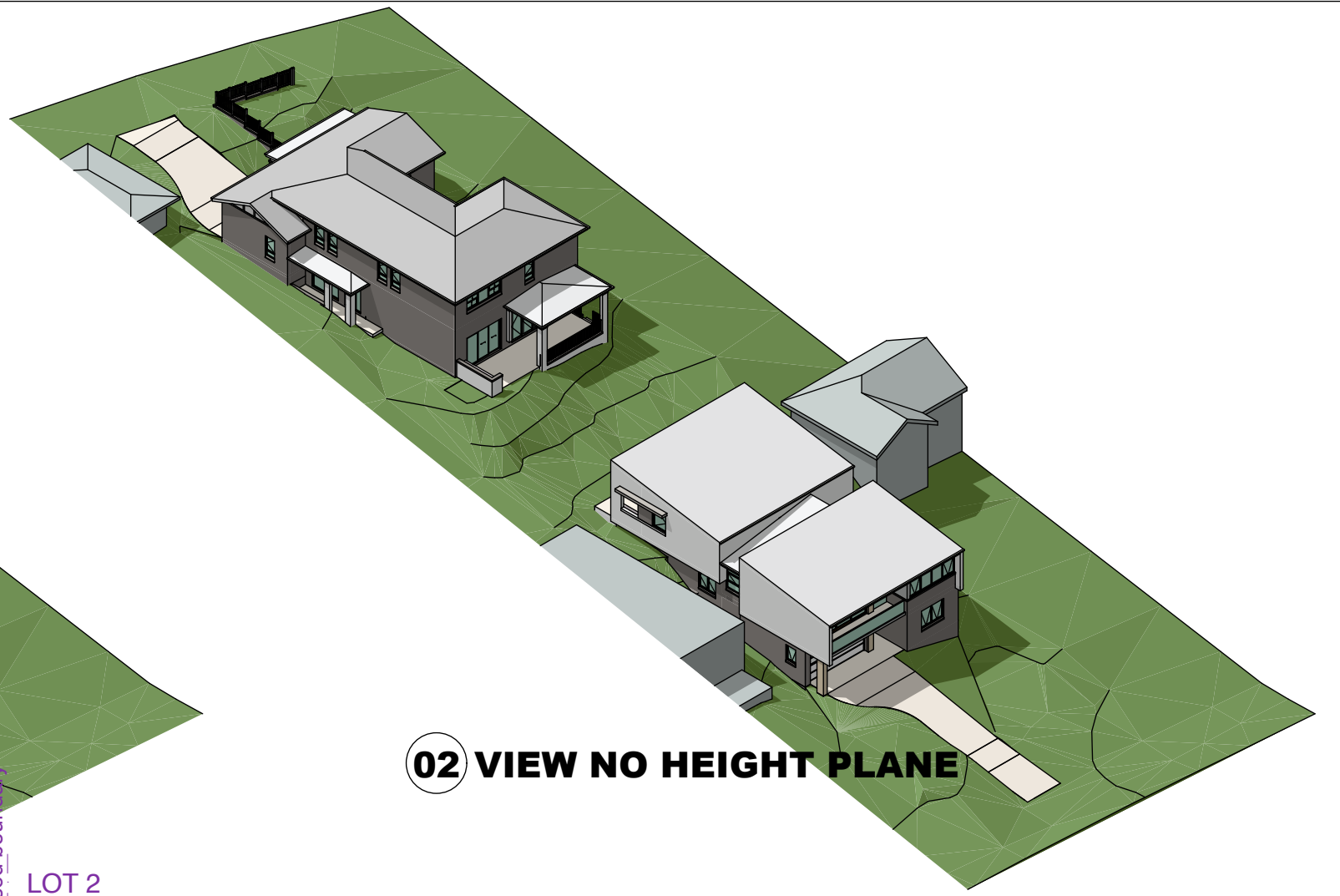
Drawing Number

DA-03

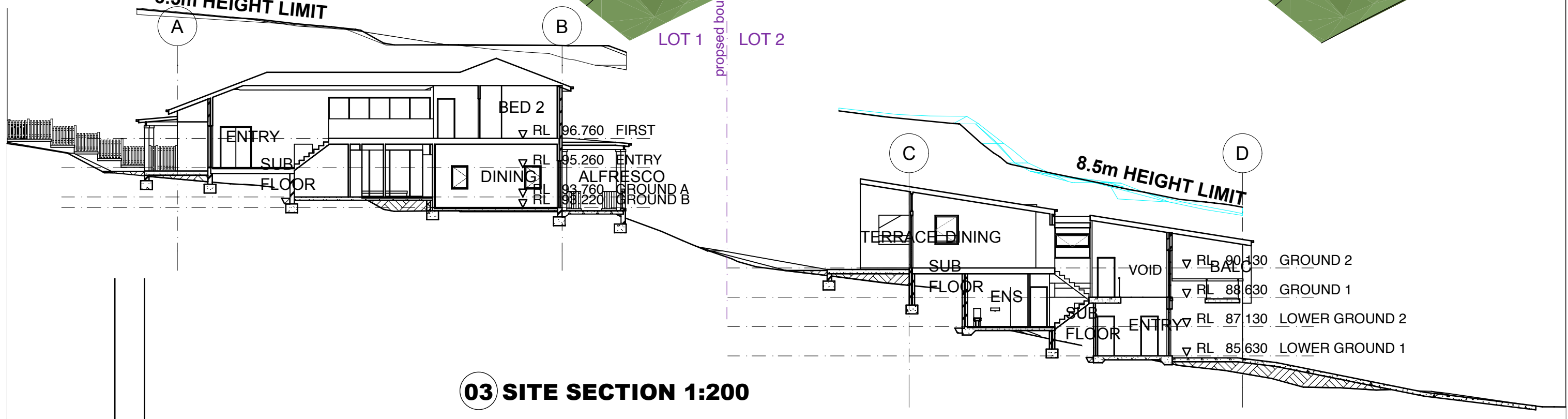
Amendment
A



01 VIEW 8.5m HEIGHT PLANE



02 VIEW NO HEIGHT PLANE



03 SITE SECTION 1:200

Amendments	
A ISSUED FOR DA	07/06/22

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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
 CHELTENHAM NSW
 2119**

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

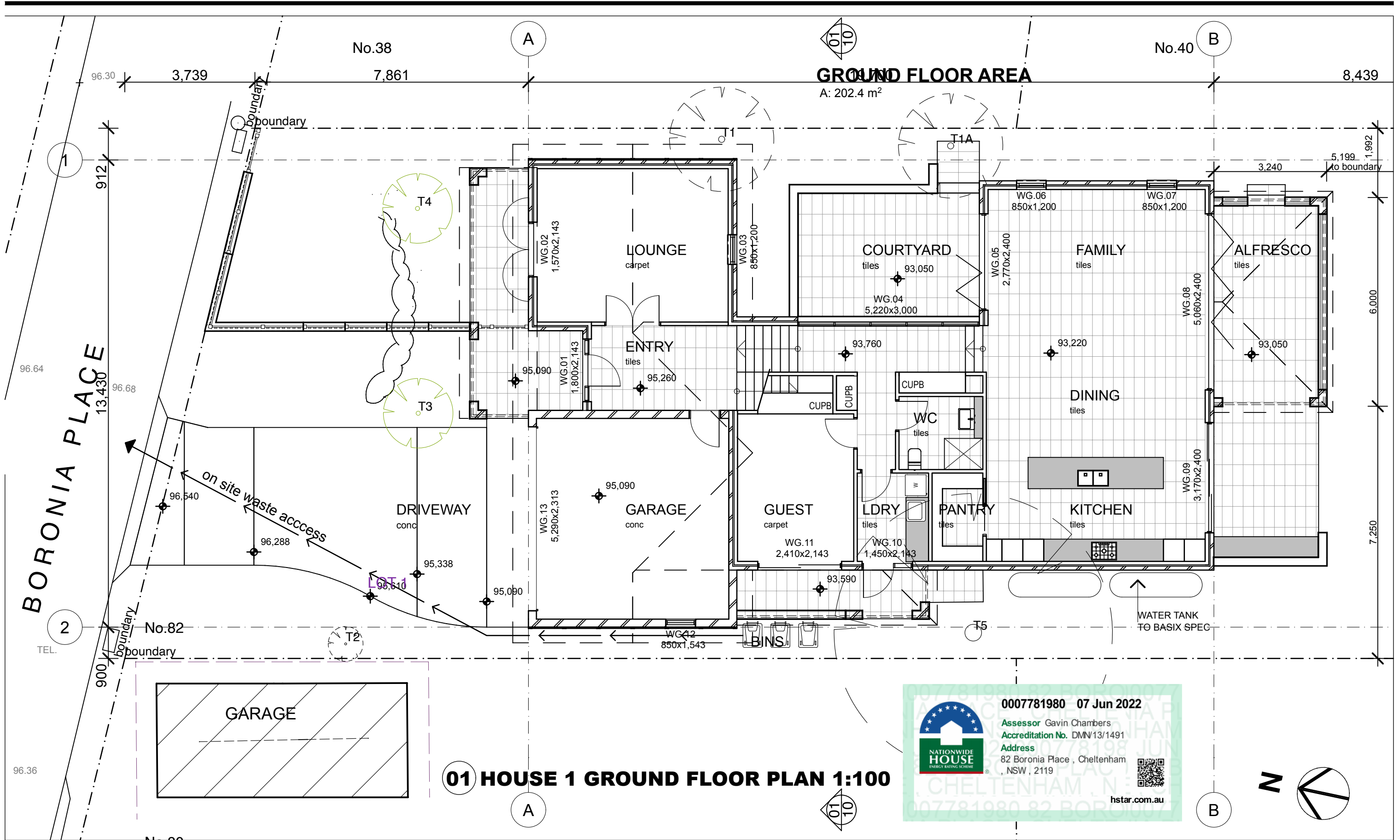
Drawing name

LOT 1 & 2 SECTION AND VIEWS

Drawing Number

DA-04

Amendment
A



Amendments	
A	ISSUED FOR DA 07/06/22

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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
CHELTENHAM NSW
2119**

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

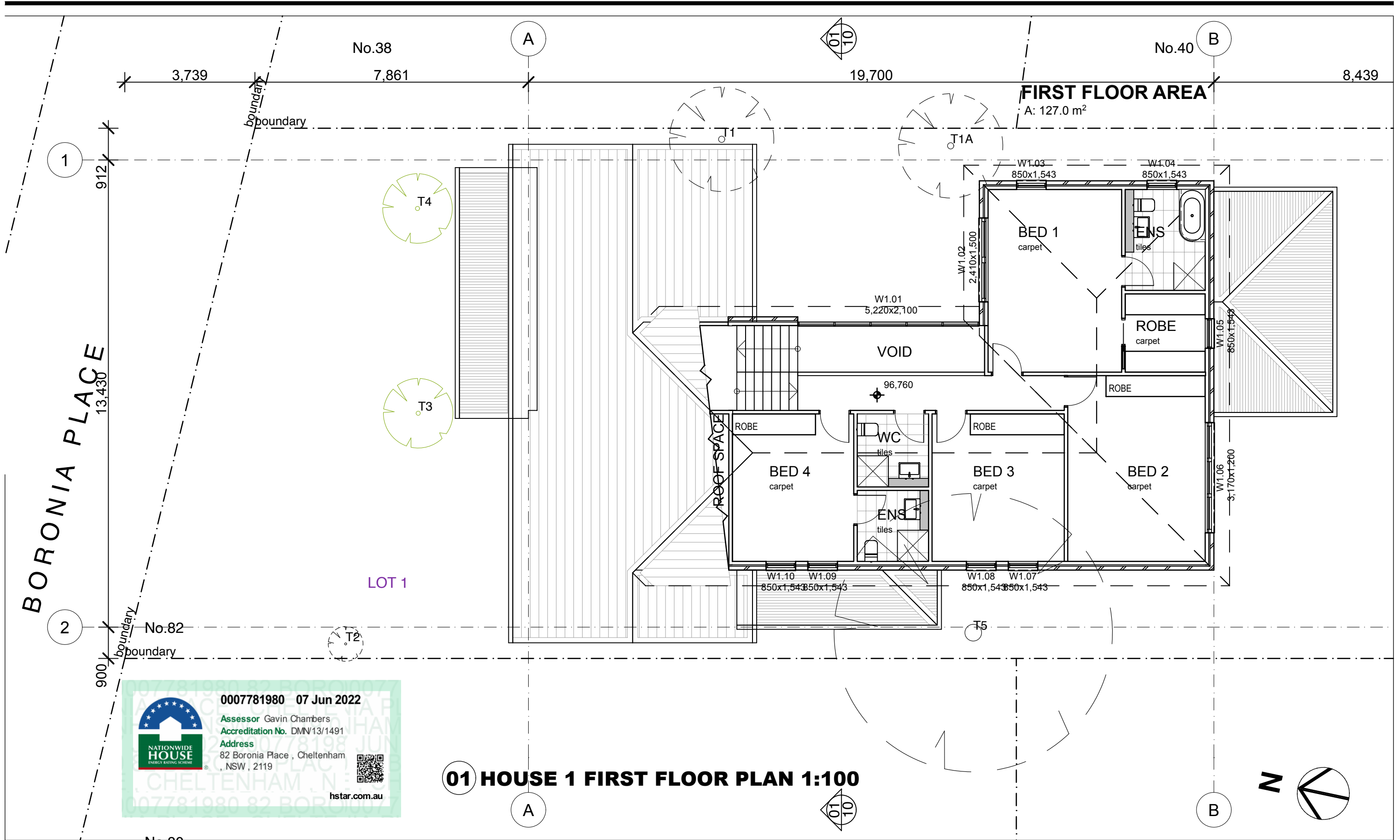
Drawing name

LOT 1 GROUND FLOOR PLAN

Drawing Number

DA-06

Amendment
A



01 HOUSE 1 FIRST FLOOR PLAN 1:100

0007781980 07 Jun 2022
 Assessor Gavin Chambers
 Accreditation No. DMN13/1491
 Address
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 NSW, 2119
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Amendments	
A ISSUED FOR DA	07/06/22

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Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELtenham NSW
2119

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

Drawing name
LOT 1 FIRST FLOOR PLAN
 Drawing Number
DA-07
 Amendment
A



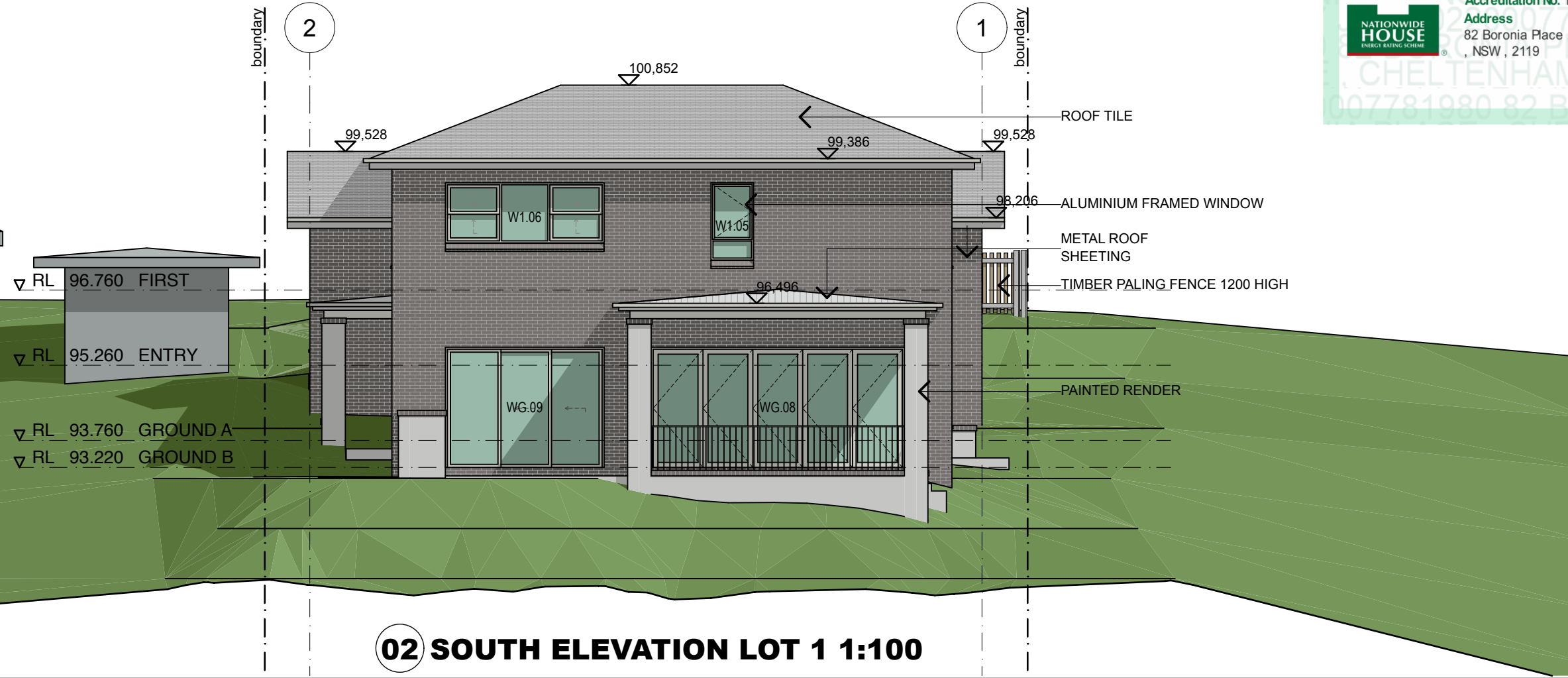
01 NORTH ELEVATION LOT 1 1:100

0007781980 07 Jun 2022

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 Accreditation No. DMN/13/1491
 Address 82 Boronia Place, Cheltenham, NSW, 2119

NATIONWIDE HOUSE ENERGY RATING SCHEME

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02 SOUTH ELEVATION LOT 1 1:100

Amendments	
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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
 CHELTENHAM NSW
 2119**

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

Drawing name

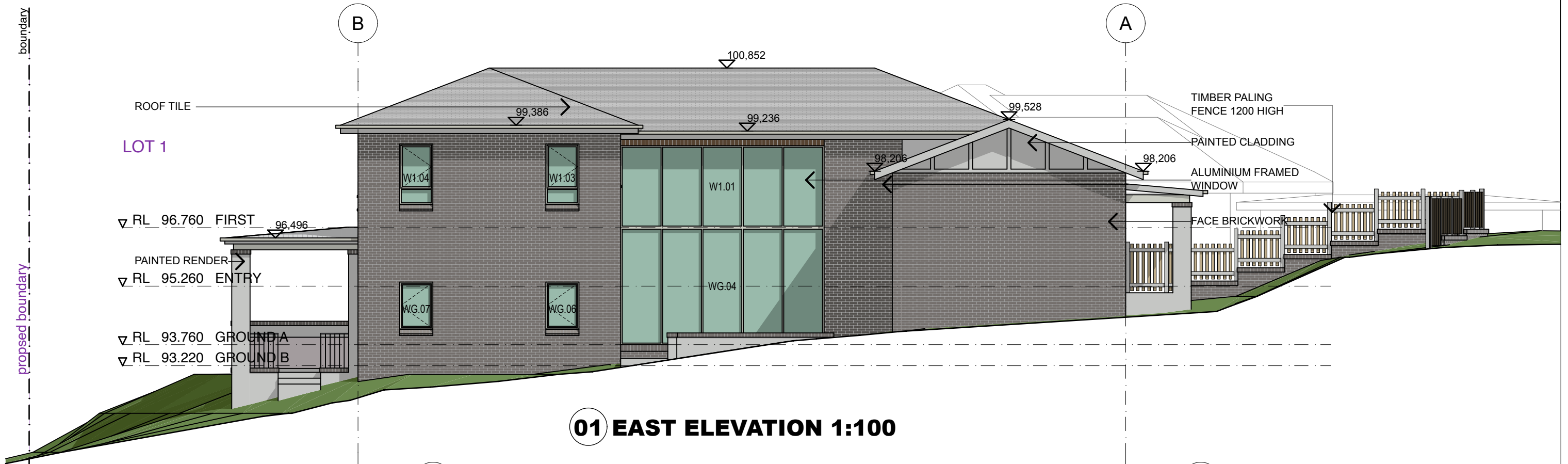
LOT 1 NORTH AND SOUTH ELEVATIONS

Drawing Number

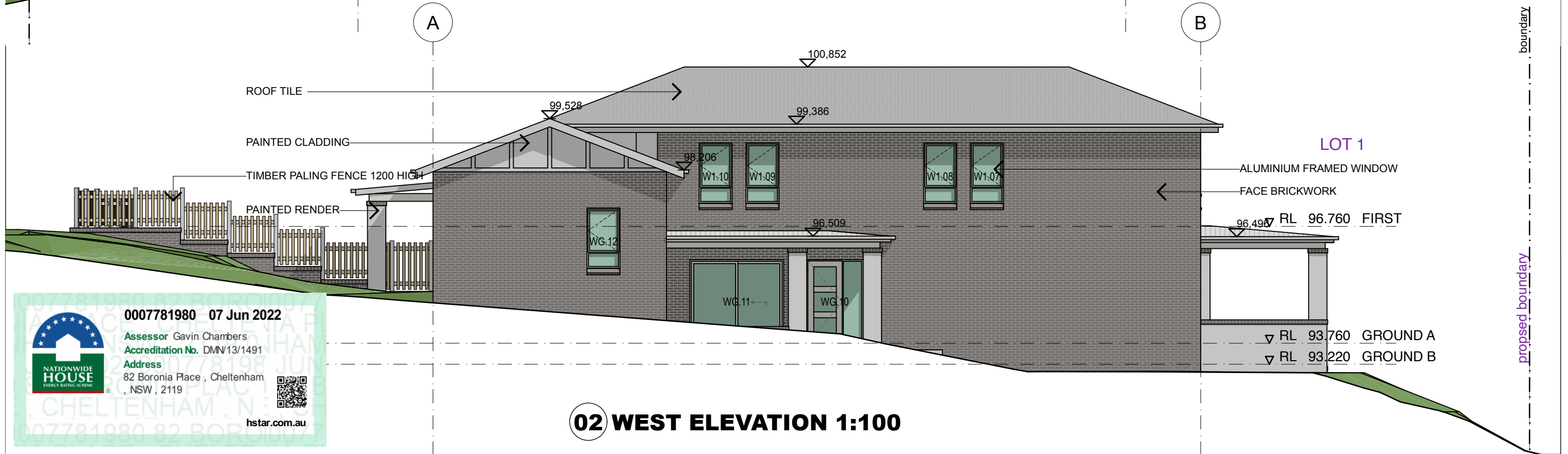
DA-08

Amendment

A




01 EAST ELEVATION 1:100



02 WEST ELEVATION 1:100

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Assessor Gavin Chambers
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Amendments
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Architect
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Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELtenham NSW
2119

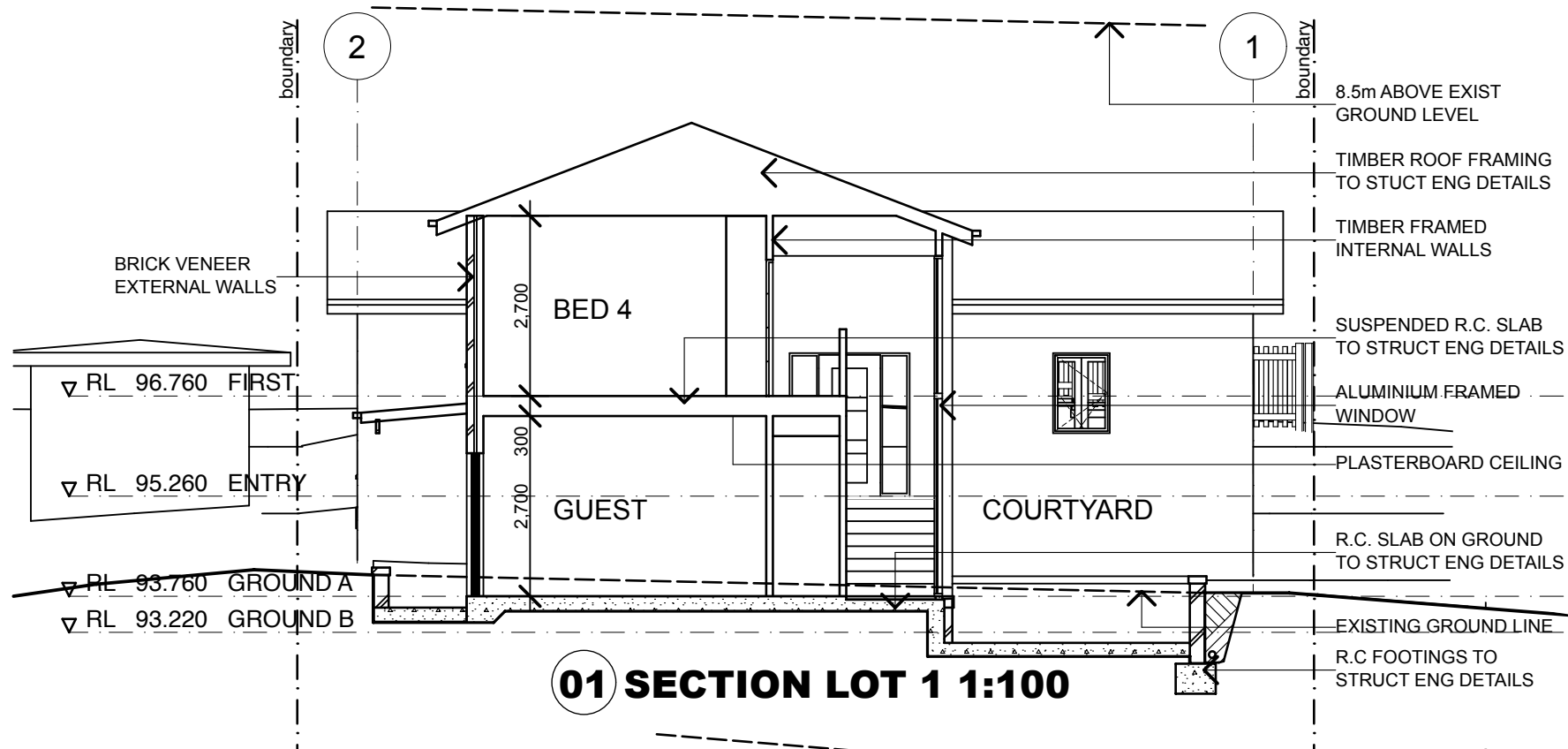
This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. All dimensions used to be figured dimensions only. Do not scale from drawings. Report any discrepancies to the Architect for a decision before proceeding with work.

Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

Drawing name
LOT 1 EAST AND WEST ELEVATIONS

Drawing Number
DA-09

Amendment
A



01 SECTION LOT 1 1:100

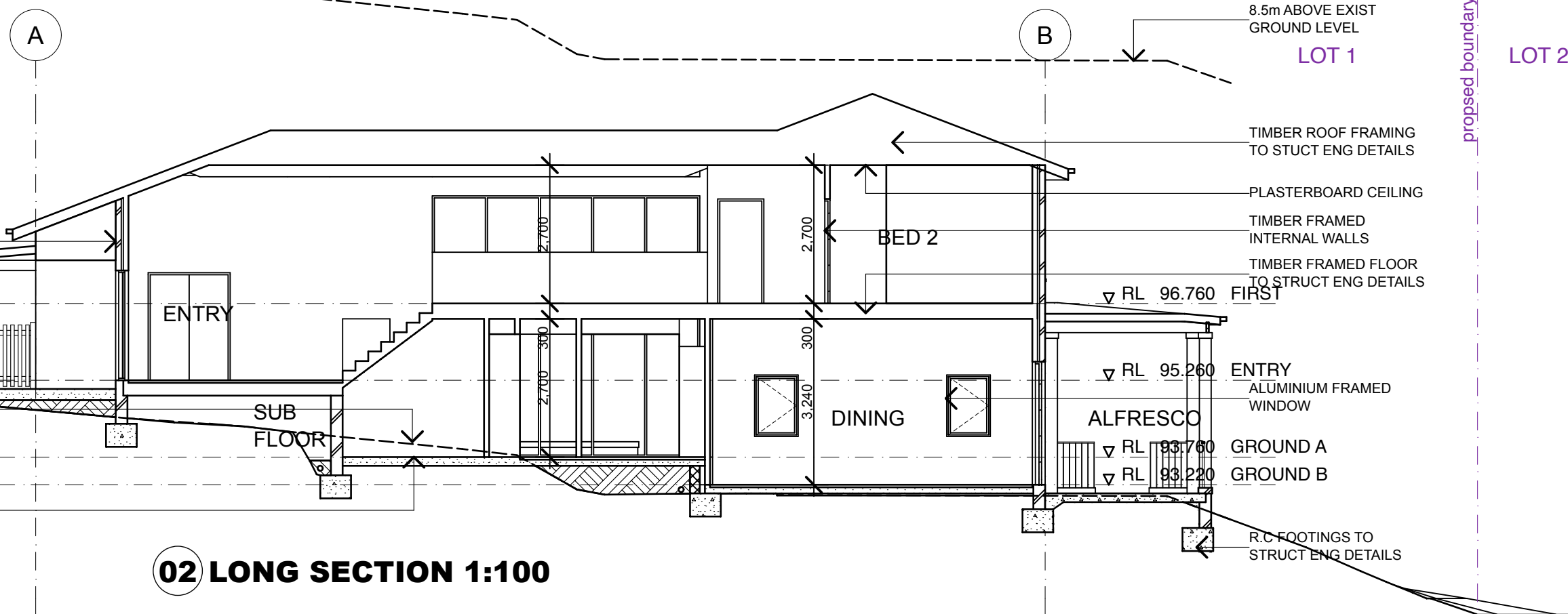
82 Boronia Place Cheltenham			
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
3 Star Shower Heads	Yes	3 Star Toilet	Yes
3 Star Kitchen / Basin Taps	Yes		
Alternative Water			
Minimum Tank Size (L)	3000	Collected from Roof Area (m ²)	100
Tank Connected To:			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Solar (Gas Boost) 21 to 25 STCs		
Cooling System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5
Heating System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off
	Kitchen	Fan ducted to exterior	Manual on/off
	Laundry	As drawn	
Natural Lighting	Window/Skylight in Kitchen	As drawn	
	Window/Skylight in Bathrooms/Toilets	As drawn	
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	All	Dedicated Yes
	Number of Living/Dining rooms	All	Dedicated Yes
Other commitments	All Bathrooms/Toilets	Yes	Dedicated Yes
	Laundry	Yes	Dedicated Yes
	All Hallways	Yes	Dedicated Yes
	Outdoor clothes line	Yes	Ventilated refrigerator space Yes
Stove/Oven	Gas cooktop & electric oven		
Alternative Energy	n/a		

June 2022		BSA Reference: 14242	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NETHERS certificate will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.			
In NSW both BASIX & the BCA variations must be complied with in particular the following:			
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.f			
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)			
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(i), (ii) & (j) or (c), (d) & (e)			
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Brick Veneer & Lighthouse		R2.7	
Cavity Brick		R1.0	
Internal Wall Construction		Added Insulation	
Plasterboard on studs & masonry		R2.7 to walls adjacent to garage	
Ceiling Construction		Added Insulation	
Plasterboard		R5.4 to ceilings adjacent to roof space	
Roof Construction		Added Insulation	
Roofing Tile to U1	Any	Foil	
Metal to U2	Any	Foil + R1.0 blanket	
Floor Construction		Added Insulation	
Concrete	As drawn (if not noted default values used)	R2.7 to floors adjacent to garage	
Timber	As drawn (if not noted default values used)	R2.7 to enclosed subfloor	
Windows			
Glass and frame type	U value	SHGC Range	Area sq m
Performance glazing Type A	4.80	0.46 - 0.66	To U1
Performance glazing Type B	4.80	0.53 - 0.65	To U1
Performance glazing Type A	3.10	0.35 - 0.43	To U2
Performance glazing Type B	3.10	0.44 - 0.54	To U2
Type A windows are zoning windows, lift&tilt, casements, lift & turn windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Skylights	Glass and frame type	U	SHGC
		Area sq m	Detail
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified.			
Shade elements (eaves, verandahs, awnings etc)			
All shade elements modelled as drawn			
Ceiling Penetrations (downlights, exhaust fans, flues etc)			
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA. Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.			
Additional Notes			
Nil			

0007781980 07 Jun 2022

Assessor Gavin Chambers
Accreditation No. DMN/13/1491
Address 82 Boronia Place, Cheltenham, NSW, 2119

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02 LONG SECTION 1:100

Amendments
A ISSUED FOR DA 07/06/22

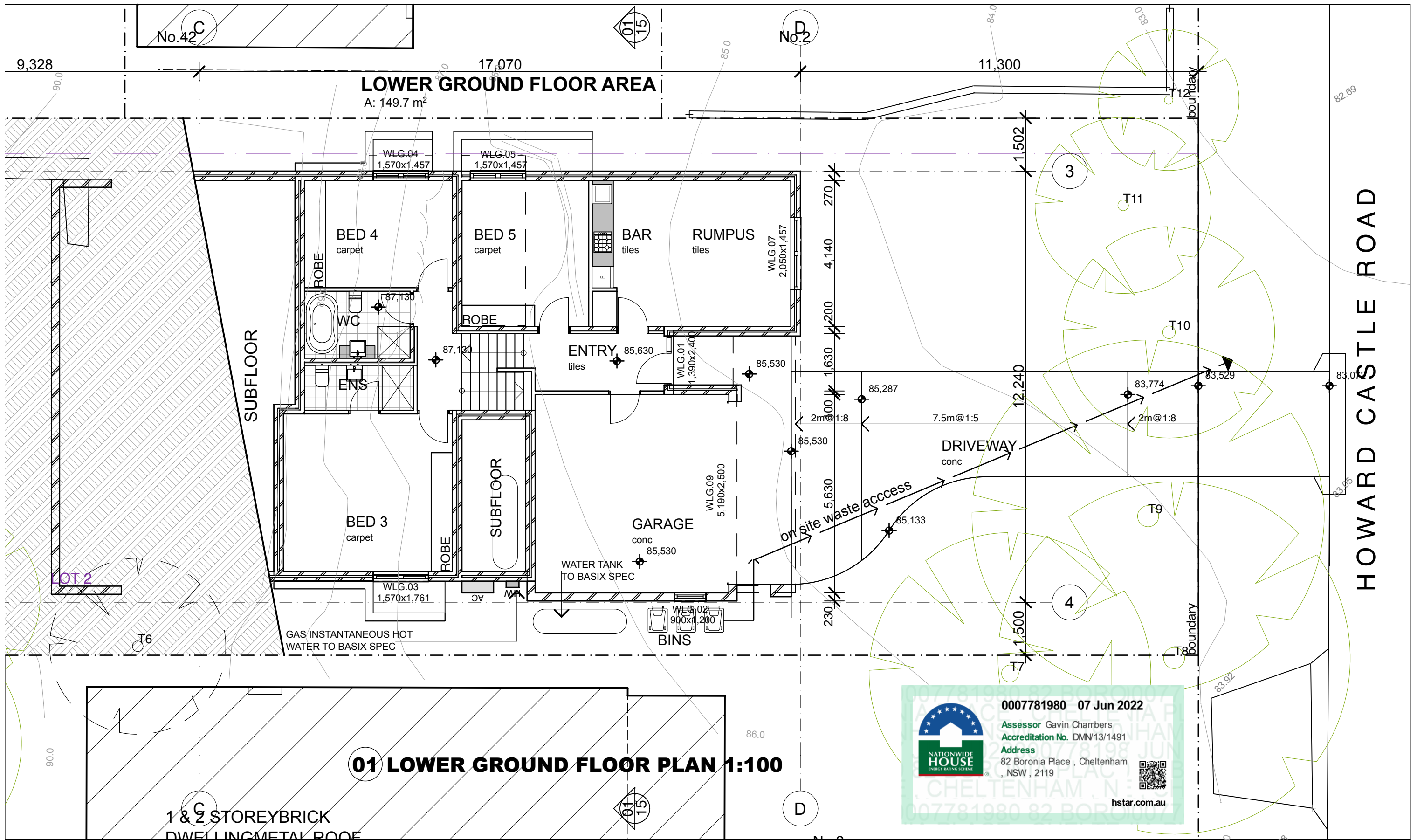
Architect
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email: james@fgarch.com.au

Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELTHENHAM NSW
2119

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number 1805		
Scale As shown @ A3		

Drawing name
LOT 1 SECTIONS
Drawing Number
DA-10
Amendment
A



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Amendments	
A ISSUED FOR DA	07/06/22

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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
CHELTENHAM NSW
2119**

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

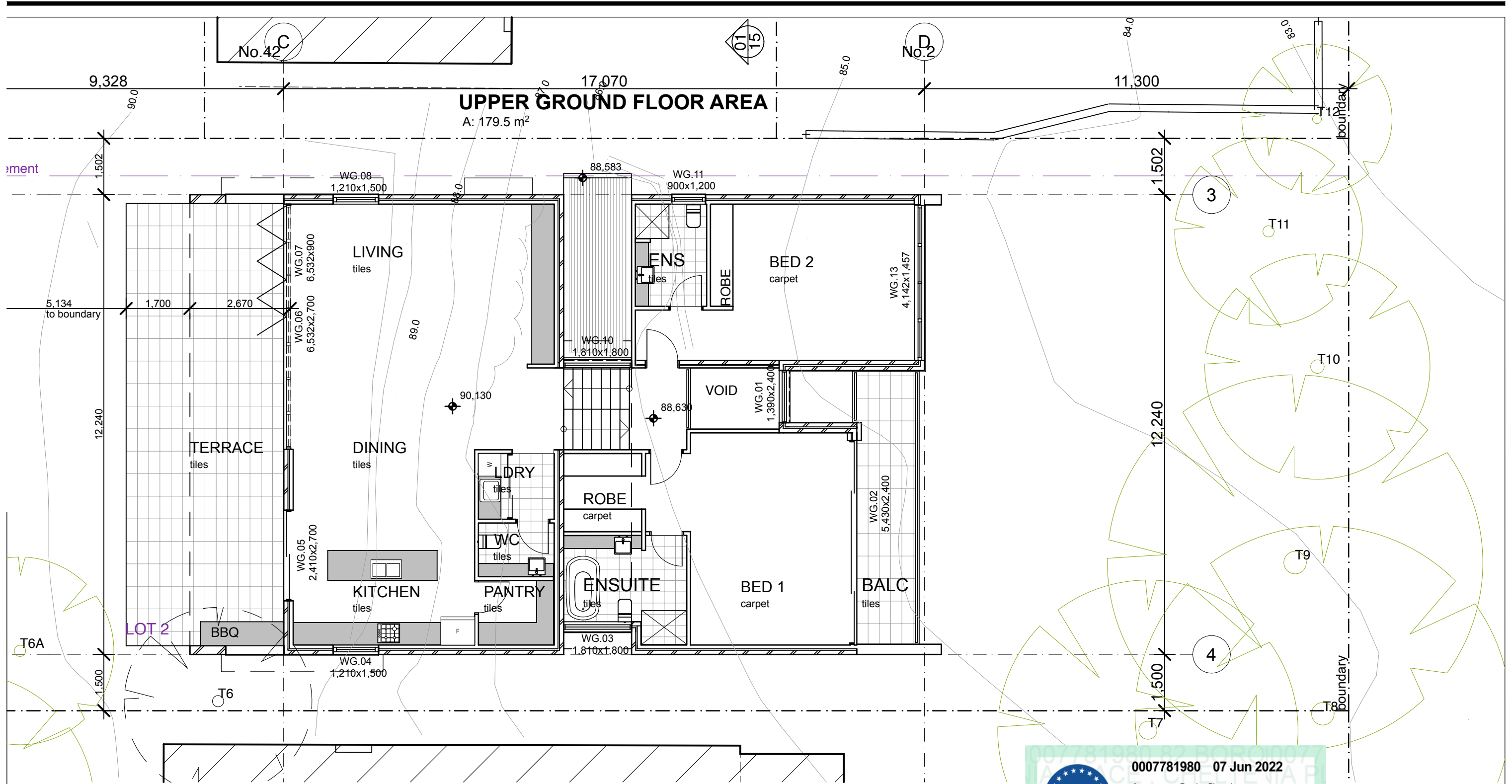
Drawing name

LOT 2 LOWER GROUND FLOOR PLAN

Drawing Number

DA-11

Amendment
A



01 UPPER GROUND FLOOR PLAN 1:100

0007781980 07 Jun 2022
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Amendments
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Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELtenham NSW
2119

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number 1805		
Scale As shown @ A3		


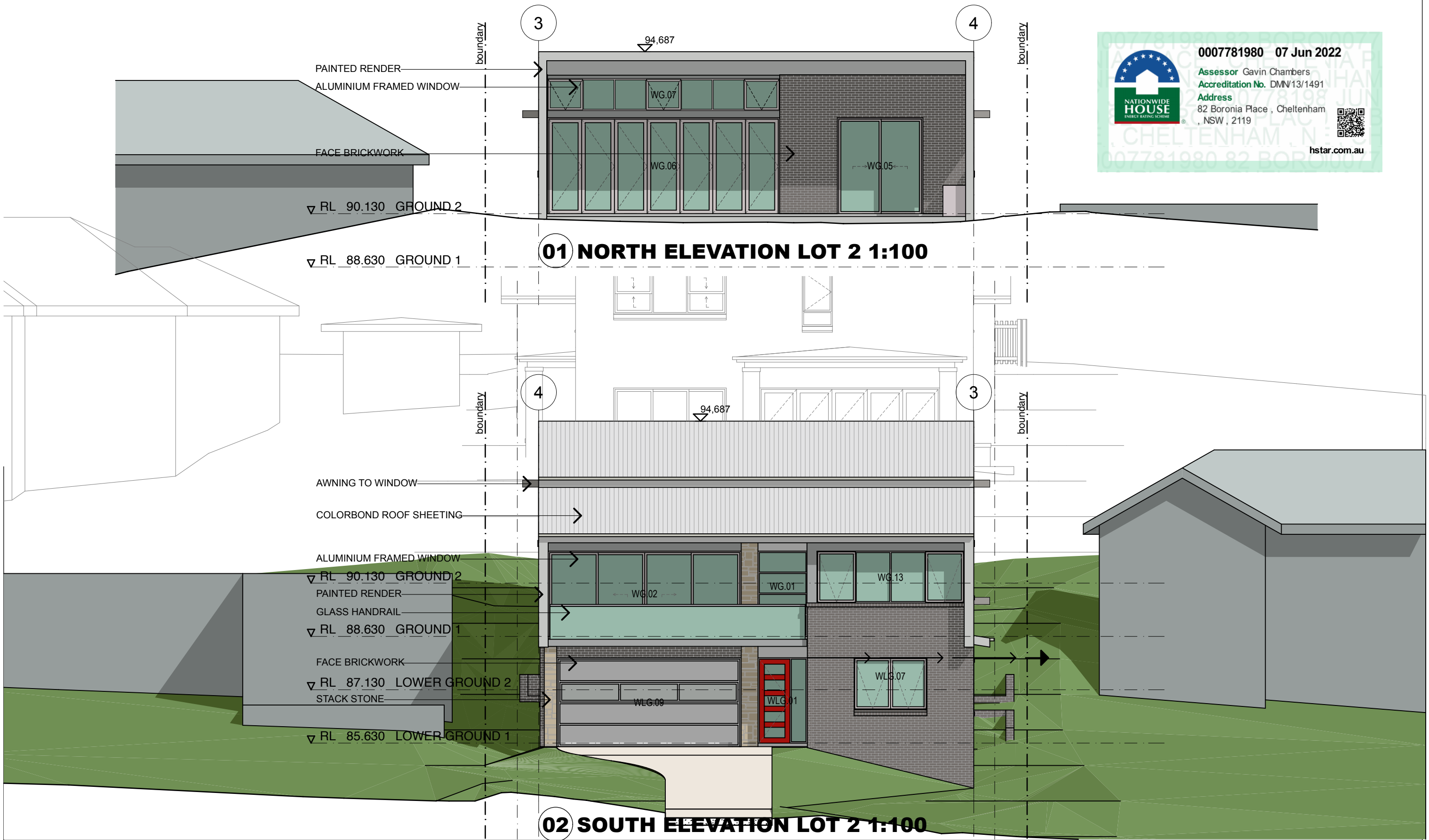
Drawing name
LOT 2 UPPER GROUND FLOOR PLAN
 Drawing Number
DA-12
 Amendment
A

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Assessor Gavin Chambers
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Address 82 Boronia Place, Cheltenham
 , NSW, 2119

NATIONWIDE HOUSE ENERGY RATING SCHEME

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Amendments

A	ISSUED FOR DA	07/06/22
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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
 CHELTENHAM NSW
 2119**

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

Drawing name

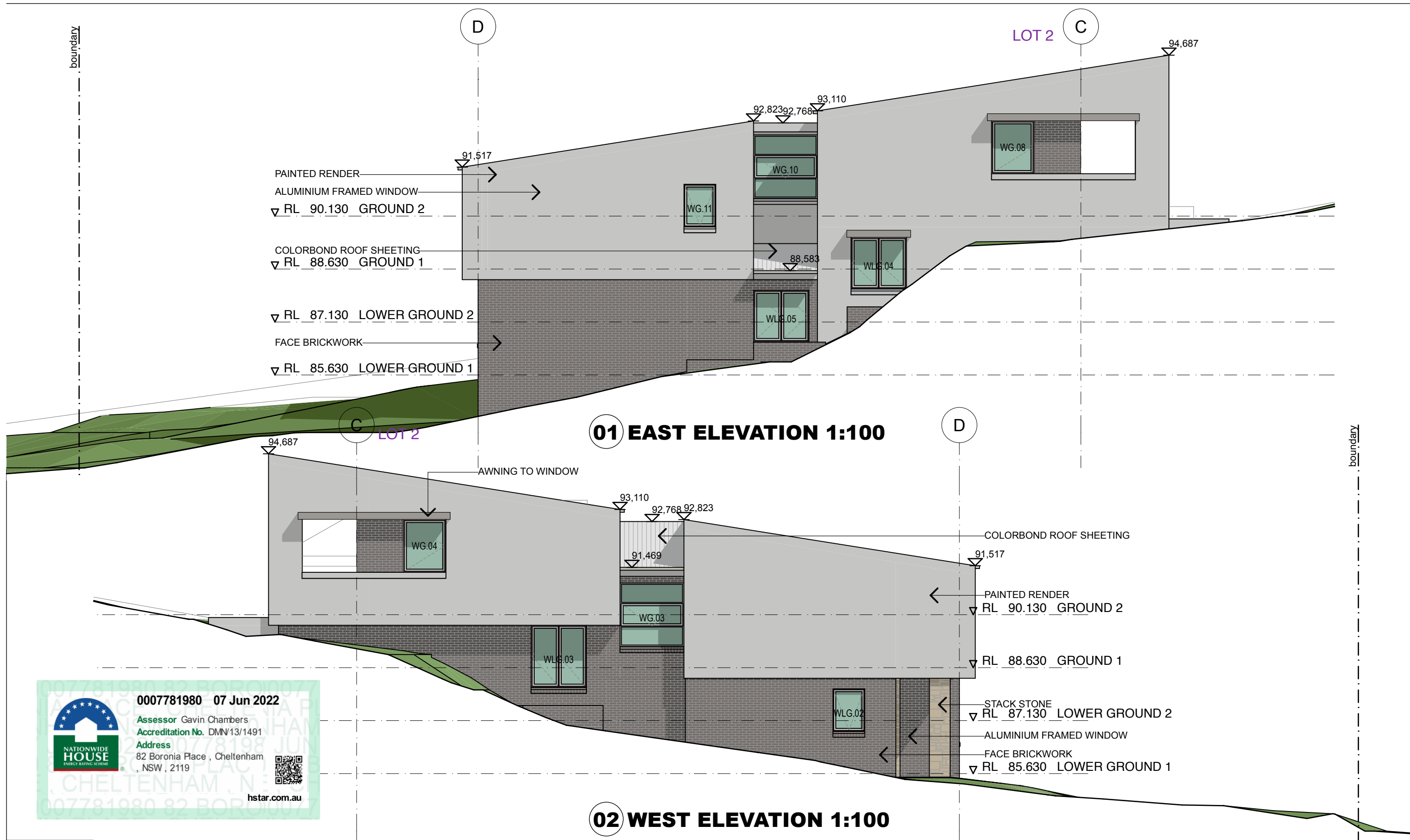
LOT 2 NORTH AND SOUTH ELEVATIONS

Drawing Number

DA-13

Amendment

A



01 EAST ELEVATION 1:100

02 WEST ELEVATION 1:100

0007781980 07 Jun 2022

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Amendments	
A ISSUED FOR DA	07/06/22

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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
 CHELTENHAM NSW
 2119**

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

Drawing name

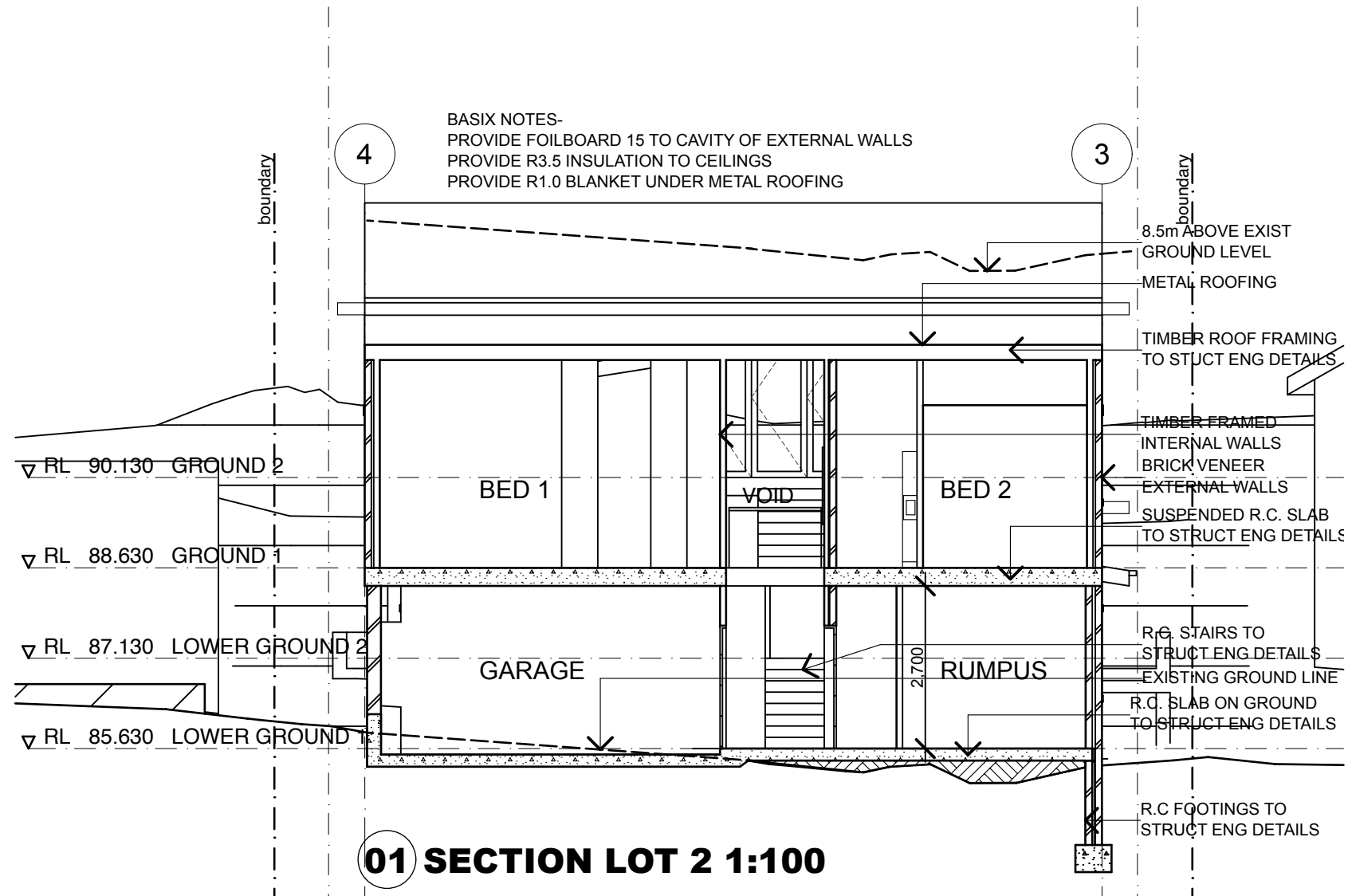
LOT 2 EAST AND WEST ELEVATIONS

Drawing Number

DA-14

Amendment

A



82 Boronia Place Cheltenham			
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
3 Star Shower Heads	Yes	3 Star Toilet	Yes
3 Star Kitchen / Basin Taps	Yes		
Alternative Water			
Minimum Tank Size (L)	3000	Collected from Roof Area (m ²)	100
Tank Connected To:			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water			
	Solar (Gas Boost) 21 to 25 STCs		
Cooling System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5
Heating System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off
	Laundry	As drawn	
Natural Lighting	Window/Skylight in Kitchen		As drawn
	Window/Skylight in Bathrooms/Toilets		As drawn
Artificial Lighting	Number of bedrooms	All	Dedicated Yes
	Number of Living/Dining rooms	All	Dedicated Yes
(rooms to be primarily lit by fluorescent or LED lights)	Kitchen	Yes	Dedicated Yes
	All Bathrooms/Toilets	Yes	Dedicated Yes
	Laundry	Yes	Dedicated Yes
	All Hallways	Yes	Dedicated Yes
OTHER COMMITMENTS			
Outdoor clothes line	Yes	Ventilated refrigerator space	Yes
Stove/Oven	Gas cooktop & electric oven		
Alternative Energy	n/a		

June 2022		BSA Reference: 14242	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NETHERS certificate will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.			
In NSW both BASIX & the BCA variations must be complied with, in particular the following:			
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.f			
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)			
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (ii) & (c), (d) & (e)			
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction			
Brick Veneer & Lighthouse	Added Insulation R2.7		
Cavity Brick	R1.0		
Internal Wall Construction			
Added Insulation			
Plasterboard on studs & Masonry	R2.7 to walls adjacent to garage		
Ceiling Construction			
Added Insulation			
Plasterboard	R5.4 to ceilings adjacent to roof space		
Roof Construction			
Colour (Solar Absorbance)	Added Insulation		
Roofing Tile to U1	Any	Foil	Foil
Metal to U2	Any	Foil + R1.0 blanket	
Floor Construction			
Added Insulation			
Concrete	As drawn (if not noted default values used) R2.7 to floors adjacent to garage		
Timber	As drawn (if not noted default values used) R2.7 to enclosed outdoor		
Windows			
Glass and frame type	U value	SHGC Range	Area sq m
Performance glazing Type A	4.80	0.46 - 0.66	To U1
Performance glazing Type B	4.80	0.53 - 0.65	To U1
Performance glazing Type A	3.10	0.35 - 0.43	To U2
Performance glazing Type B	3.10	0.44 - 0.54	To U2
Type A windows are zoning windows, lift&slid, casements, 10' h turn' windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Skylights	Glass and frame type	U SHGC	Area sq m Detail
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified.			
Shade elements			
(eaves, verandahs, awnings etc)			
All shade elements modelled as drawn			
Ceiling Penetrations			
(downlights, exhaust fans, flues etc)			
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA. Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.			
Additional Notes			
Nil			

0007781980 07 Jun 2022

Assessor Gavin Chambers
Accreditation No. DMN/13/1491
Address
 82 Boronia Place, Cheltenham
 , NSW, 2119

hstar.com.au

Amendments
 A ISSUED FOR DA 07/06/22

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Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELTHENHAM NSW
2119

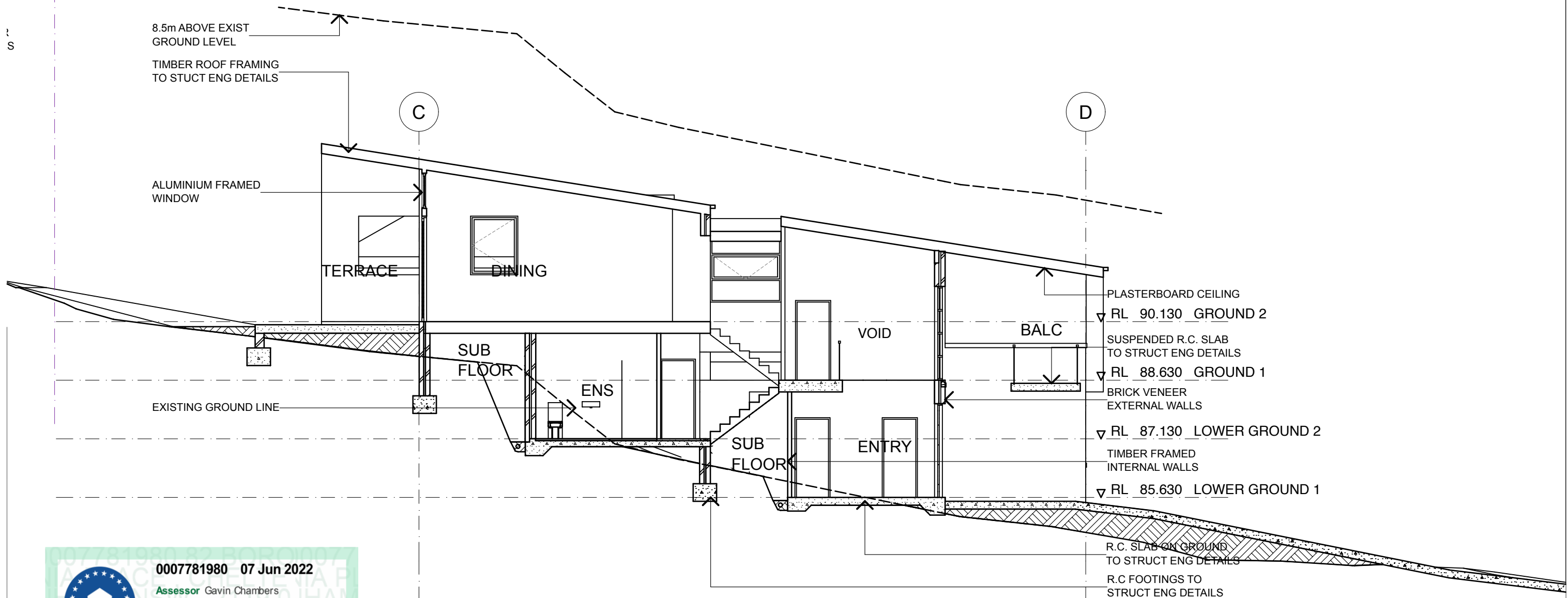
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Drawn	Approved	Date Printed
JG	JG	7/6/22
Job Number	1805	
Scale	As shown @ A3	

Drawing name
LOT 2 SECTION
 Drawing Number
DA-15
 Amendment
A

proposed boundary

LOT 2



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NATIONWIDE HOUSE ENERGY RATING SCHEME

hstar.com.au

01 LONG SECTION 1:100

Amendments

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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
 CHELTENHAM NSW
 2119**

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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

Drawing name

LOT 2 SECTION

Drawing Number

DA-16

Amendment

A

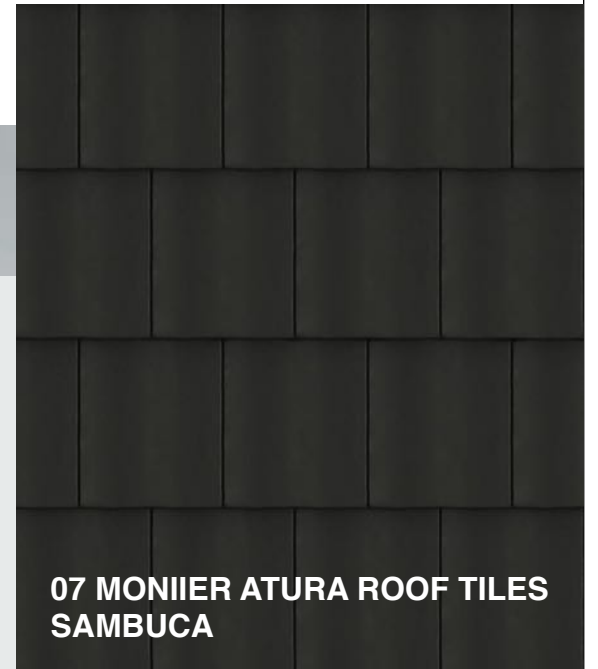


01 HOUSE 1 MATERIALS VIEW

**08 COLORBOND SHALE GREY ALUMINIUM WINDOW FRAMES
HOUSE 1**

**04 COLORBOND SHALE GREY
ROOF SHEETING**

**02 DULUX LEXICON
PAINTED RENDER**



**07 MONIER ATURA ROOF TILES
SAMBUCA**



02 HOUSE 2 MATERIALS VIEW

**05 ANODISED ALUMINIUM WINDOW FRAMES
HOUSE 2**



**03 DULUX MILTON MOON
PAINTED RENDER**

**06 STACK
STONE**



**01 AUSTRAL URBAN ONE CHIFFON
FACE BRICKWORK**

Amendments

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SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELTENHAM NSW
2119

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Job Number	1805	
Scale	As shown @ A3	

Drawing name

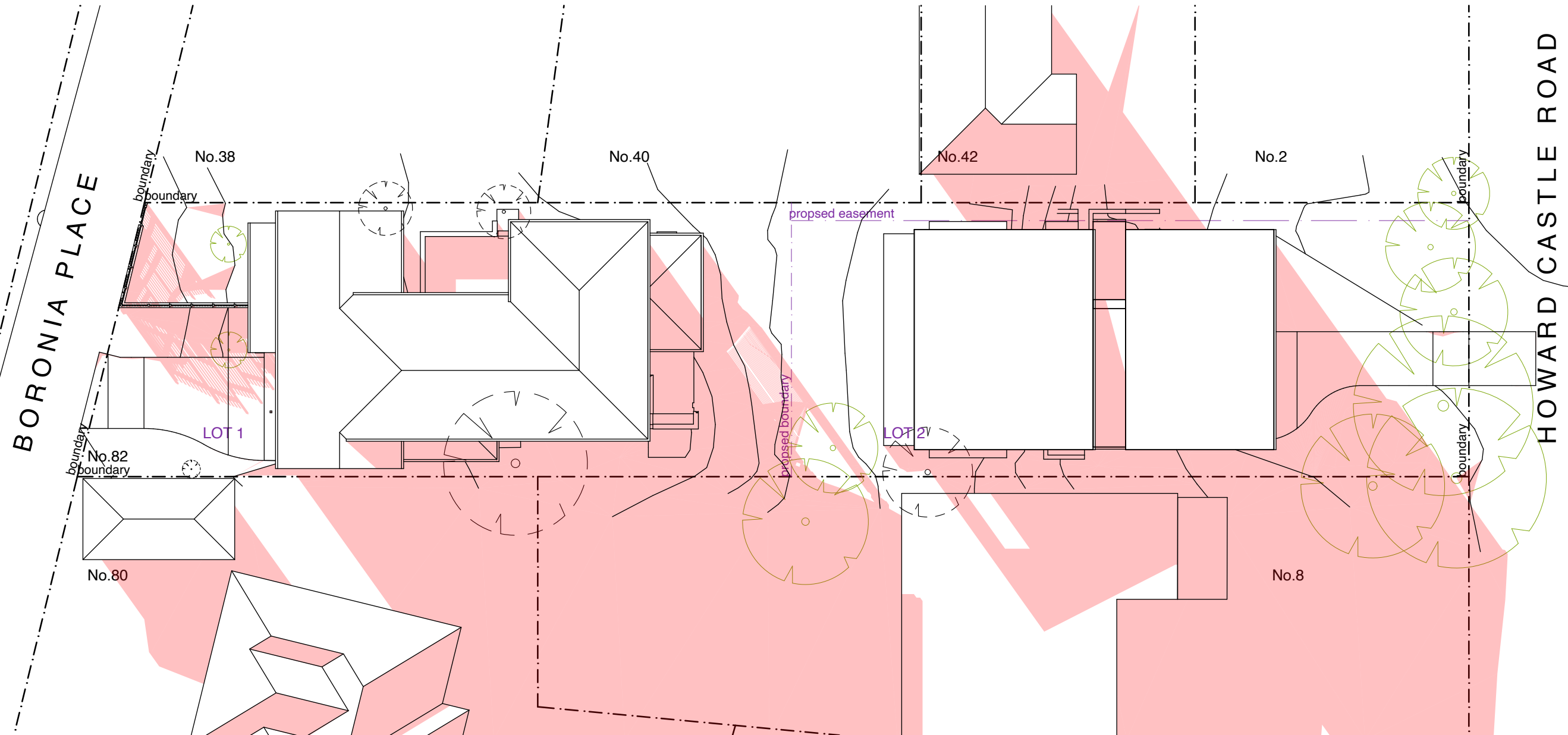
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FINISHES**

Drawing Number

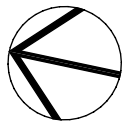
DA-17

Amendment
A

**PROPOSED
SHADOW**



01 JUNE 21ST 9 AM 1:250



Amendments
A ISSUED FOR DA 07/06/22

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Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELTENHAM NSW
2119

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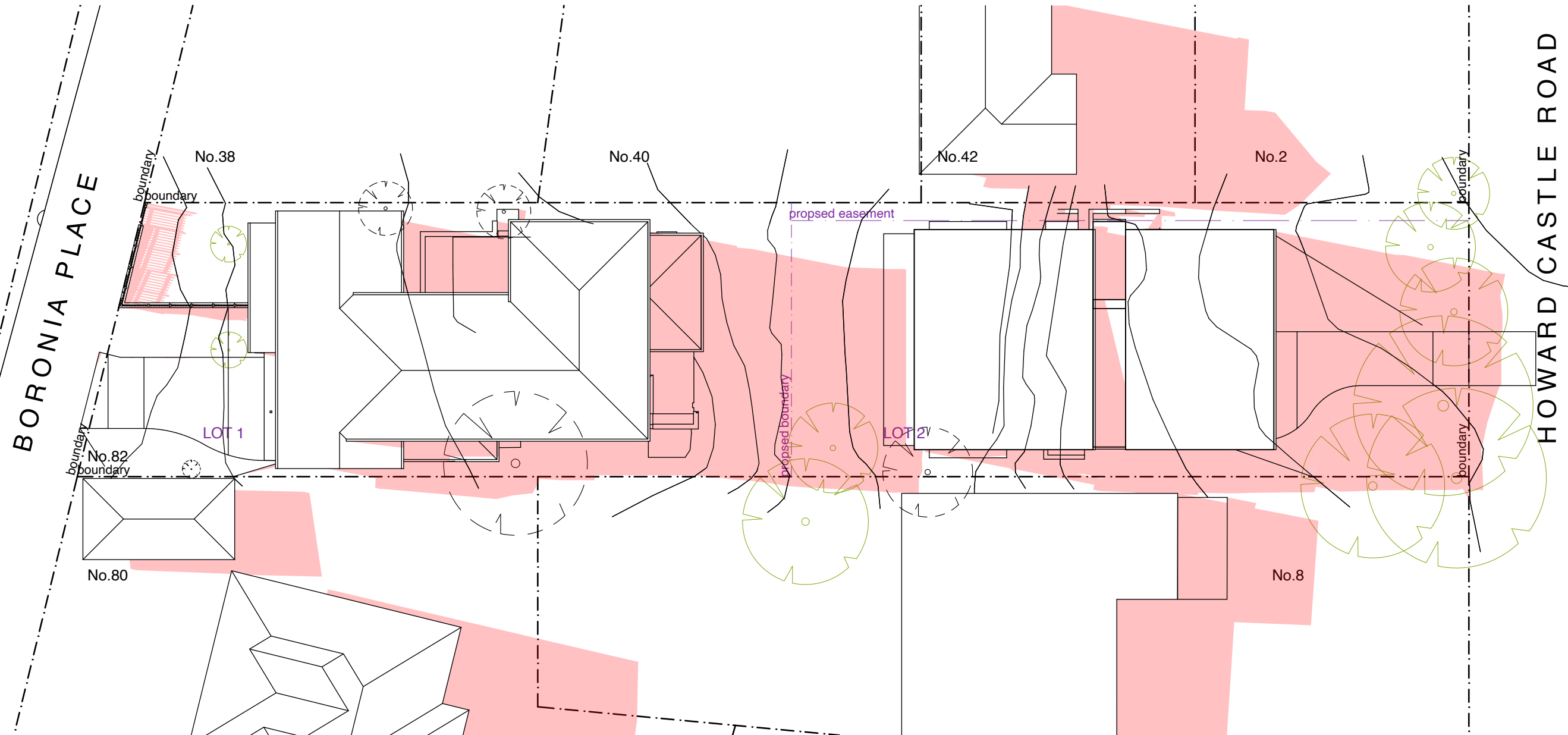
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Job Number	1805	
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Drawing name
SHADOW DIAGRAM 9AM

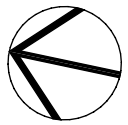
Drawing Number
DA-18

Amendment
A

**PROPOSED
SHADOW**



01 JUNE 21ST 12 NOON 1:250



Amendments
A ISSUED FOR DA 07/06/22

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Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELTENHAM NSW
2119

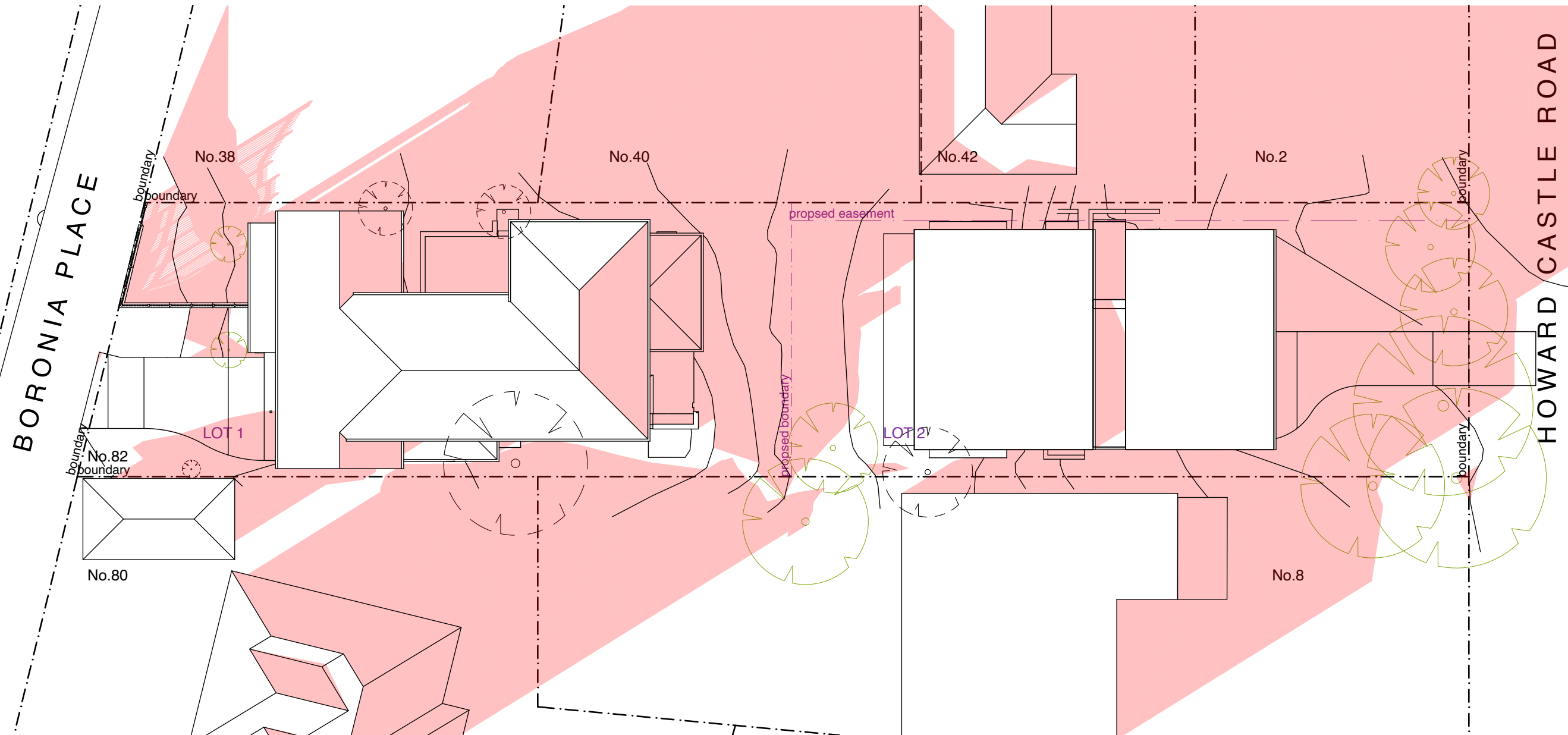
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Job Number	1805	
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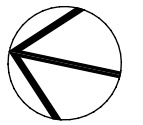
Drawing name
SHADOW DIAGRAM 12 NOON

Drawing Number	Amendment
DA-19	A

**PROPOSED
SHADOW**



01 JUNE 21ST 3 PM 1:250



Amendments
A ISSUED FOR DA 07/06/22

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Project Details
SUBDIVISION AND 2 NEW HOUSES
82 BORONIA PLACE
CHELtenham NSW
2119

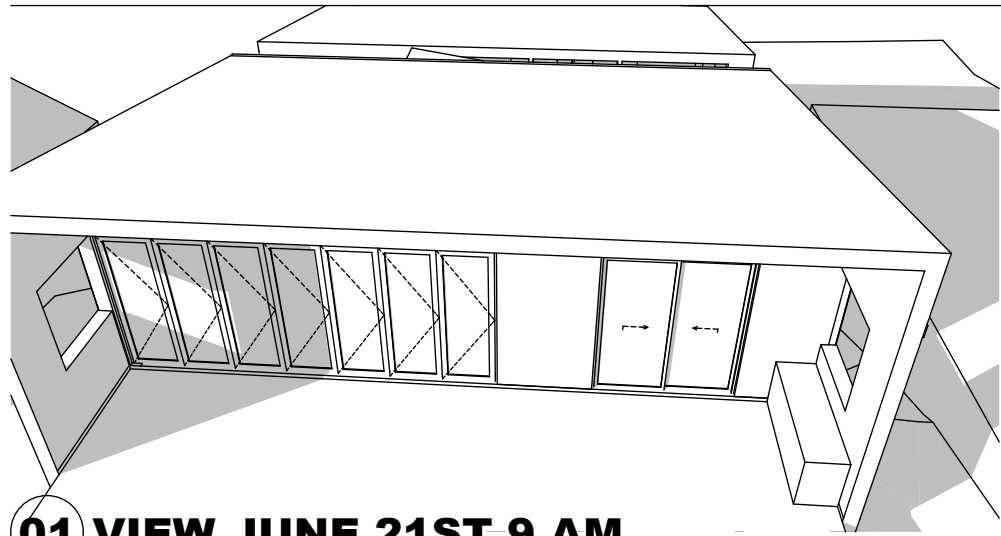
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Drawn JG	Approved JG	Date Printed 7/6/22
Job Number	1805	
Scale	As shown @ A3	

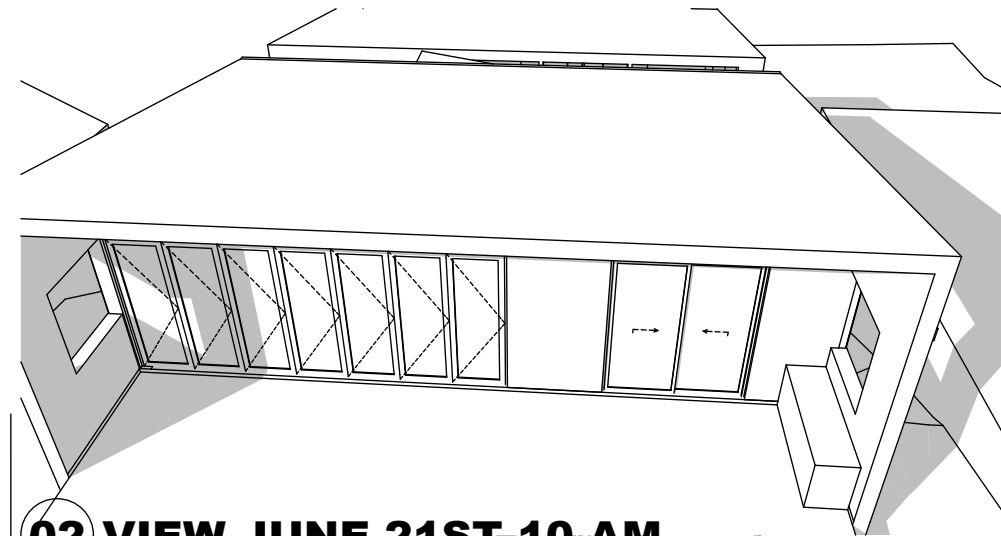
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SHADOW DIAGRAM 3 PM

Drawing Number
DA-20

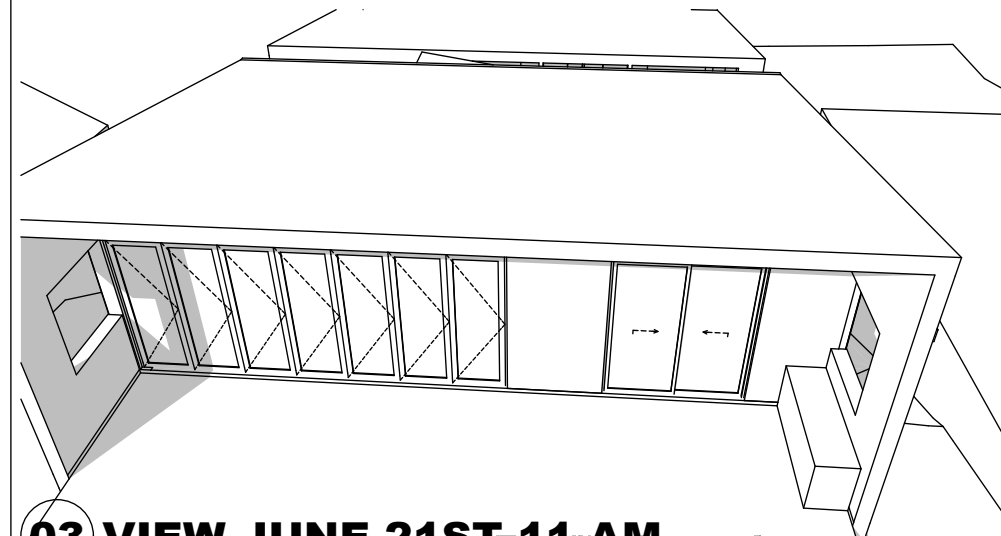
Amendment
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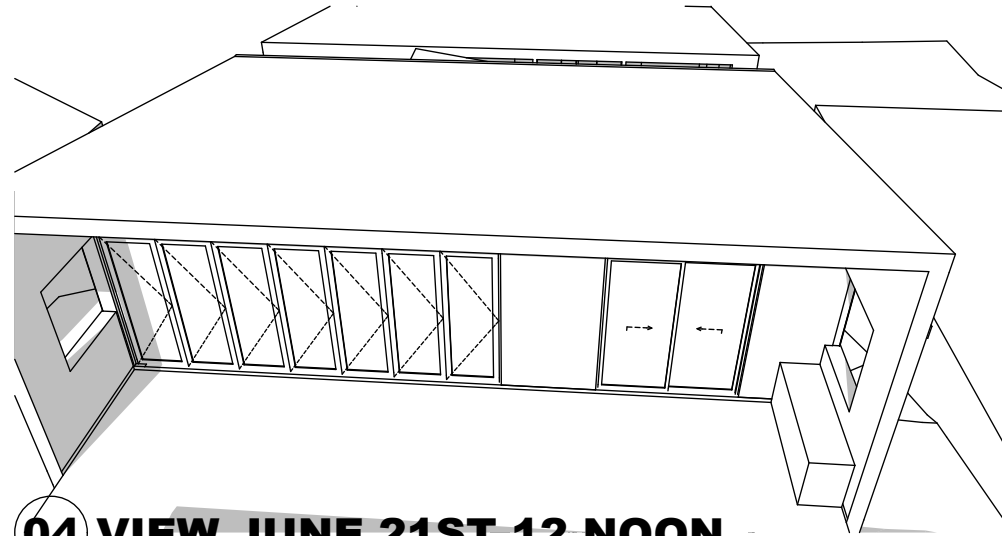
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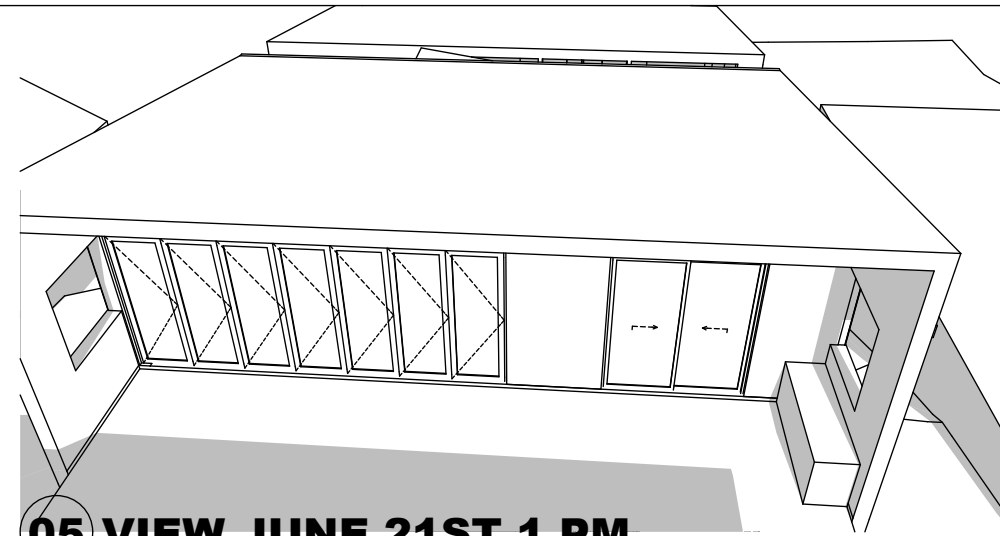
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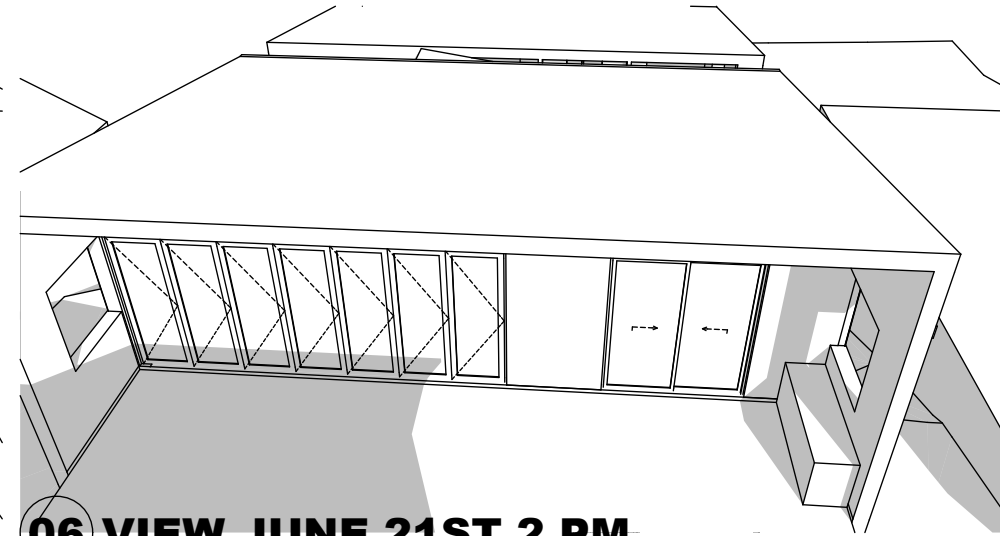
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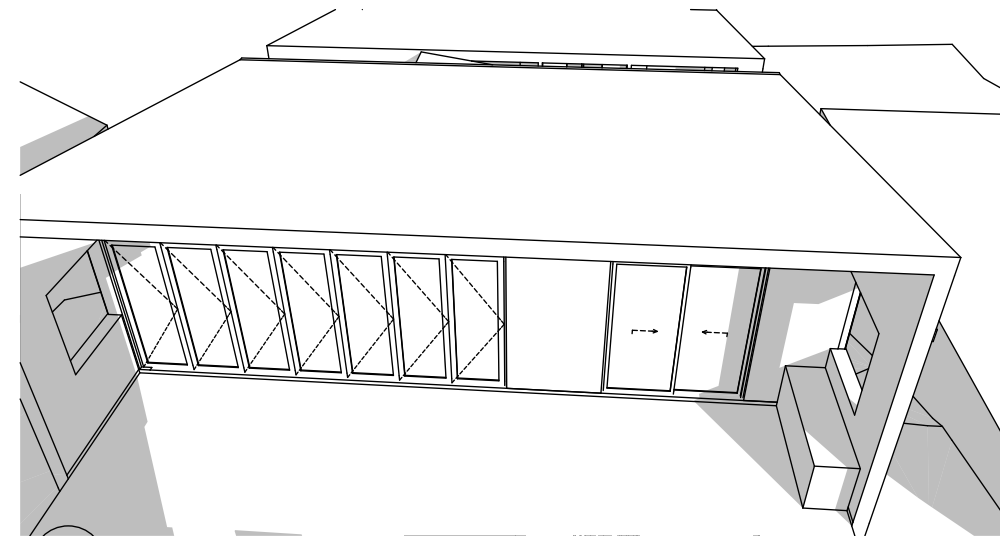
04 VIEW JUNE 21ST 12 NOON



05 VIEW JUNE 21ST 1 PM



06 VIEW JUNE 21ST 2 PM



07 VIEW JUNE 21ST 3 PM

Amendments	
A ISSUED FOR DA	07/06/22

Architect



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Project Details

SUBDIVISION AND 2 NEW HOUSES

**82 BORONIA PLACE
 CHELTENHAM NSW
 2119**

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Job Number	1805	
Scale	As shown @ A3	

Drawing name

**LOT 2 SOLAR ACCESS
 VIEWS**

Drawing Number

DA-21

Amendment
A